




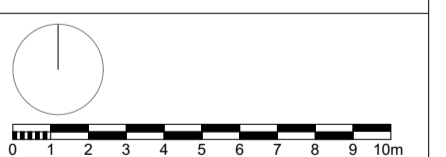
Key:

 Proposed removal of trees

REV	DATE	DESCRIPTION
-----	------	-------------

- GENERAL NOTES
- Measurements are based on metric system.
 - All levels are relative to Ordnance Datum (OS) unless otherwise stated.
 - Site is to be developed in accordance with the Planning Permission (PP) and the relevant Building Regulations (BR).
 - Plans are intended as a guide only.
 - Site is to be developed in accordance with the Planning Permission (PP) and the relevant Building Regulations (BR).
 - Contractor should verify all conditions, levels and dimensions on site and notify contract administrator of any variations from drawings before commencing work.

The data contained in this document is the property of mae. The data is provided for the recipient and should not be used for any other purpose without the prior written consent of mae.



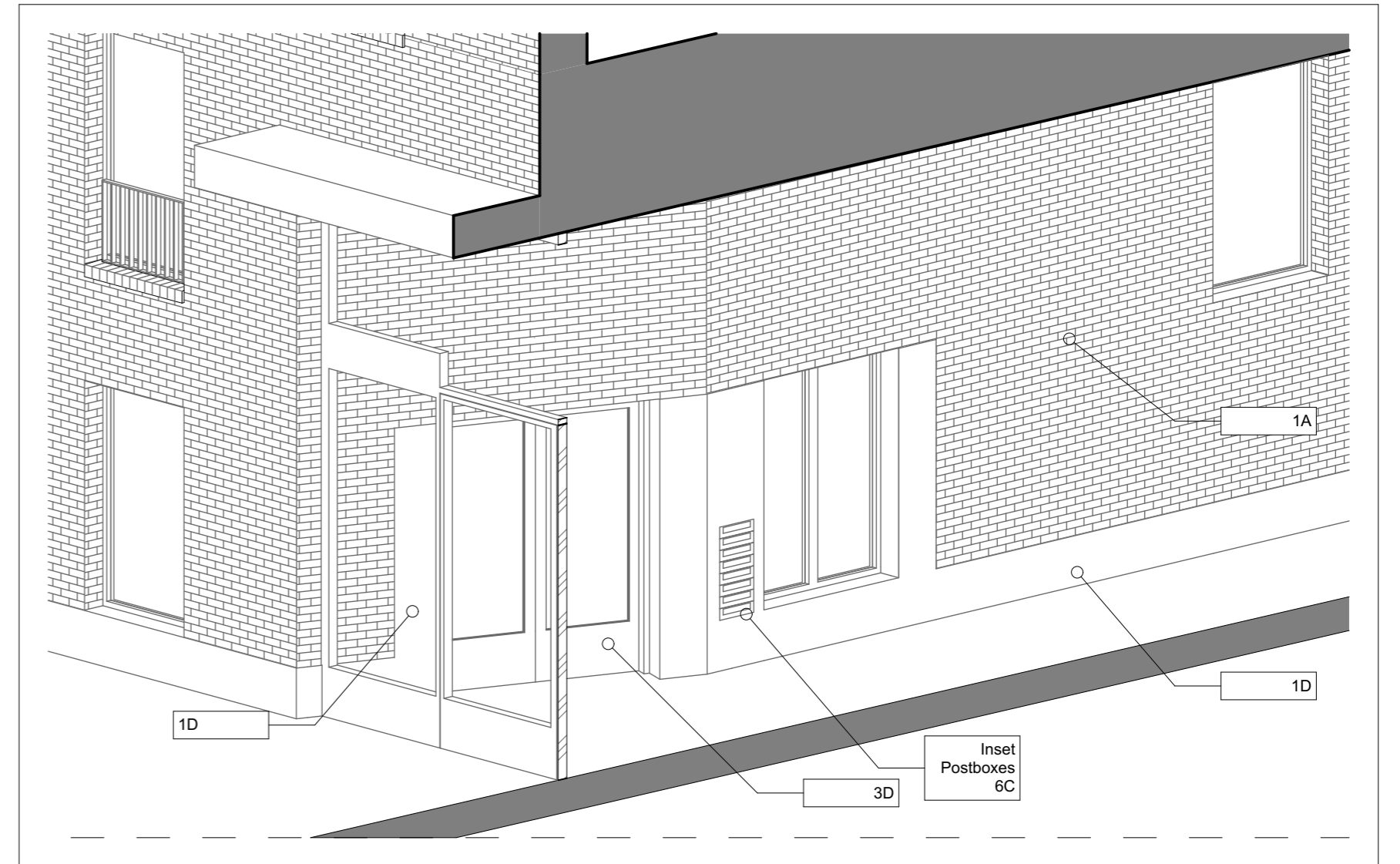
mae

1 Naoroji Street London WC1X 0GB
 +44 (0)20 7704 6060
 office@mae-llp.co.uk
 mae-llp.co.uk

CLIENT London Borough of Camden	
PROJECT NAME Regent's Park Estate Infill	PROJECT NO. 1328
DRAWING NAME Varndell Street Corner - Existing Site Plan	
STATUS Planning	SCALE 1:200 @ A1
DRAWN BY	DATE 28/05/2015
DRAWING NO. 1328-P3-001	REV -



