

**DISCHARGE OF CONDITIONS 10, 11, 13, 14, 16, 17, 18,20 & 22 OF PLANNING PERMISSION
2012/1209/P (Approved: 22/02/2013 subject to S106 Agreement)**

PROJECT: 1007_1DP

ADDRESS: 1 DUMPTON PLACE, NW1 8JJ

DATE: 14-May-2015

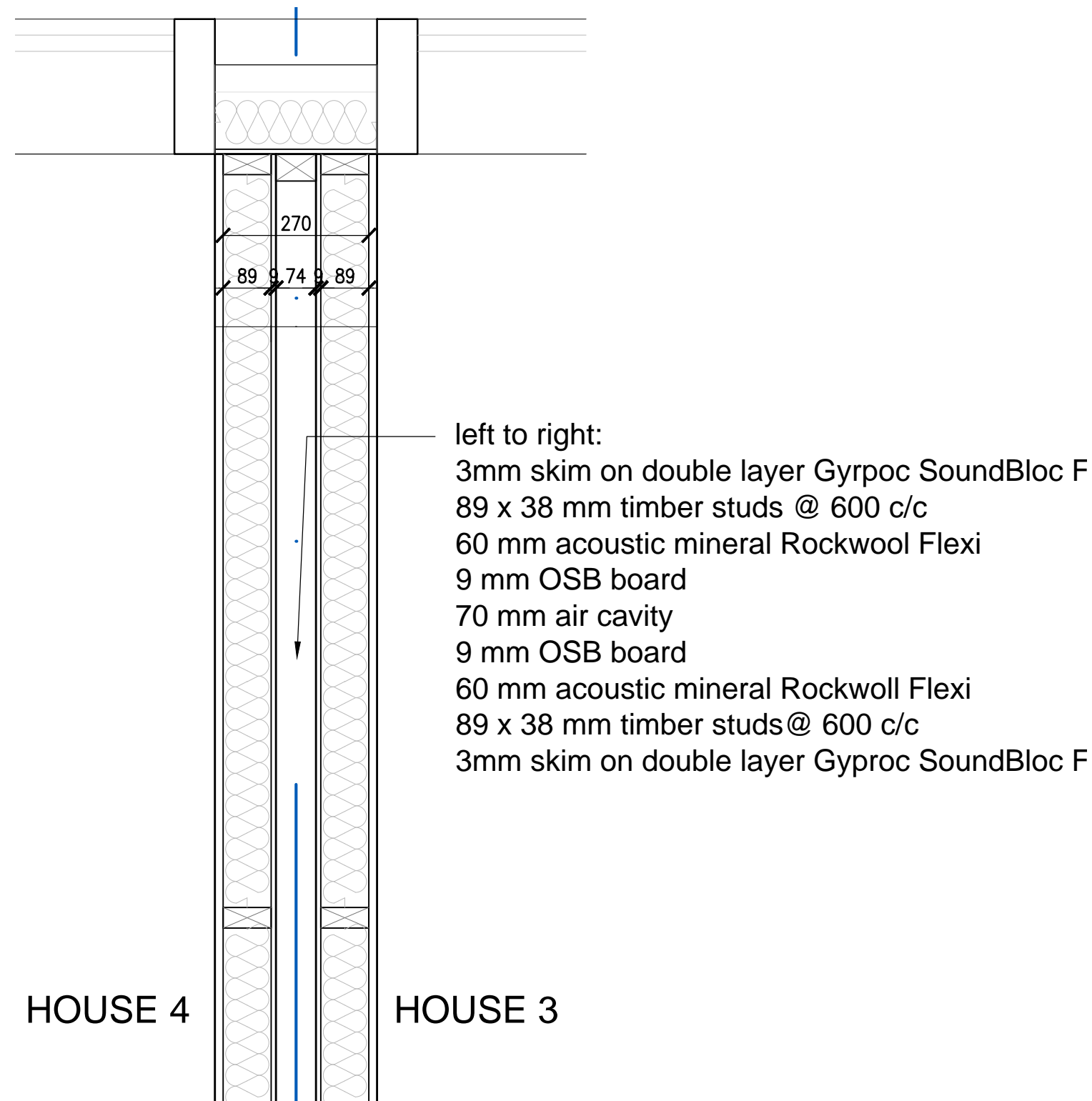
8-10 NEW NORTH PLACE
LONDON EC2A 4JA

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FAX 020 7739 9944

architects@brooksmurray.com
www.brooksmurray.com

CONDITION 10

Before the use commences sound insulation shall be provided for the building in accordance with a scheme to be first approved by the local planning authority. The use shall thereafter not be carried out other than in complete compliance with the approved scheme.



