

## 5.0 The Proposal

### 5.2 Massing



Figure 10: Aerial view from the north-east

Phase 5's massing re-establishes the coherence of the street wall with a building whose tripartite order of 'base', 'body' and 'attic' echoes that of the adjacent Gordon Mansions.

- The base contains public and social spaces including a cafe and waiting areas, whilst its treatment maximises the connection between these functions and surrounding context.
- The body carefully re-establishes a new urban wall and acts as a mediator between two scales, styles and materials.
- The roof has the potential to provide south facing gardens which follows the 45 degree theme throughout.

## 5.0 The Proposal

### 5.3 Elevation Details and Materials

Perforated brick screens enliven the Huntley Street elevation. To the south they screen waiting area bays and to the north they form vertical blades denoting the core.

The building's design responds to the rich architectural heritage of the local area drawing together neighbours of contrasting architectural detail.

The composition of the Huntley Street elevation balances waiting areas to the south against the Capper Street core to the north. The latter is expressed as a vertical element recalling the corner turret of Gordon Mansions. The main entrance on Huntley Street is framed between these two elements. A clear ground floor lobby offers light and views to Shropshire Place.

The use of rich red handmade brick delivers a high quality, contemporary facade drawing on the inventive brick buildings of earlier epochs characteristic of the area.



Figure 11: Huntley Street elevation



Figure 12: Huntley Street partial elevation - Group waiting bay

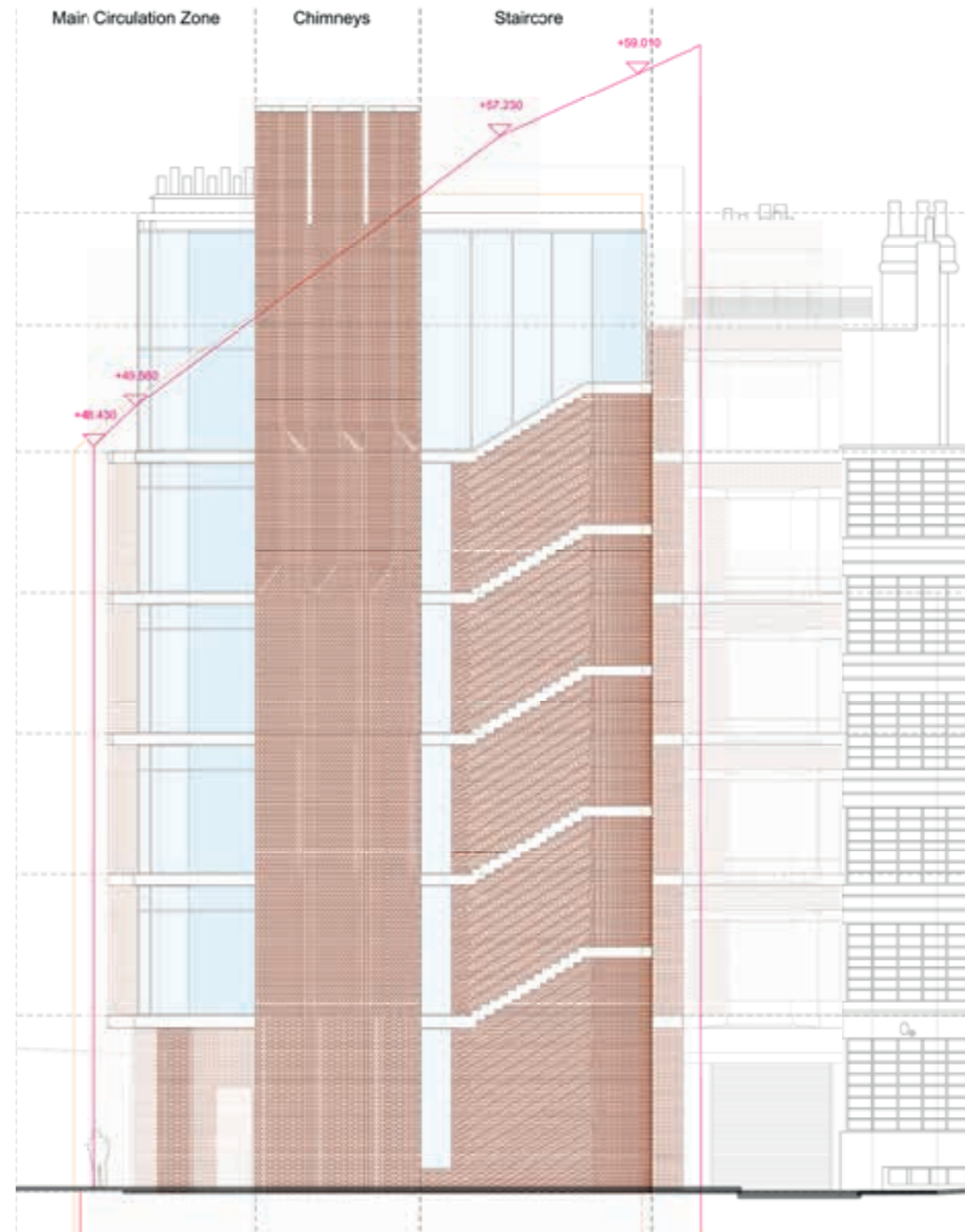


Figure 13: Capper Street elevation



Figure 14: Shropshire Place entrance

## 5.0 The Proposal

### 5.3 Elevation Details and Materials

#### Shropshire Place.

The typical tripartite form continues around to Shropshire Place although the main body of the building is defined by an additional level to that of Huntley Street.