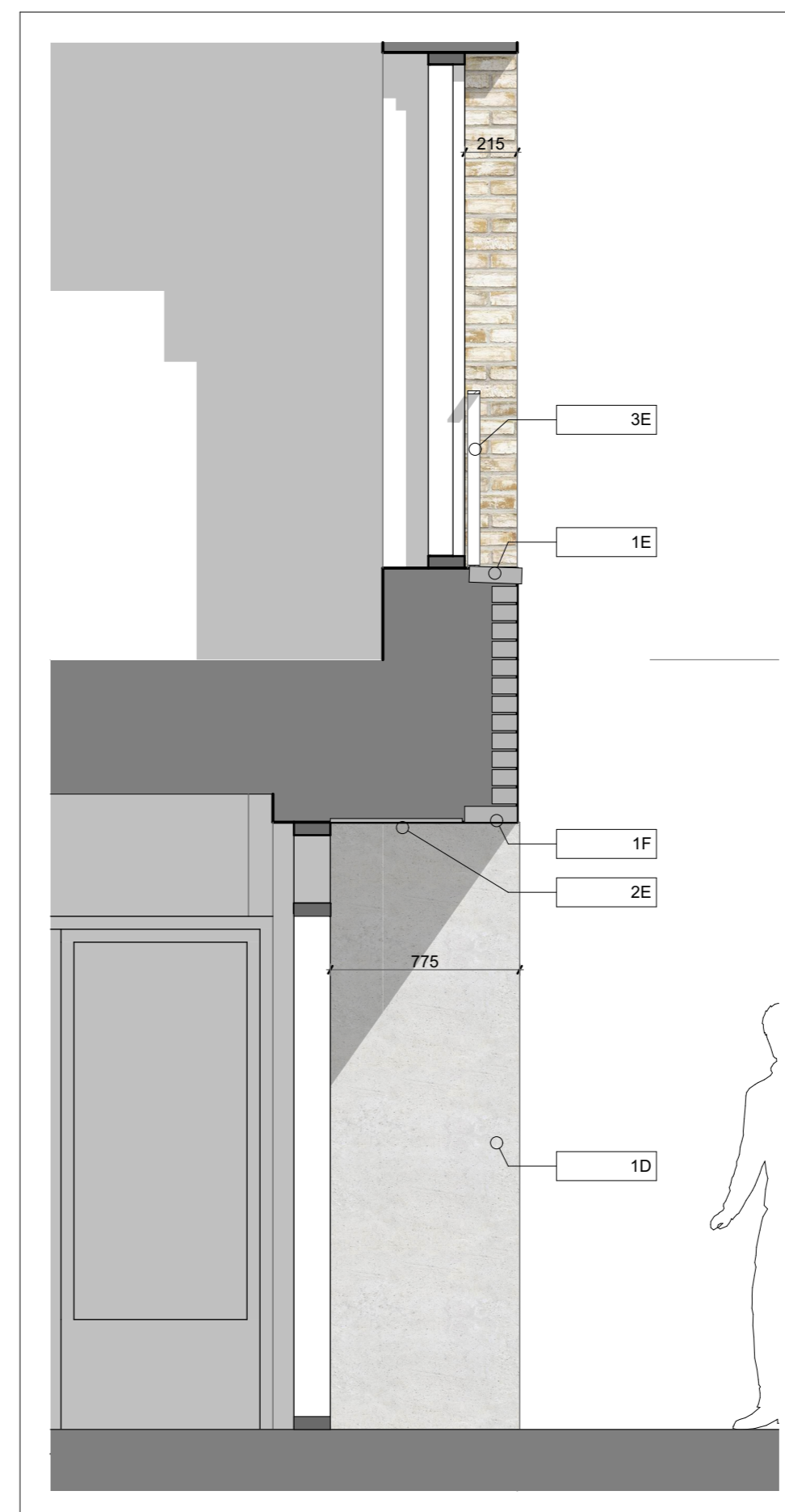
A-S3-402-01 Communal Entrance Gate Elevation 1:25



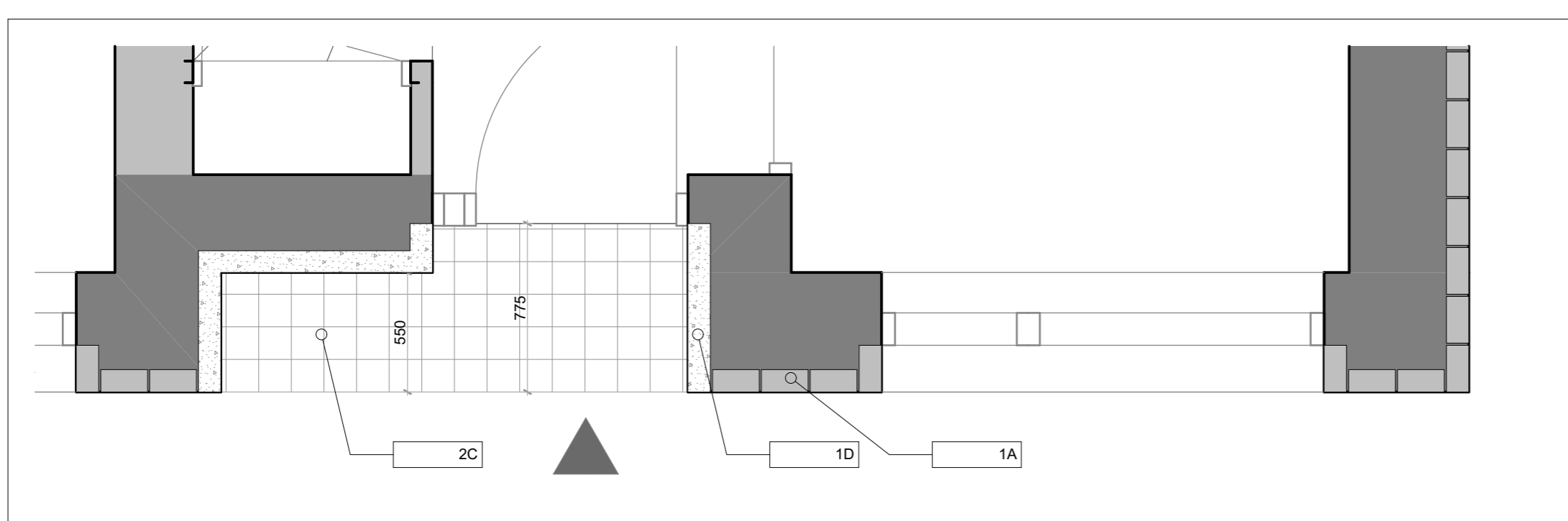
A-S3-402-02 Communal entrance undercroft axonometric



A-S3-402-03 Typical dwelling entrance elevation 1:25



A-S3-402-04 Typ. dwelling entrance section 1:25



A-S3-402-05 Typical dwelling entrance plan 1:25

Specification Key

1. External Walls:
 1a. Light Buff coloured clay brickwork, as Mystique by Traditional Brick and Stone, or similar
 1b. Grey-White mortar, flush pointed
 1c. Pre-cast reconstituted stone banding as Portland by Forticrete or similar, smooth finish
 1d. Pre-cast reconstituted stone upstand/lining as Portland by Forticrete. To match 1c.
 1e. Pre-cast brick sills, with metal drip detail
 1f. Pre-fabricated Full brick lintels
 1g. Pre-cast reconstituted stone coping to match 1c Banding
 1h. Bespoke PPC (RAL 7032) metalwork MVHR extract grilles to each unit, concealed within lintel recess.
 1i. Pre-cast signage to domestic and communal doorways, to match 1c Banding
 1j. 215mm deep brick reveal to all windows reveals
 1k. Pre-cast reconstituted stone canopy to match 1c banding

2. Recessed Balconies:
 2a. Fair faced precast concrete, to match 1c Banding, soffit in cementitious board/ render to match
 2b. Bespoke PPC metalwork balustrading with flat bar uprights
 2c. Concrete pavers to floor to match precast concrete
 2d. Balustrading to be vertical flat bars, with horizontal flat bar at top, finished in MIO, Light Grey Finish as Leigh's paints R8051 or similar
 2e. 215 Brick return Soffit with remainder in Cementitious board/Render to match Concrete 1c.
 2f. Pre-cast Reconstituted stone balcony with concrete soffit to match 1c.

