

[REDACTED]

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**From:** [REDACTED]  
**Sent:** 22 May 2015 15:31  
**To:** Planning  
**Cc:** [REDACTED]  
**Subject:** 2015/1609/P - April House 45 Maresfield Gardens London NW3 5TE  
**Attachments:** View from 43 on to 45 Maresfield Gardens.pdf

2015/1609/P - April House 45 Maresfield Gardens London NW3 5TE

(2013/1071/P April House 45 Maresfield Gardens London NW3 5TE)

with attached photograph

Dear Sir/Madam

We represent the neighbouring owner, The Danish YWCA at 43 Maresfield Gardens.

We have several objections to parts of the proposed scheme.

- a. A proposed extension of the lower ground floor adjacent to our property which was created under 2013/107/ P with terrace at upper ground floor results in a higher level terrace adjacent to our clients terrace which has been constructed with windows higher than shown on the approved drawings. Please see attached photograph taken last week. This shows an external speaker wall mounted and wall lights both up and down light which have appeared but are not shown on any drawings, these will have a very adverse affect on our clients property, which is a student hostel.
- b. The proposed previous proposal had shown an obscured window over looking my clients terrace which was agreed as part of the application 2013/107/ P, the current application has now applied for clear glass:- this is marked O & I on the proposed rear elevation drawing submitted. This would be detrimental to our clients usage of the property.
- c. The proposed revised side elevation has ugly rainwater pipes not shown on the drawings and not suitable in a conservation area.
- d. The boundary between the properties is not shown. Our client owns the side passage from the road to the side gate of No 45, it is only a right of way for No 45. This is an emergency escape route from our property and we do not wish this to be compromised in any way.
- e. The lead sheet roof applied for would require demolition of some of the existing work just completed, our client fears that this work will not be undertaken and that roof level will rise again and a retrospective planning will be applied for. It is not possible to construct what is shown on the plan, and no details of a section showing the roof is provided. It would be imperative that this information be provided before this matter is considered.
- f. The coping detail on all the new areas is not suitable for a conservation area and is just a small flat piece of stone stuck on top of parapet walls.
- g. The general detailing of the property is of low quality and not suitable for a conservation area

I hope our objections are considered and we would be happy to comment on any changes that may be proposed as a result of our objections

Do feel free to contact us with any questions

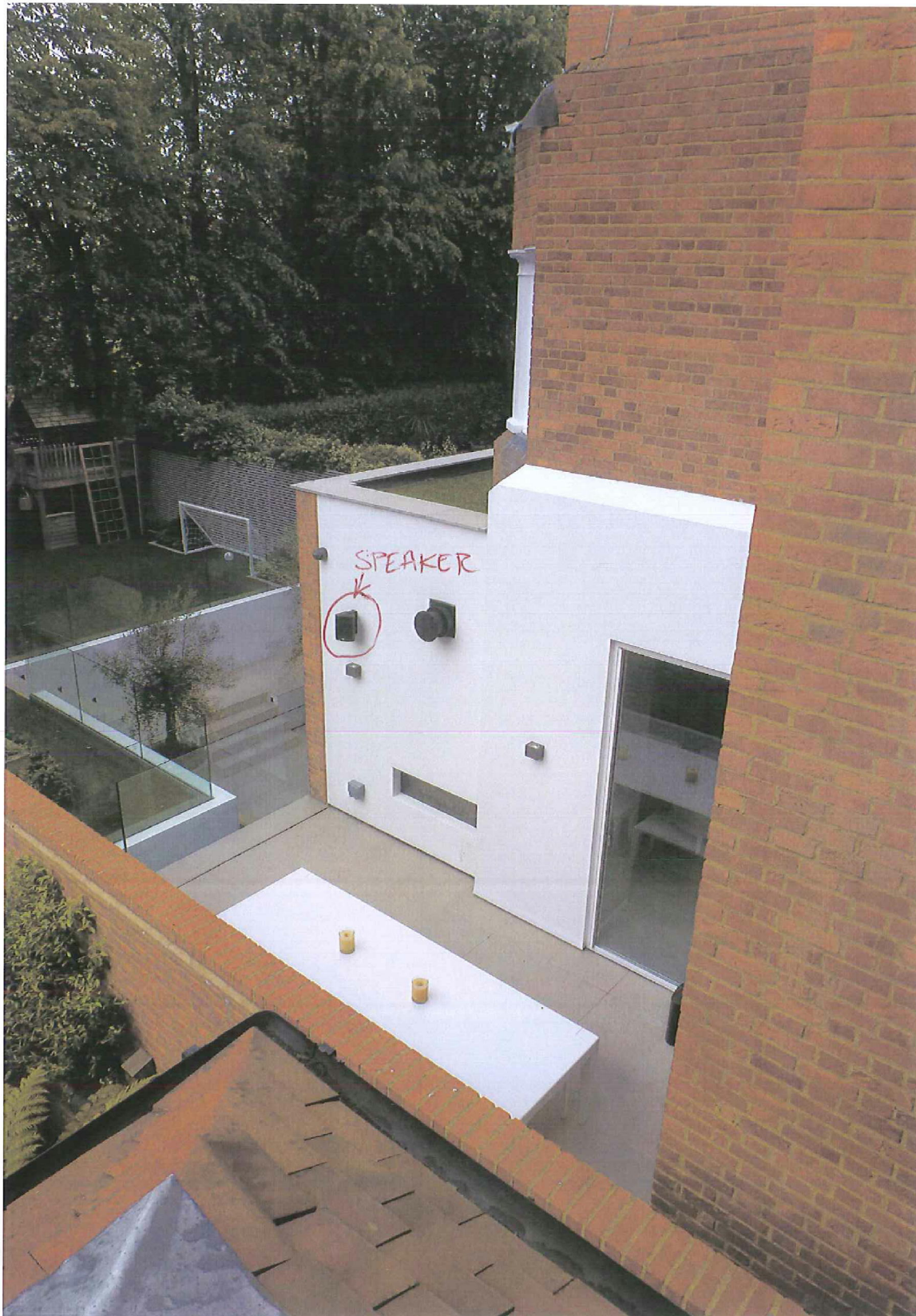
With regards

Eugene Hanniffy

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VIEW FROM 43 MARESFIELD GARDENS. MAY 2015