PARTY WALL DETAIL 1:10

Figure 1: Party Wall Detail

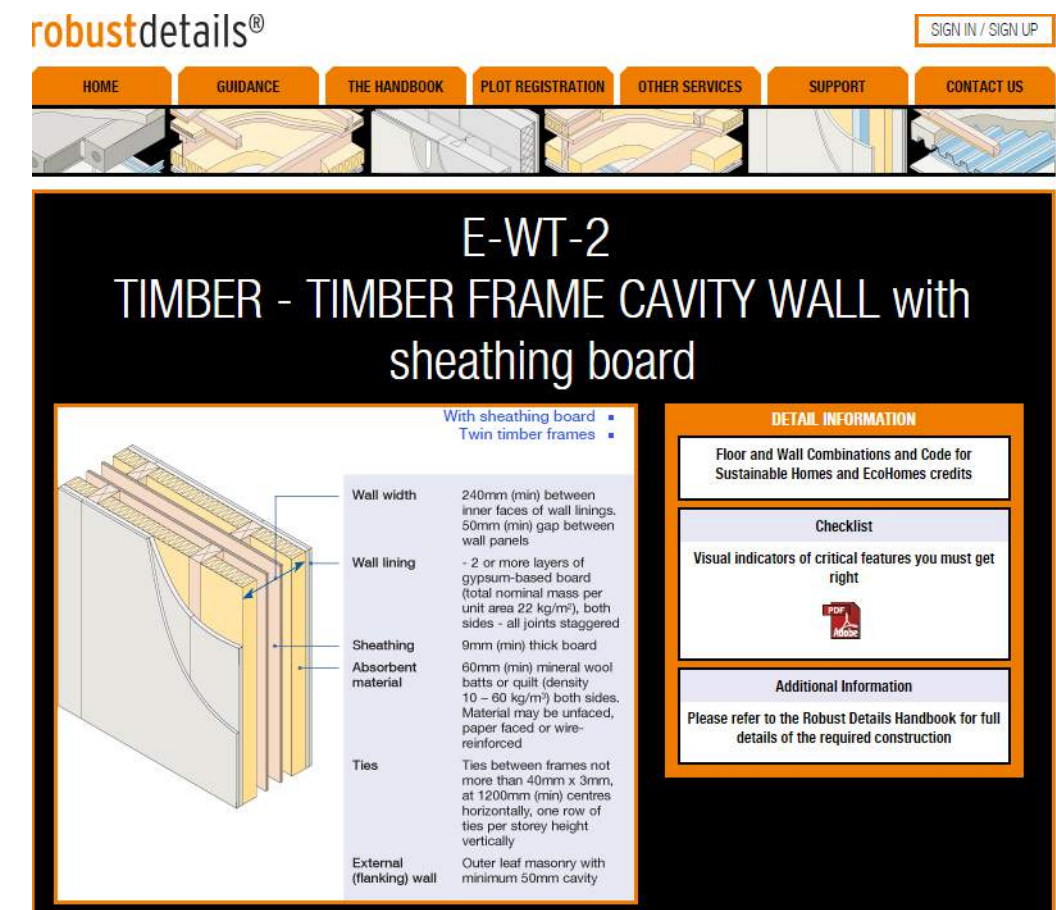


Figure 2: Robust Detail E-WT-2 for separating wall

All the separating walls between houses 1-6 have been built according to the Robust detail E-WT-2 and comply with party wall acoustic standards.