3. Windows & Doors:
 3a. Composite timber & aluminium windows, PPC Pebble Grey (RAL 7032) finish generally, max frame size 54mm
 3b. PPC RAL 7032 Terrace Doors w/ Golden Yellow (RAL 1004) opening door leaf to balcony
 3c. PPC Golden Yellow (RAL 1004) coloured panel front doors leaf with glazed fanlight above (rest of frame as PPC Pebble Grey (RAL 7032))
 3d. PPC Pebble Grey (RAL 7032) to Communal doors
 3e. MIO, Light Grey Finish Balustrading to match 2d
 3f. MIO, Light Grey Finish Steel Communal Gates to match 2d
 3g. Horizontal Rigid stainless steel Mesh as GKD-PC Tigris or similar
 3h. Punched Metal signage built into gate frame. Helvetica Neue Typeface

4. Roofs & Amenity Spaces:
 4a. Green Down roof
 4b. Roof access hatch

5. Access Terrace
 5a. Concrete pavers on pedestal system
 5b. Lightweight metal access platform over lightwell

6. Rain Water/Metalwork
 6a. Internal DP's within core
 6b. External DP's to front and rear elevation to be metal PPC RAL 7032 Pebble Grey
 6c. PPC Pebble Grey (RAL 7032) Metalwork finish

REV. DATE DESCRIPTION

REV.	DATE	DESCRIPTION



1 Nacroj Street London WC1X 0GB
 +44 (0)20 7704 6060
 office@mae-lp.co.uk
 mae-lp.co.uk

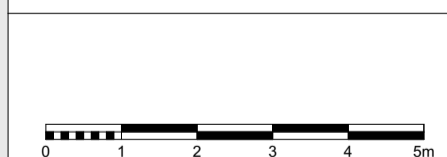
CLIENT London Borough of Camden	PROJECT NO. 1328
PROJECT NAME Regent's Park Estate Infill	SCALE 1:25, 1:50
DRAWING NAME Vardell Street Corner - Bay Elevation 2	DATE 28/05/2015
STATUS Planning	REV. -
DRAWN BY 1328-P3-402	

For materials and details, please refer to 1328_400 series drawings and Design & Access statement Section 6, materials page.



REV	DATE	DESCRIPTION
GENERAL NOTES		
1		Measurements are based on metric system
2		20 levels are in meters to Ordnance Datum (OSD) unless otherwise stated
3		20 levels are in meters to Ordnance Datum (OSD) unless otherwise stated
4		Figures in brackets are to be followed
5		20 levels are in meters to Ordnance Datum (OSD) unless otherwise stated
6		Contractor should verify all conditions, levels and dimensions on site and notify contract administrator of any variations from drawings before commencing work

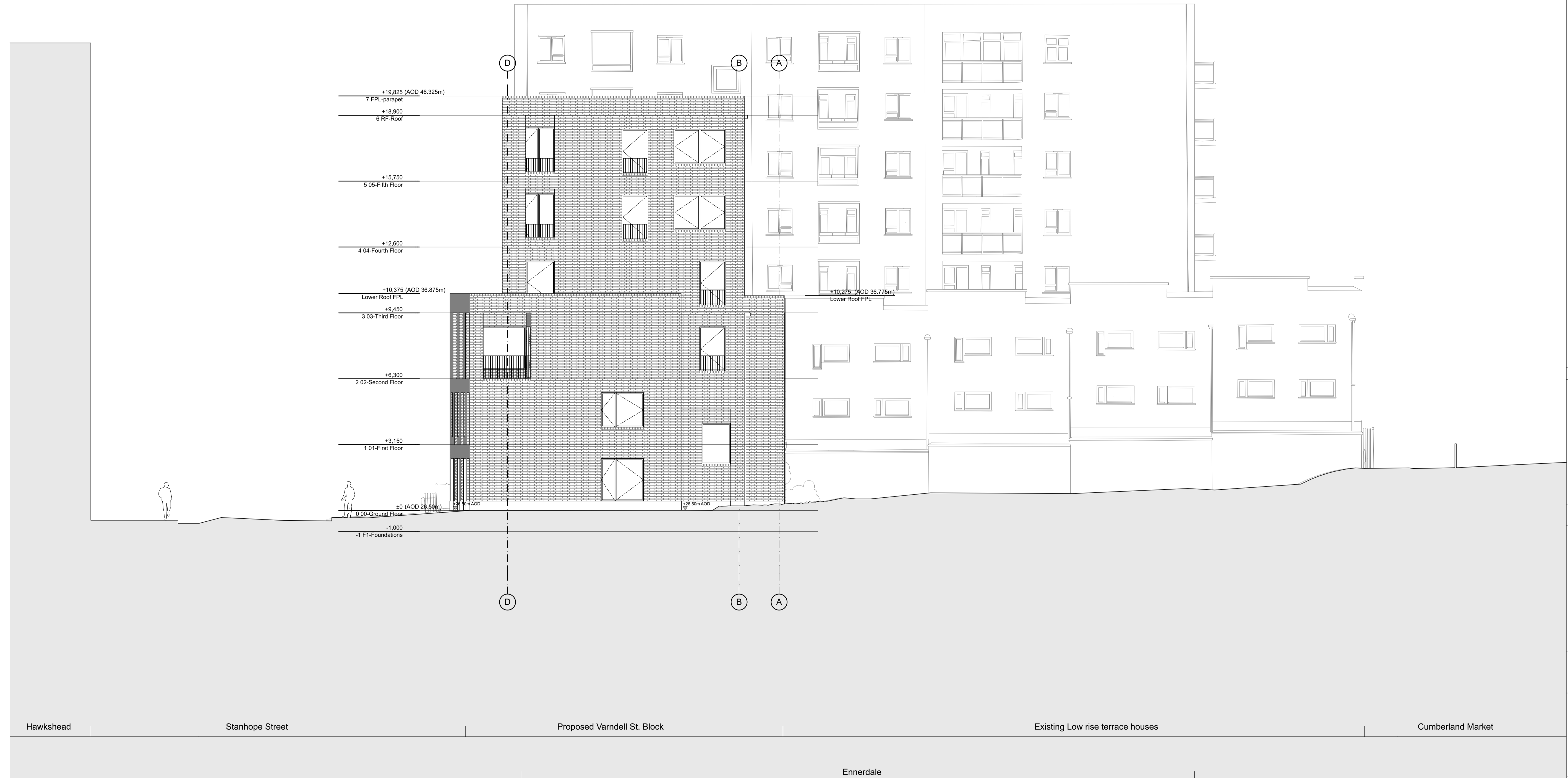
The data contained in this document is the property of mae. The user of this document shall ensure that the data is not used for any other purpose than that for which it was intended and shall not be used for any other purpose without the prior written consent of mae.



