

6. Desk Study and Walkover Survey

Subsoil conditions

A soil investigation has been commissioned to determine the soil conditions and to confirm the water table.

Accordingly to the Geology of Britain viewer, the site is located on London Clay Formation. This is as expected in the area.

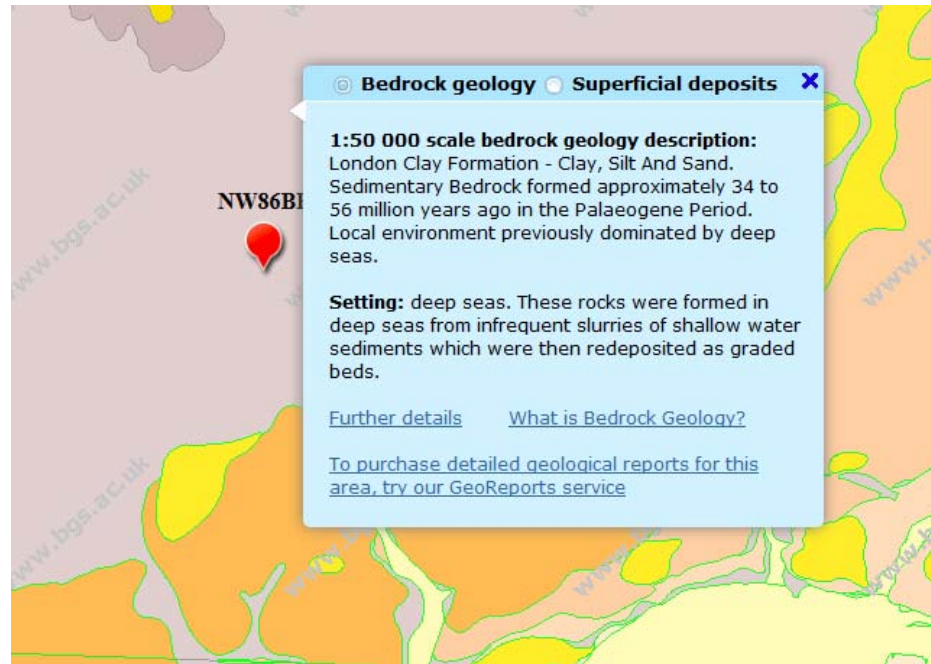


Figure 27 14f Avenue Road on geology of Britain viewer

Soil investigation confirmed the ground conditions (see **Appendix E** for details). The ground water was not found at 6.0m, which is below the proposed depth of the development.

Walk over Survey



Figure 28 Rear and front of 14 Avenue Road



Figure 29 Large tree at the back of the garden. Boundary lines with the Neighbours as timber fences and solid wall between two extensions.

Two big Maple trees were noted at the back of the properties (one, on Neighbour's side). The trees are not going to be cut down due to basement works. Root barrier protection can be required to protect new basement walls. The base of foundation excavations must extend at least 300mm into non-root penetrated soils.

The existing building did not exhibit any signs of subsidence nor movement. The building is part of a terrace and the effects of the development on the adjacent properties will need to be considered.



Figure 30 14f Avenue road front /rear of the building



Figure 31 14g Avenue road front /rear of the building

No. I and G are attached properties. Based on visual inspection undertaken on 14th October 2014 for the property and the neighbours, no signs of cracking / movement were noted to the front and rear elevation of the properties. The water course was noted on the site at the time of the inspection.

The boundaries were marked by a combination of timber fencing and solid internal walls.