CONDITION 11

Prior to the first occupation of the building a plan showing details of the green roof including species, planting density, substrate, and a section at a scale 1:20 showing the adequate depth is available in terms of the construction and long term viability of the green roof, and a programme for an initial scheme of maintenance shall be submitted to and approved in writing by the local planning authority. The green roof shall be fully provided in accordance with the approved details prior to first occupation and thereafter retained and maintained in accordance with the approved scheme of maintenance.

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WHAT IS ENVIROMAT?

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ENVIROMAT

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HomeWhat Is Enviromat

What Is Enviromat - Enviromat Sedum Matting Product Detail

Enviromat is a living carpet of sedum plants for outdoor use and one of the lowest maintenance garden products available in the UK.

Grown on to a special matting for strength, versatility and easy installation, Enviromat comes complete with mature sedum plants already established in a life-times supply of growing medium.

Enviromat includes a varied mix of flowering sedum plants for all year round colour and texture. With Enviromat there is no need for mowing or deadheading.

Enviromat can help attract wildlife to a location and is suitable for numerous applications including:

- sedum roofs for sheds, summerhouses or stables
- an alternative to an ornamental grass lawn
- planters
- pond surrounds
- sedum mat banks
- borders
- topiary

Enviromat is cultivated on a large scale in Norfolk by Q Lawns.

It takes up to 12 months from start to finish to bring Enviromat to a stage to where it meets our quality standards.

Plant Species in Enviromat

S. album

White Stonecrop

S. kamtschaticum

Gold Sedum

S. pulchellum

Widow's Cross

S. reflexum

Crooked Yellow Stonecrop

S. spurium

Two-row stonecrop

S. sexangulare

Tasteless stonecrop

S. acre

Biting stonecrop

Saxifraga granulata

Meadow Saxifrage

Enviromat and sedum has many benefits for wildlife, for the environment and for our own health and wellbeing.

Enviromat is available in a range of sizes to suit every project and pocket, and couldn't be easier to install. [Download our installation guides or watch our video](#)

Order online

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You have no items in your shopping cart.

Sign Up for Our Newsletter:

Customer Service

Call Us On:
0333 456 4526
Phone support hours 7am - 5pm

Thank you for the order sent to me Saturday morning, a great service, delivered on time and just what was ordered and the quality of the turf is excellent.

Simon Johnson

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Figure 3: Enviromat Plant Specification

Figure 4: Enviromat on site

Q Lawns

Growers of Quality Turf

Tel: 01842 828266 Fax: 01842 827911

Email: sales@qlawns.co.uk Website: www.qlawns.co.uk

Deliver To:

Peak Construction

1 Dumpton Place

Primrose Hill

Camden

NW1 8JB

Bill-to Address

Peak Construction

The Tythe Barn

Waltham Hall Ind Est

Takeley

CM22 6PF

AM

Contact Person

Tel. No.

Other Ref.

travor-07702569984

Shipment No.

SH092214

Shipment Date

28/04/15

Customer Order No.

KC

Preferred Time for Delivery/Collection

28. April 2015

Sell to Customer No.

C00573

Sales Order No.

S0087693

Con No.

835-50025646

Del.

091

Orig.

095

Col.

095

Date

27/04/2015

Items

2

Weight

2000

No.	Description	Quantity	Unit of Measure
ENVWIND	Enviromat	30	Sq metre
DRAINM	Drainage Mat	30	Sq metre
POLY	Heavy Gauge Polythene	30	Sq metre
DELE	Enviromat Delivery	1	Drop

Pallet ID

Zone ID

NW1 8JB

No of Pallets

2

Haulier to supply Forklift?