mae
 1 Naoroji Street London WC1X 0GB
 t +44 (0)20 7704 6060
 e office@mae-ftp.co.uk
 w mae-ftp.co.uk

CLIENT	
London Borough of Camden	
PROJECT NAME	PROJECT NO.
Regent's Park Estate Infill	1328
DRAWING NAME	
Varndell Street Corner - South Elevation	
STATUS	SCALE
Planning	1:100 @ A1
DRAWN BY	DATE
	28/05/2015
DRAWING NO.	REV
1328-P3-304	-

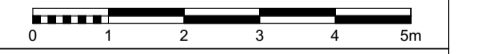
For materials and details, please refer to 1328_400 series drawings and Design & Access statement section 6, materials page.



REV	DATE	DESCRIPTION
-----	------	-------------

- GENERAL NOTES
- Measurements are based on metric system.
 - All levels are relative to Ordnance Datum (OSD) unless otherwise stated.
 - Cladding is to be finished in situ.
 - Cladding materials are to be specified.
 - Cladding materials are to be specified.
 - Contractor should verify all conditions, levels and dimensions on site and verify correct interpretation of all information from drawings before commencing work.

This document is the property of the client. It is to be used for the purposes stated and not for any other purpose. The client is responsible for the accuracy of the information provided.



mæ
 1 Naoroji Street London WC1X 0GS
 t +44 (0)20 7704 6060
 e office@mæ-ftp.co.uk
 w mæ-ftp.co.uk

CLIENT London Borough of Camden	
PROJECT NAME Regent's Park Estate Infill	PROJECT NO. 1328
DRAWING NAME Vardell Street Corner - North Elevation	
STATUS Planning	SCALE 1:100 @ A1
DRAWN BY	DATE 28/05/2015
DESIGNED BY	REV -
DRAWING NO. 1328-P3-303	

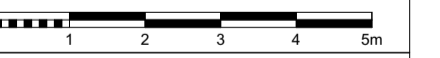
For materials and details, please refer to 1328_400 series drawings and Design & Access statement Section 6, materials page.



REV	DATE	DESCRIPTION
-----	------	-------------

- GENERAL NOTES
- Measurements are based on metric system.
 - All levels are relative to Ordnance Datum (AOD) unless otherwise stated.
 - Cladding and finishes are to be confirmed.
 - Cladding and finishes are to be confirmed.
 - Cladding and finishes are to be confirmed.
 - Cladding and finishes are to be confirmed.
 - Cladding and finishes are to be confirmed.
 - Cladding and finishes are to be confirmed.
 - Cladding and finishes are to be confirmed.
 - Cladding and finishes are to be confirmed.

This drawing is the property of the architect and is not to be used for any other purpose without the written consent of the architect.



mæ
 1 Naoroji Street London WC1X 0GS
 t +44 (0)20 7704 6060
 e office@mæ-llp.co.uk
 w mæ-llp.co.uk

CLIENT London Borough of Camden	
PROJECT NAME Regent's Park Estate Infill	PROJECT NO. 1328
DRAWING NAME Varndell Street Corner - West Elevation	
STATUS Planning	SCALE 1:100 @ A1
DRAWN BY	CHECKED BY
DATE 28/05/2015	DATE
DRAWING NO. 1328-P3-302	REV -

Mackworth

Communal garden

Proposed Varndell St. Block

Existing Low rise terrace houses

Varndell Street

Ennerdale

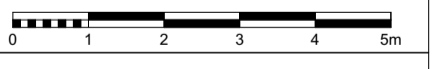
Hawkshead

For materials and details, please refer to 1328_400 series drawings and Design & Access statement section 6, materials page.



REV	DATE	DESCRIPTION
GENERAL NOTES		
1		Measurements are based on metric system.
2		All levels are relative to Ordnance Datum unless otherwise stated.
3		Dimensions are to finished face unless otherwise stated.
4		Dimensions are to finished face unless otherwise stated.
5		Contractor should verify all conditions, levels and dimensions on site and notify contract administrator of any variations from design prior to construction.

This document is the property of the client. It is not to be used for any other project without the written consent of the client. It is not to be used for any other project without the written consent of the client.



mæ
 1 Naoroji Street London WC1X 0GS
 t +44 (0)20 7704 6060
 e office@mæ-ftp.co.uk
 w mæ-ftp.co.uk

Ennerdale | Vardell Street | Proposed Vardell St. Block | Communal garden | Mackworth

Cumberland Mrkt. Peabody housing

CLIENT London Borough of Camden	
PROJECT NAME Regent's Park Estate Infill	PROJECT NO. 1328
DRAWING NAME Vardell Street Corner - East Elevation	
STATUS Planning	SCALE 1:100 @ A1
DRAWN BY	DATE 28/05/2015
DESIGNED BY	REV -
DRAWING NO. 1328-P3-301	

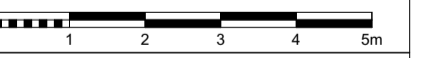
For materials and details, please refer to 1328_400 series drawings and Design & Access statement section 6, materials page.



REV	DATE	DESCRIPTION
-----	------	-------------

- GENERAL NOTES
- Measurements are based on metric system.
 - 20 levels are shown in this drawing unless otherwise stated.
 - 20 levels are shown in this drawing unless otherwise stated.
 - 20 levels are shown in this drawing unless otherwise stated.
 - 20 levels are shown in this drawing unless otherwise stated.
 - 20 levels are shown in this drawing unless otherwise stated.
 - 20 levels are shown in this drawing unless otherwise stated.
 - 20 levels are shown in this drawing unless otherwise stated.
 - 20 levels are shown in this drawing unless otherwise stated.
 - 20 levels are shown in this drawing unless otherwise stated.

