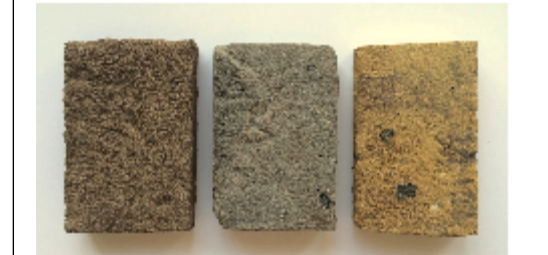


NOTES

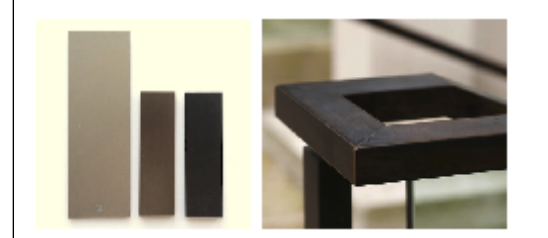
Material Notes



Inte grated Soil Landscaping Bio-Diverse & Sedum roofs. Areas of relief in the brick work and changes in bond & colour



New facing brick in complementary tone and texture utilised with localised areas of re-used London stock brick.



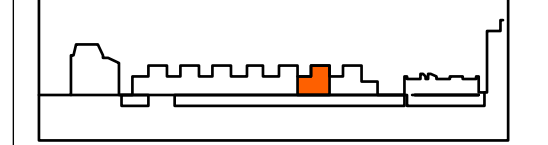
Metallic finishes used in contrast to the brick texture. Anodised Aluminium windows. Darker tonal colours to complement the brick.



Individual & shared residential entrances differentiated. Brick & Buff sandstone paving.



Open space and commercial entrances. Mid & warm grey granite paving.



A	Highly Amended	10/02/15	PP
REV	COMMENTS	DATE	CHK

STATUS

PLANNING

Job 277a Grays Inn Road

Title Elevation Detail Courtyard Homes Rear Elevation

Date February 2015

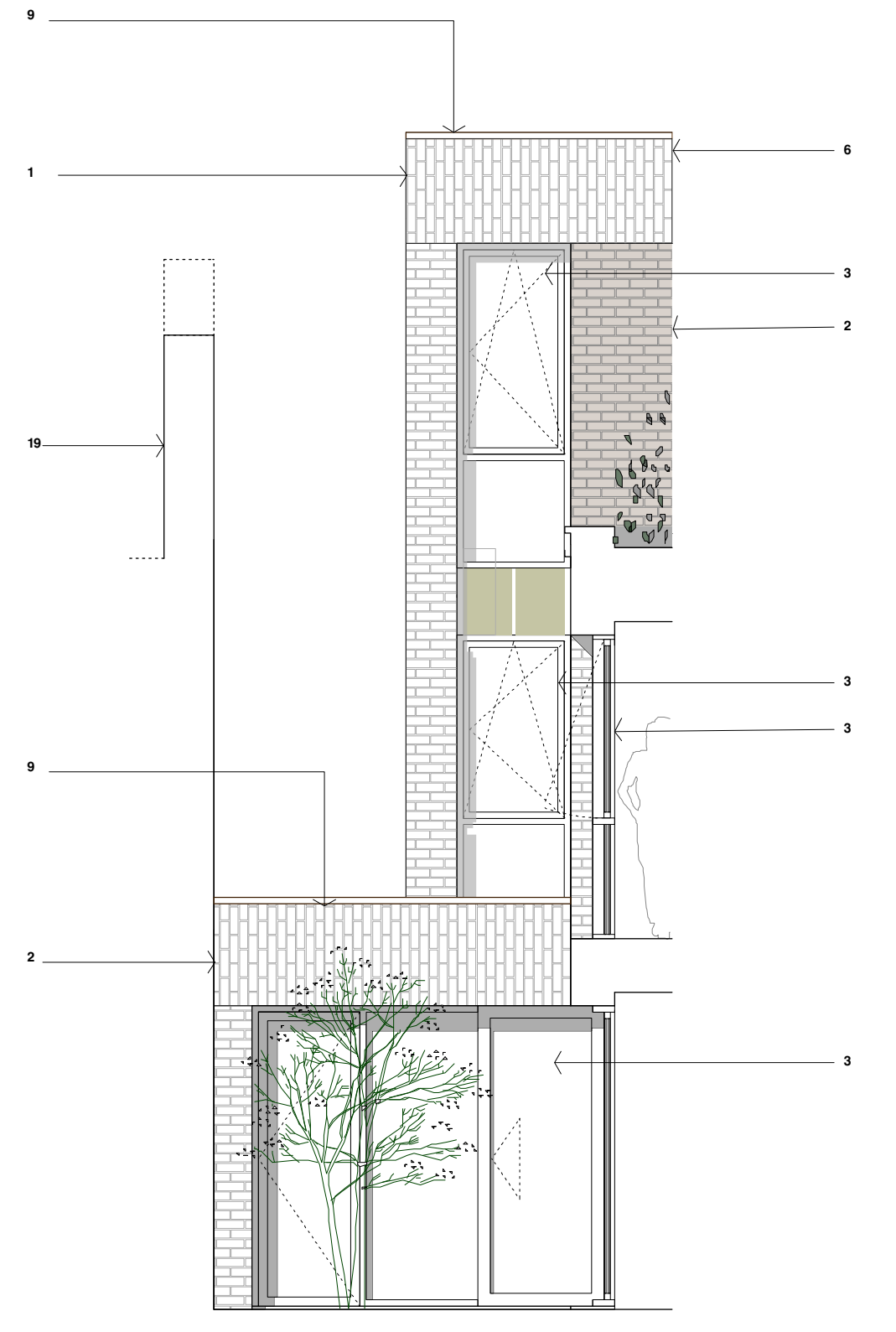
Scale 1:50 @ A2

Drawn PP

126-1502



COURTYARD HOME REAR ELEVATION



EXTRACT FROM SECTION B

- NOTES:
- Proposed new facing brick TYPE 1. Stock brick in running bond with flush mortar joints generally. Standard size, colour and type to be agreed.
 - Proposed new facing brick TYPE 2. Stock brick in running bond with flush mortar joints generally. Standard size, colour and type to be agreed.
 - Anodised aluminium thermally broken double glazed windows and doors
 - Anodised aluminium cladding
 - Concrete fascia / canopy
 - Concrete capping stone
 - Painted steel balcony / balustrade
 - Raised planting beds.
 - Bio-Diverse green roof
 - Paving TYPE 1 - Individual Entrance
 - Paving TYPE 2 - Communal Entrance
 - Paving TYPE 3 - Open Space
 - Fixed glass panel
 - Raised garden - visual amenity only
Access for maintenance
 - Fixed frosted glass panel
 - Skylight
 - Secure bike storage
 - Anodised aluminium double glazed window dimensions and location vary according to its house
 - Existing boundary wall retained. Lowered locally where possible, subject to party wall award not less than +23.5m (1.7m above proposed Courtyard home's first floor level)



Sketch card model - Front view