No

Delivery Time

Receiver Signature

Driver Signature

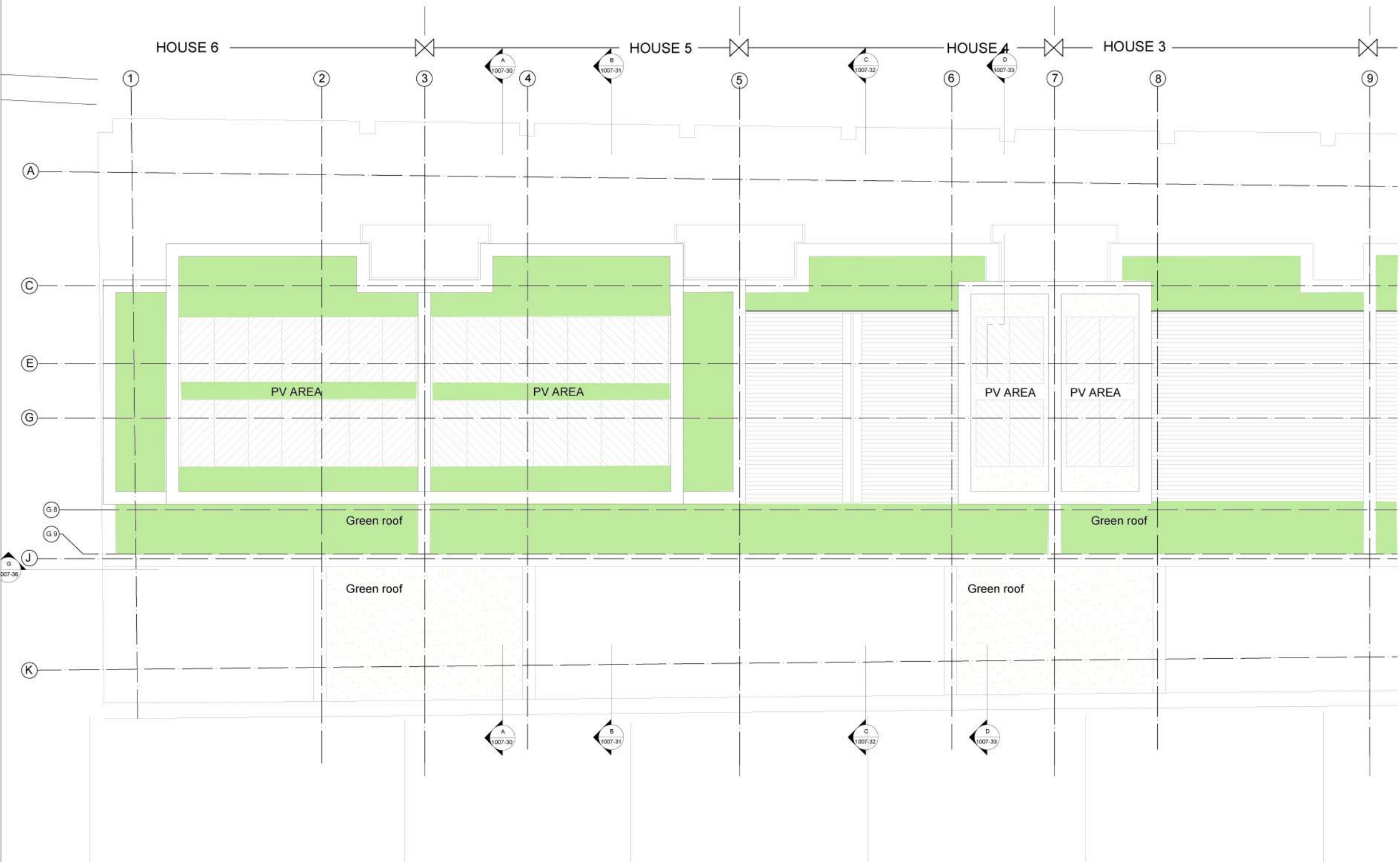
Print Name

Turf is a living product and is perishable. It requires laying and watering immediately. Please remove all support netting and wire pegs from big roll turf during installation. No responsibility whatsoever will be accepted if turf is installed on poorly prepared ground, or in frost or frost conditions. HAULIER - KEEP CURTAINS OPEN WHEN PARKED UP.

Non kerbside forklift deliveries and any damage to property caused by forklift driver error are the buyer's and/or authorised signature risk. Please sign below to accept responsibility.

Figure 5: Enviromat order

Easy maintenance ground cover Enviromat sedum matting will never need mowing pruning or deadheading. It only needs one feed a year (a very easy to apply granular sedum feed) and provided it's installed properly, there should be very little need for watering or weeding.