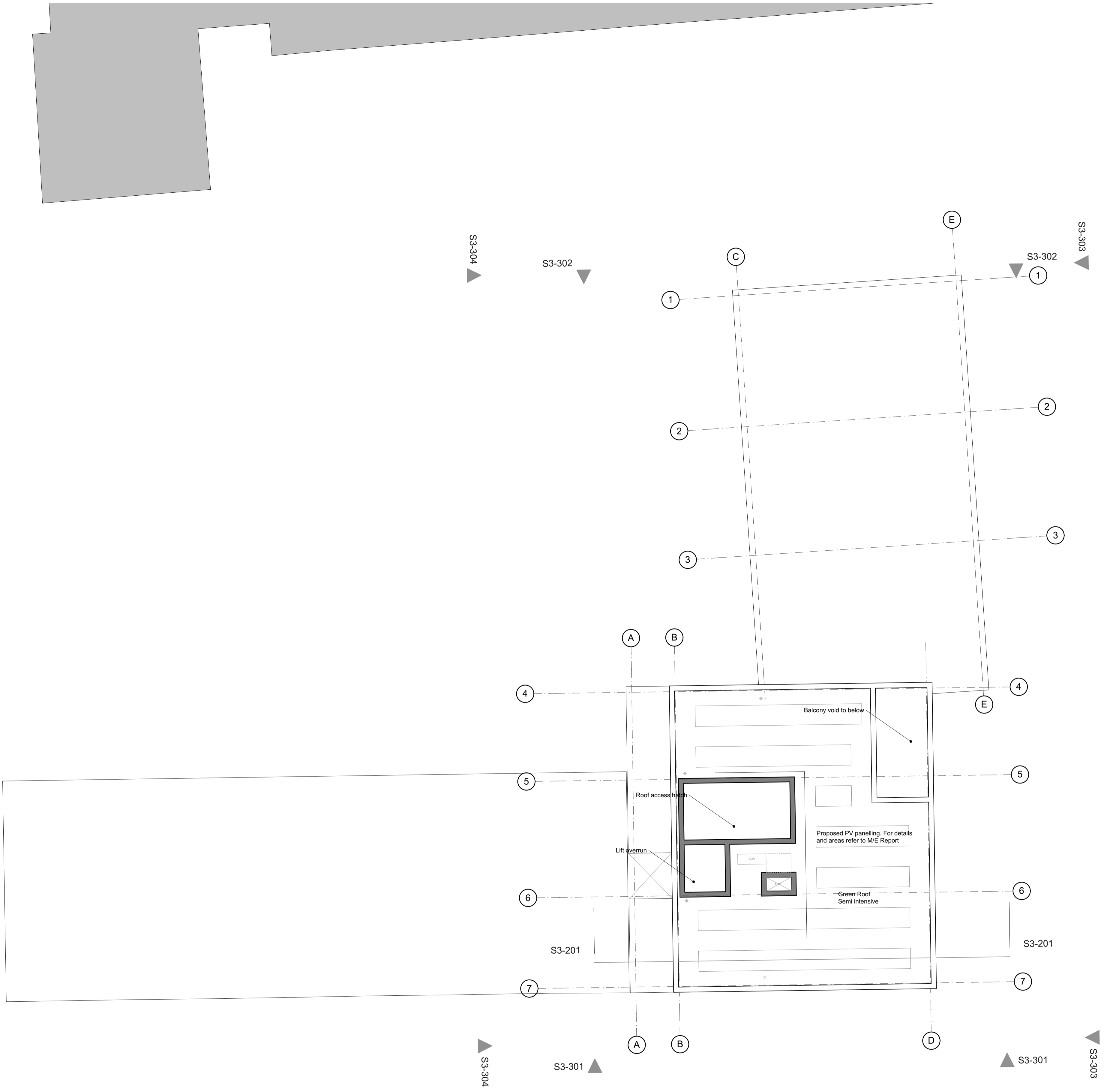
The information on this drawing is for information only. It is not intended to be used for construction purposes. The information on this drawing is for information only. It is not intended to be used for construction purposes.



mæ

1 Naoroji Street London WC1X 0GS
 t +44 (0)20 7704 6060
 e office@mæ-llp.co.uk
 w mæ-llp.co.uk

CLIENT London Borough of Camden	
PROJECT NAME Regent's Park Estate Infill	PROJECT NO. 1328
DRAWING NAME Vardell Street Corner - Section AA	
STATUS Planning	SCALE 1:100 @ A1
DRAWN BY	DATE 28/05/2015
DRAWING NO. 1328-P3-201	REV -

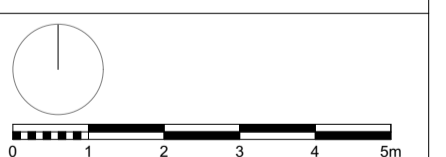


For materials and details, please refer to 1328_400 series drawings and Design & Access statement section 6, materials page.

REV	DATE	DESCRIPTION
-----	------	-------------

- GENERAL NOTES**
1. Measurements are based on walls system.
 2. All work is to be done in accordance with the relevant BS standards.
 3. All work is to be done in accordance with the relevant BS standards.
 4. All work is to be done in accordance with the relevant BS standards.
 5. All work is to be done in accordance with the relevant BS standards.
 6. All work is to be done in accordance with the relevant BS standards.
 7. All work is to be done in accordance with the relevant BS standards.

