

Project:
277a Grays Inn Road
Drawing:
Elevation Detail
Courtyard Homes
Rear Elevation
Scale:
1:50@A2
Drawing Number:
126 - 1502
Date:
June 2014
Status:
PLANNING
Revisions:

A: 00.00.00 - Revisions

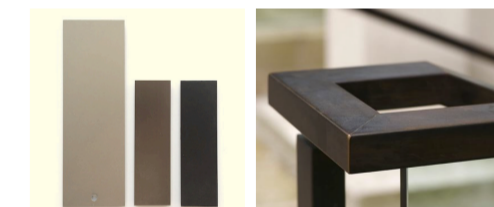
Material Notes



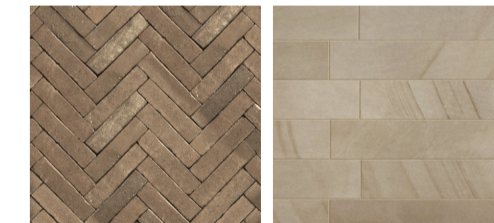
Integrated Soft Landscaping throughout. Bio-Diverse & Sedum roofs. Areas of relief in the brick work and changes in bond & colour



New facing brick in complementary tone and texture utilised with localised areas of re-used London stock brick.



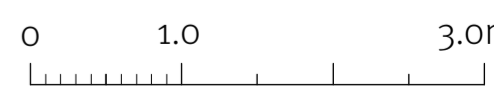
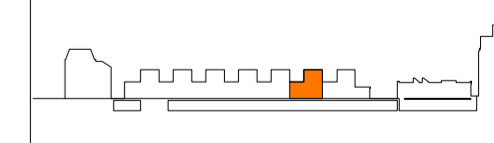
Metallic finishes used in contrast to the brick texture. Anodised Aluminium windows. Darker tonal colours to complement the brick.



Individual & shared residential entrances differentiated. Brick & Buff sandstone paving.



Open space and commercial entrances. Mid & warm grey granite paving.

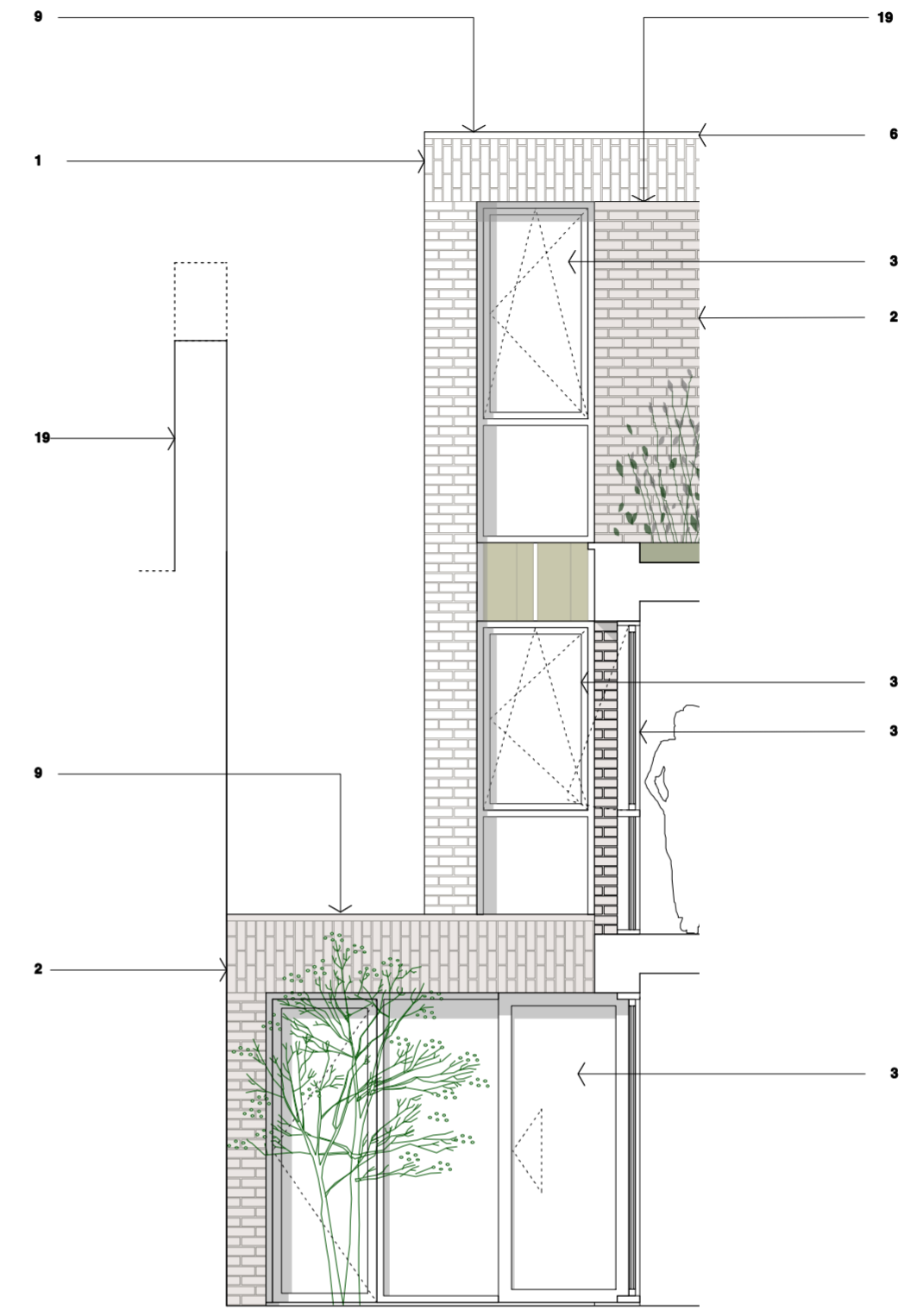


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COURTYARD HOME REAR ELEVATION



EXTRACT FROM SECTION B

- NOTES:
- Proposed new facing brick TYPE 1. Stock brick in running bond with flush mortar joints generally. Standard size, colour and type to be agreed.
 - Proposed new facing brick TYPE 2. Stock brick in running bond with flush mortar joints generally. Standard size, colour and type to be agreed.
 - Anodised aluminium thermally broken double glazed windows and doors
 - Anodised aluminium cladding
 - Concrete fascia / canopy
 - Concrete capping stone
 - Painted steel balcony / balustrade
 - Raised planting beds.
 - Bio-Diverse green roof
 - Paving TYPE 1 - Individual Entrance
 - Paving TYPE 2 - Communal Entrance
 - Paving TYPE 3 - Open Space
 - Fixed glass panel
 - Raised garden - visual amenity only
Access for maintenance
 - Fixed frosted glass panel
 - Skylight
 - Secure bike storage
 - Anodised aluminium double glazed window dimensions and location vary according to its house
 - Existing boundary wall retained. Lowered focally where possible, subject to party wall award not less than +23.5m (1.7m above proposed Courtyard home's first floor level)