REFER TO DRAWING 1007-BC-14-02

A	XXXXXX	XX.XX.XX
Rev.	Amendment	Date

BROOKS / MURRAY
ARCHITECTS

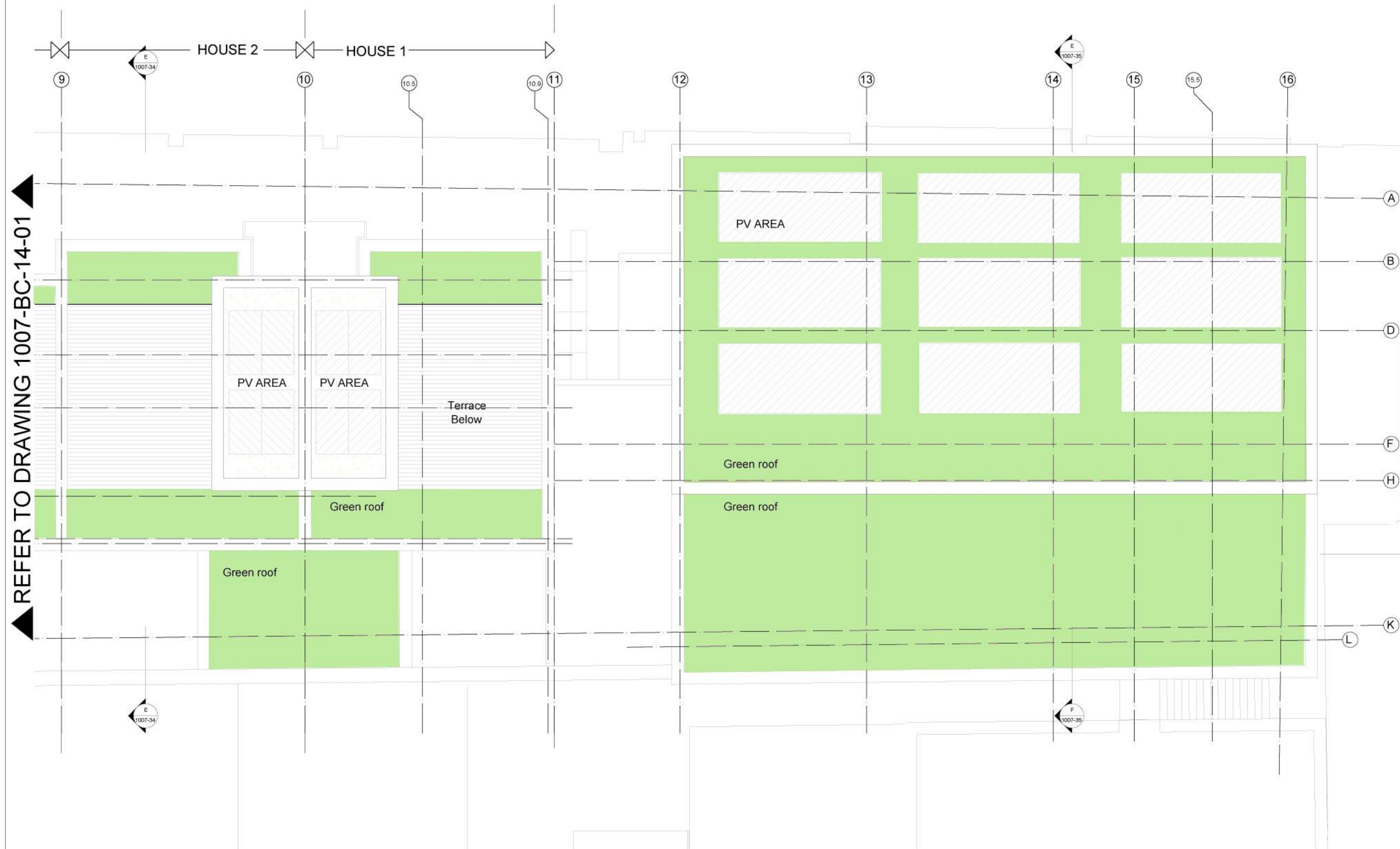
8-10 NEW NORTH PLACE
LONDON EC2A 4JA

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FAX 020 7739 9944

architects@brooksmurray.com

CLIENT:	Peak Construction
JOB:	Dumpton Mews 1 Dumpton Place, NW1 8JB
DATE:	03-Feb-2015 1:50 @ A1
SCALE:	
DRAWING TITLE:	Roof Plan
STATUS:	For Construction
DRAWING NUMBER:	1007-114-1