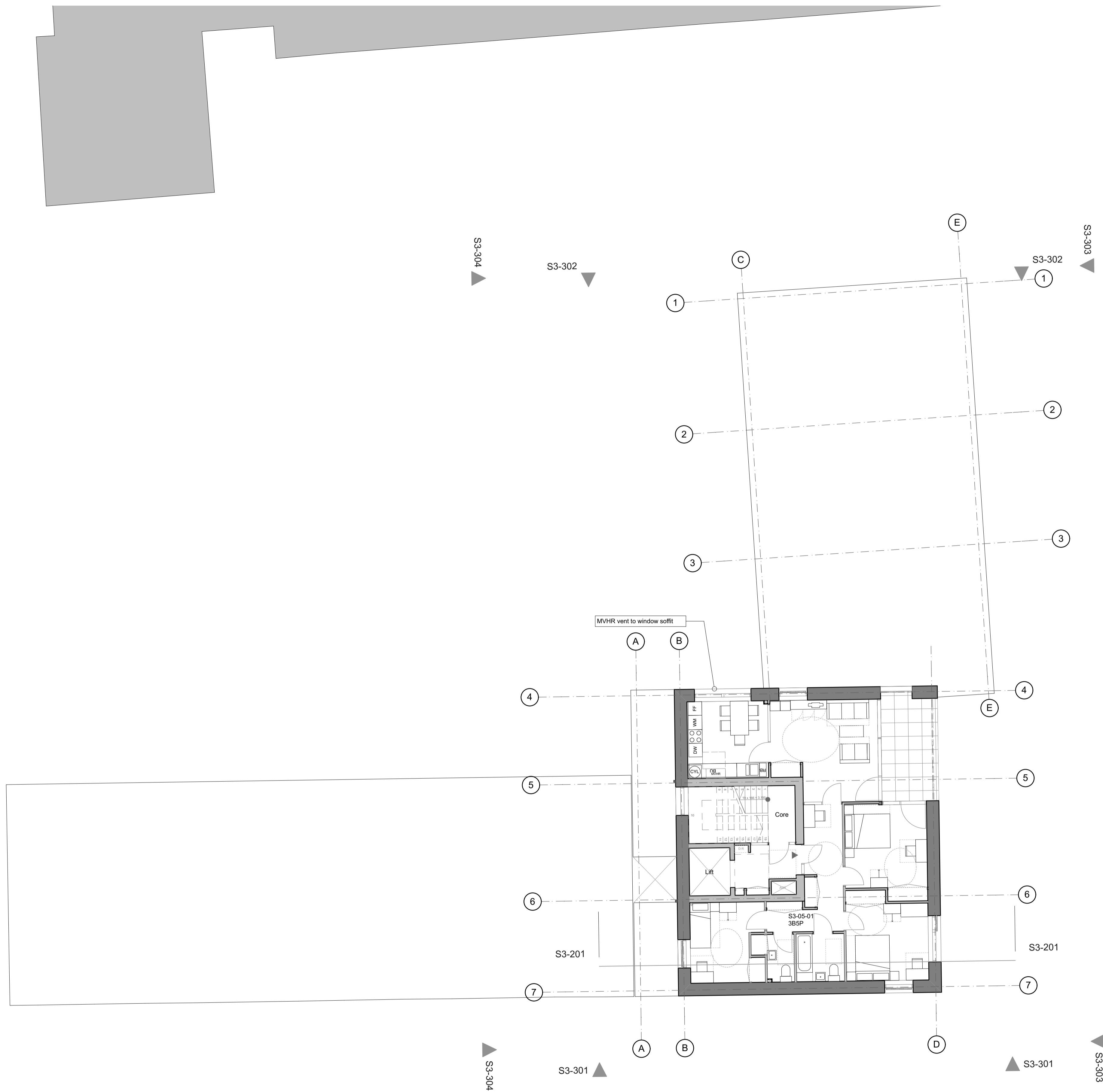
The information on this drawing is for guidance only. It is not intended to be used as a basis for construction or for any other purpose. The user of this drawing is responsible for ensuring that it is used in accordance with the relevant BS standards.



mæ

1 Naoroji Street London WC1X 0GS
 +44 (0)20 7704 6060
 office@mæ-llp.co.uk
 mæ-llp.co.uk

CLIENT London Borough of Camden	
PROJECT NAME Regent's Park Estate Infill	PROJECT NO. 1328
DRAWING NAME Vandell Street Corner - Roof Plan	
STATUS Planning	SCALE 1:100 @ A1
DRAWN BY	DATE 28/05/2015
DRAWING NO. 1328-P3-107	REV -



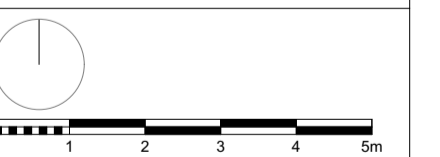
For materials and details, please refer to 1328_400 series drawings and Design & Access statement section 6, materials page.

REV	DATE	DESCRIPTION
-----	------	-------------

GENERAL NOTES

1. Measurements are based on walls system.
2. All work is to be done in accordance with the relevant Building Regulations (BR) unless otherwise stated.
3. All work is to be done in accordance with the relevant BS standards.
4. All work is to be done in accordance with the relevant BS standards.
5. All work is to be done in accordance with the relevant BS standards.
6. All work is to be done in accordance with the relevant BS standards.
7. All work is to be done in accordance with the relevant BS standards.

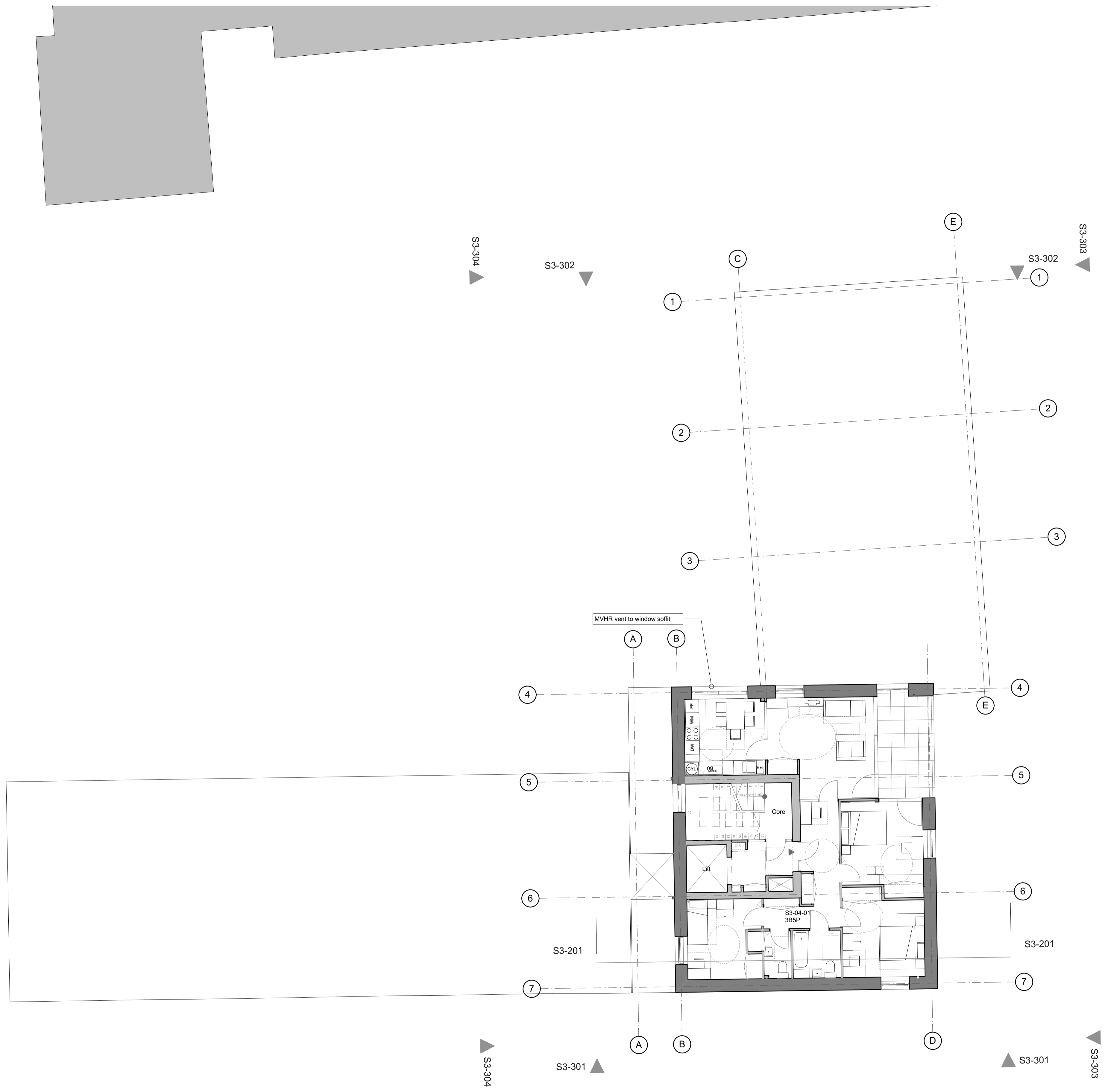
The drawings are the property of the architect and shall remain their property. No part of the drawings shall be reproduced or used in any way without the written consent of the architect.