Figure 6: Roof plan houses 3-6

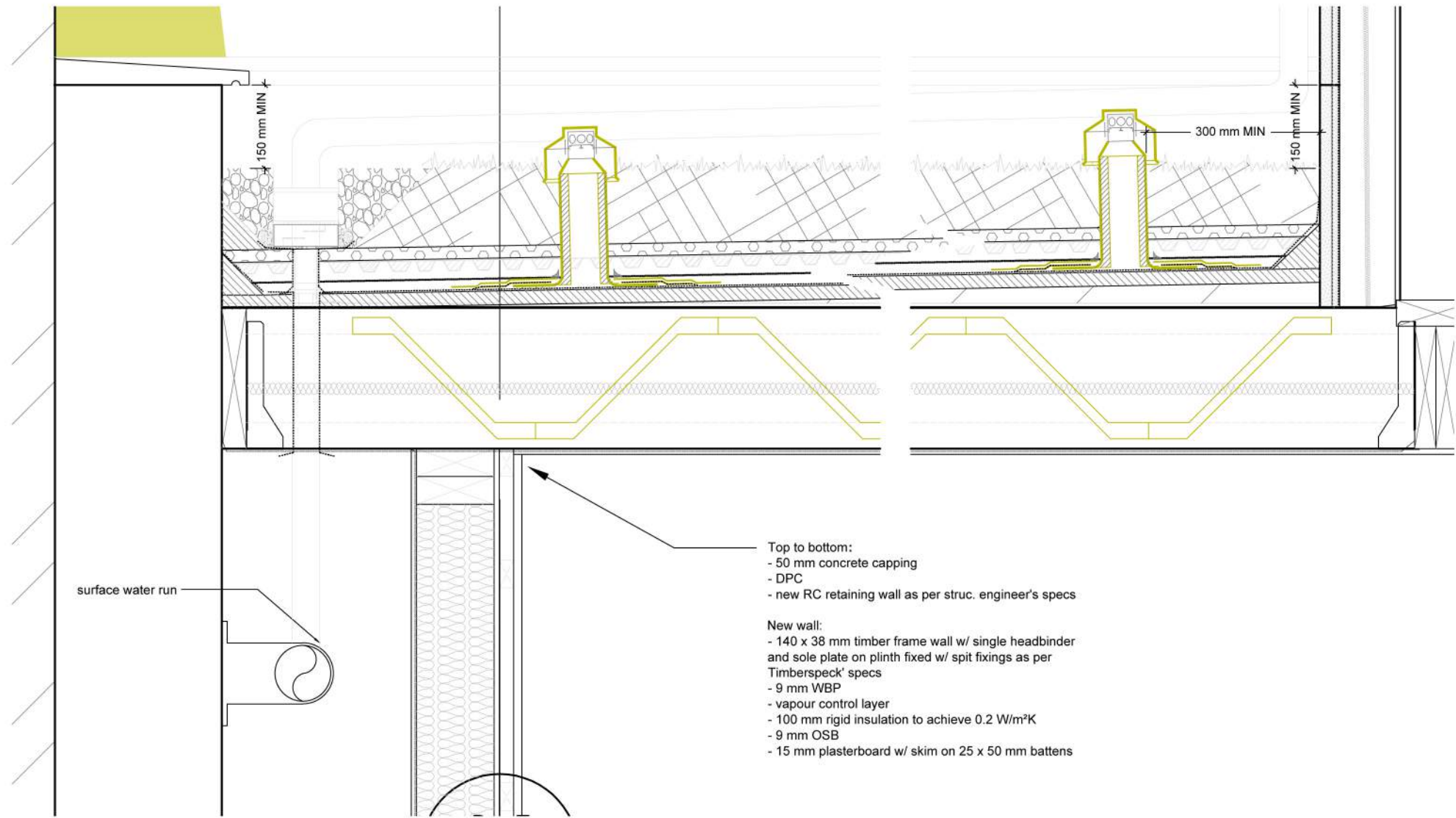


D			
F	A	Residential block layout revision	10.06.14
H	Rev.	Amendment	Date

BROOKS / MURRAY
ARCHITECTS
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architects@brooksmurray.com