mæ

1 Naoroji Street London WC1X 0GS
 +44 (0)20 7704 6060
 office@mæ-llp.co.uk
 mæ-llp.co.uk

CLIENT London Borough of Camden	
PROJECT NAME Regent's Park Estate Infill	PROJECT NO. 1328
DRAWING NAME Vandell Street Corner - Fifth Floor Plan	
STATUS Planning	SCALE 1:100 @ A1
DRAWN BY	DATE 28/05/2015
DRAWING NO. 1328-P3-106	REV -

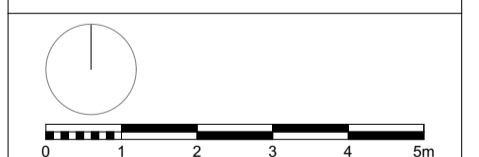


For materials and details, please refer to 1328_400 series drawings and Design & Access statement section 6, materials page.

REV	DATE	DESCRIPTION
-----	------	-------------

- GENERAL NOTES**
- Measurements are based on walls system.
 - 20 levels are shown in Column Grid Tables (CCT) unless otherwise noted.
 - 20 levels are shown in Column Grid Tables (CCT) unless otherwise noted.
 - Figure dimensions are to be followed.
 - 20 levels are shown in Column Grid Tables (CCT) unless otherwise noted.
 - Contractor should verify all conditions, levels and dimensions on site and notify contract administrator if any variations from design are required.

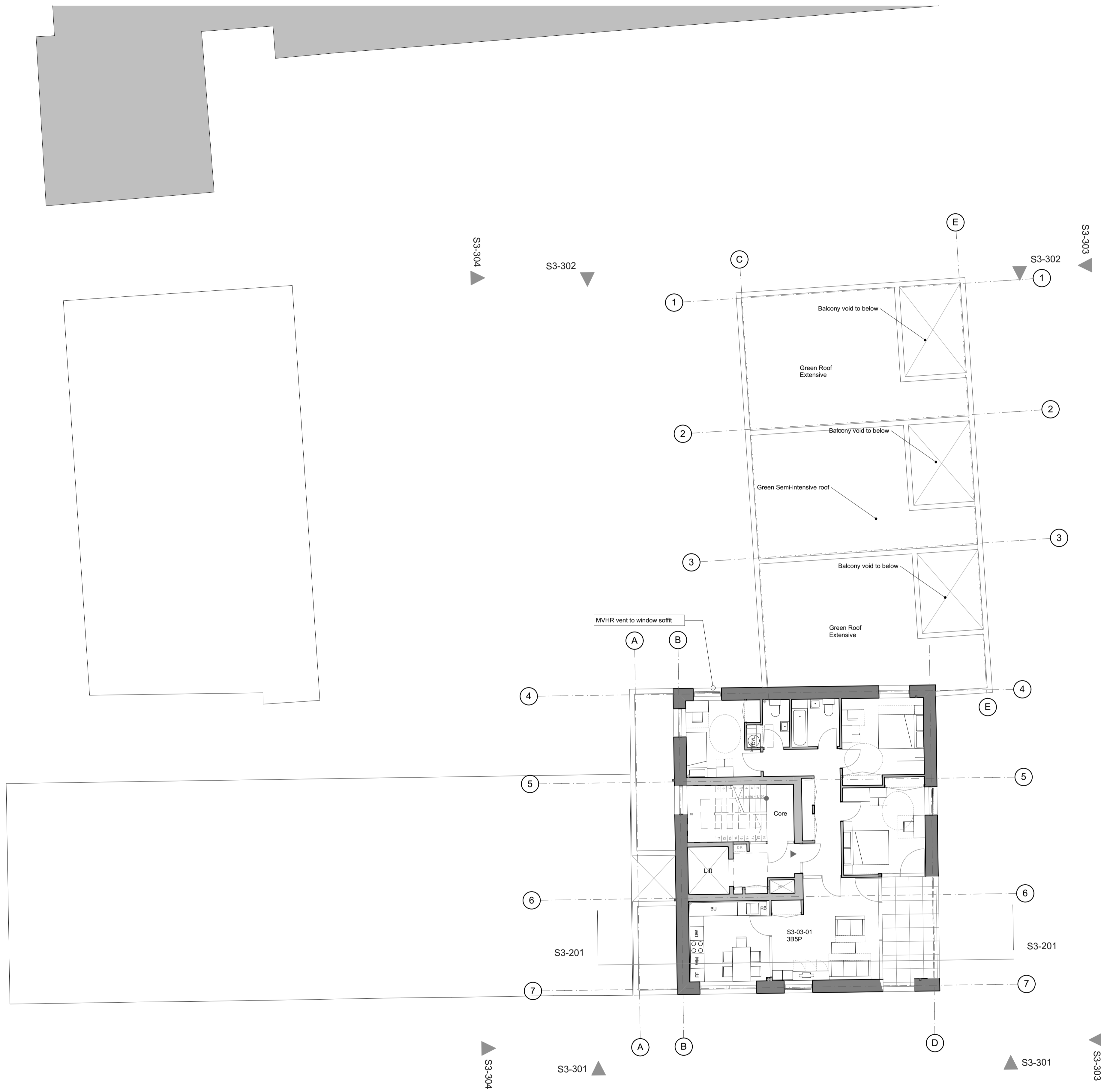
The data contained in this document is the property of mae. The data is provided for the recipient and should not be used for any other purpose without the prior written consent of mae.



mae

1 Naoroji Street London WC1X 0GS
 +44 (0)20 7704 6060
 office@mae-ftp.co.uk
 mae-ftp.co.uk

CLIENT London Borough of Camden	
PROJECT NAME Regent's Park Estate Infill	PROJECT NO. 1328
DRAWING NAME Vandell Street Corner - Fourth Floor Plan	
STATUS Planning	SCALE 1:100 @ A1
DRAWN BY	DATE 28/05/2015
DRAWING NO. 1328-P3-105	REV -

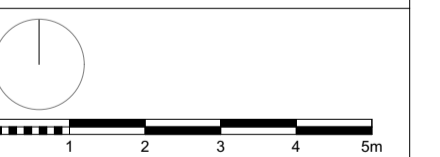


For materials and details, please refer to 1328_400 series drawings and Design & Access statement section 6, materials page.