CLIENT: Peak Construction	
JOB: Dumpton Mews 1 Dumpton Place, NW1 8JB	
DATE:	SCALE: 03-Feb-2014 1:50 @ A1
DRAWING TITLE: Thrid Floor Plan	
STATUS: For Construction	
DRAWING NUMBER: 1007-114-2-A	

Figure 7: Roof plan houses 1-2 & Commercial block



06 Architectural Detail 06- Section A-A

scale: 1:10

Figure 8: Green Roof Construction Detail

A sample panel of the facing brickwork and other facing materials demonstrating the proposed colour, texture, face-bond and pointing (as appropriate) shall be provided on site and approved by the Council before the relevant parts of the works are commenced and the development shall be carried out in accordance with the approval given. The sample panel shall be retained on site until the work has been completed.

Smeed Dean London Stock

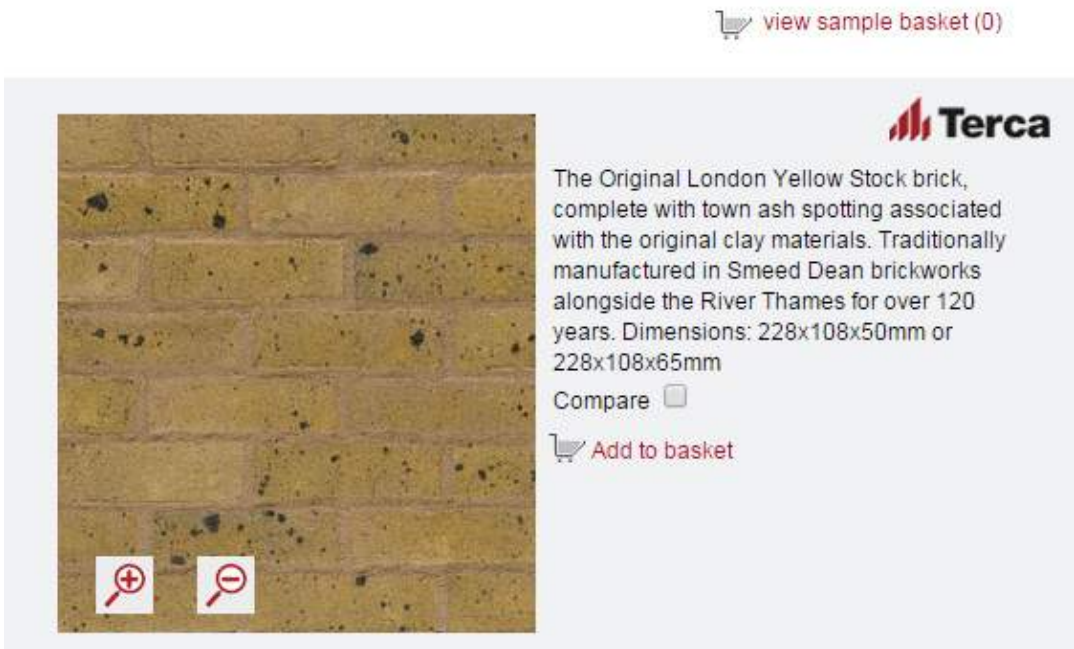


Figure 9: London Yellow Stock used for houses and commercial block from Wienerberger



Figure 10: View of north elevation, houses 1-6, white render with London Yellow Stock



Figure 10: London Yellow Stock used for houses and commercial block from Wienerberger matching the bricks of 2 Dumpton Place

The sample brick panel and render board have been on site since late September 2014 when the materials were delivered on site.