REV	DATE	DESCRIPTION
-----	------	-------------

- GENERAL NOTES
1. Measurements are based on walls system.
 2. All work is to be done in accordance with the relevant Building Regulations (BR) unless otherwise stated.
 3. All work is to be done in accordance with the relevant BS standards.
 4. All work is to be done in accordance with the relevant BS standards.
 5. All work is to be done in accordance with the relevant BS standards.
 6. Contractor should verify all conditions, levels and dimensions on site and verify correct administration of all work before commencing any work.

The information on this drawing is the property of the client. It is not to be used for any other purpose without the written consent of the client. The client accepts full responsibility for the accuracy of the information provided.



mæ
 1 Naoroji Street London WC1X 0GS
 +44 (0)20 7704 6060
 office@mæ-ftp.co.uk
 mæ-ftp.co.uk

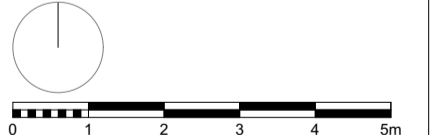
CLIENT London Borough of Camden	
PROJECT NAME Regent's Park Estate Infill	PROJECT NO. 1328
DRAWING NAME Vandell Street Corner - Third Floor Plan	
STATUS Planning	SCALE 1:100 @ A1
DRAWN BY	DATE 28/05/2015
DRAWING NO. 1328-P3-104	REV -



For materials and details, please refer to 1328_400 series drawings and Design & Access statement section 6, materials page.

REV	DATE	DESCRIPTION
GENERAL NOTES		
1		Measurements are based on walls system
2		200 levels are in place to 200mm above ceiling (CCM) unless otherwise noted
3		200 levels are in place to 200mm above ceiling (CCM) unless otherwise noted
4		200 levels are in place to 200mm above ceiling (CCM) unless otherwise noted
5		200 levels are in place to 200mm above ceiling (CCM) unless otherwise noted
6		200 levels are in place to 200mm above ceiling (CCM) unless otherwise noted
7		200 levels are in place to 200mm above ceiling (CCM) unless otherwise noted

The information on this drawing is the property of the client. It is to be used only for the purposes for which it is provided and is not to be used for any other purpose without the written consent of the client. The client is responsible for the accuracy of the information provided.



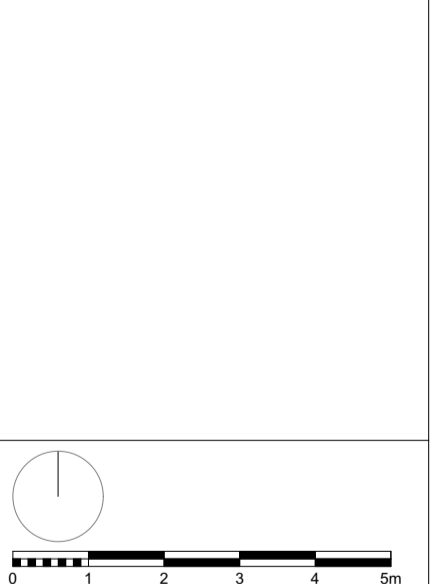
mæ
 1 Naoroji Street London WC1X 0GS
 t +44 (0)20 7704 6060
 e office@mæ-llp.co.uk
 mæ-llp.co.uk

CLIENT	
London Borough of Camden	
PROJECT NAME	PROJECT NO.
Regent's Park Estate Infill	1328
DRAWING NAME	
Vandell Street Corner - Second Floor Plan	
STATUS	SCALE
Planning	1:100 @ A1
DRAWN BY	DATE
	28/05/2015
DRAWING NO.	REV
1328-P3-103	-



For materials and details, please refer to 1328_400 series drawings and Design & Access statement section 6, materials page.

REV	DATE	DESCRIPTION
GENERAL NOTES		
1		Measurements are based on walls system
2		20 levels are shown in Column Grid
3		20 levels are shown in Column Grid
4		20 levels are shown in Column Grid
5		20 levels are shown in Column Grid
6		20 levels are shown in Column Grid
7		20 levels are shown in Column Grid



mæ
 1 Naoroji Street London WC1X 0GS
 +44 (0)20 7704 6060
 office@mæ-ftp.co.uk
 mæ-ftp.co.uk

CLIENT London Borough of Camden	
PROJECT NAME Regent's Park Estate Infill	PROJECT NO. 1328
DRAWING NAME Vandell Street Corner - First Floor Plan	
STATUS Planning	SCALE 1:100 @ A1
DRAWN BY	DATE 28/05/2015
DRAWING NO. 1328-P3-102	REV -

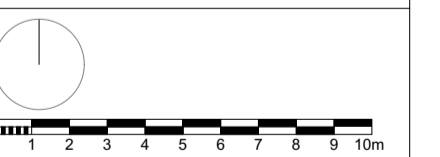


For materials and details, please refer to 1328_400 series drawings and Design & Access statement section 6, materials page.

REV	DATE	DESCRIPTION
-----	------	-------------

- GENERAL NOTES**
- Measurements are based on metric system.
 - All levels are relative to Ordnance Datum (OSD) unless otherwise stated.
 - Site is to be developed in accordance with the Planning Permission.
 - Client to provide all necessary consents.
 - Contractor should verify all conditions, levels and dimensions on site and verify correct interpretation of any variations from drawings before construction commences.

The information on this drawing is the property of the client. It is to be used for the purposes stated and not for any other purpose. The client is responsible for the accuracy of the information provided and the client is to be held responsible for any errors or omissions.



mæ
 1 Naoroji Street London WC1X 0GS
 t +44 (0)20 7704 6060
 e office@mæ-ftp.co.uk
 w mæ-ftp.co.uk

CLIENT London Borough of Camden	
PROJECT NAME Regent's Park Estate Infill	PROJECT NO. 1328
DRAWING NAME Varndell Street Corner - Proposed Site Plan	
STATUS Planning	SCALE 1:200 @ A1
DRAWN BY	DATE 28/05/2015
DRAWING NO. 1328-P3-100	REV -