The main body of the building expresses the serviced functions. The lighter articulation and the presence of the double banding re-established within the façade reveals the clinical circulation at the rear of the building. The double horizontal white banding is more expressive along the Shropshire Place elevation as a result of the lower ceilings within the clinical circulation.

The typical bay reflects a mirrored arrangement to that of Huntley Street. Conversely the solid brick pier transitions to a perforated brick panel allowing for a visual link to Shropshire Place along the internal corridor. Additionally a cleaner metal panel replaces the perforated canted brick bay.

Four canted bays terminate the view down the street generating an external focal point whilst expressing the staff breakout zones within the façade.

Finally the entrance line is recessed at ground to establish a generous defensible space between the road and pavement. Additionally the curved glazed lift lobby establishes an earlier visual connection to the entrance from views along Capper Street.

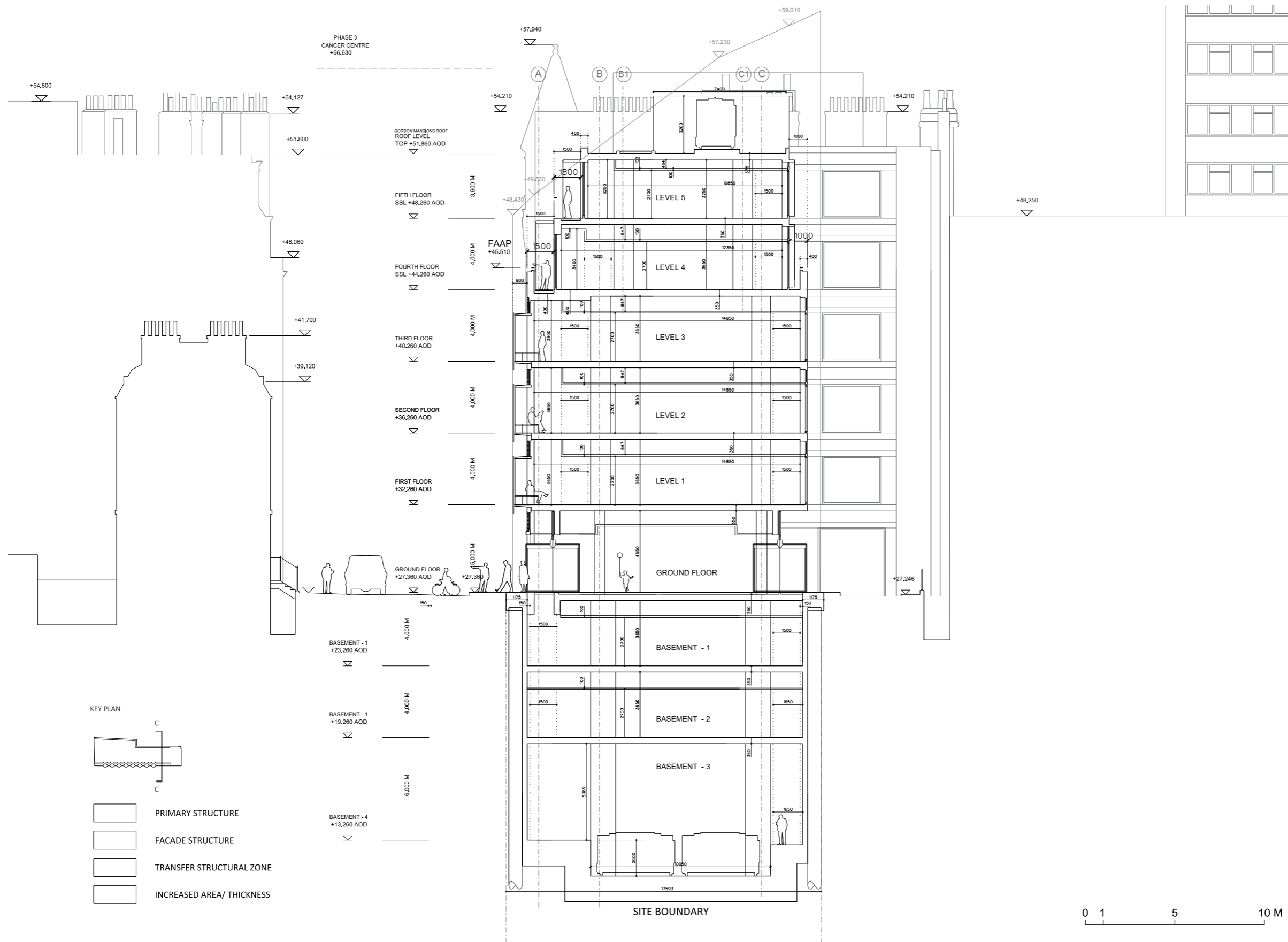


Figure 15: Daylight and sunlight

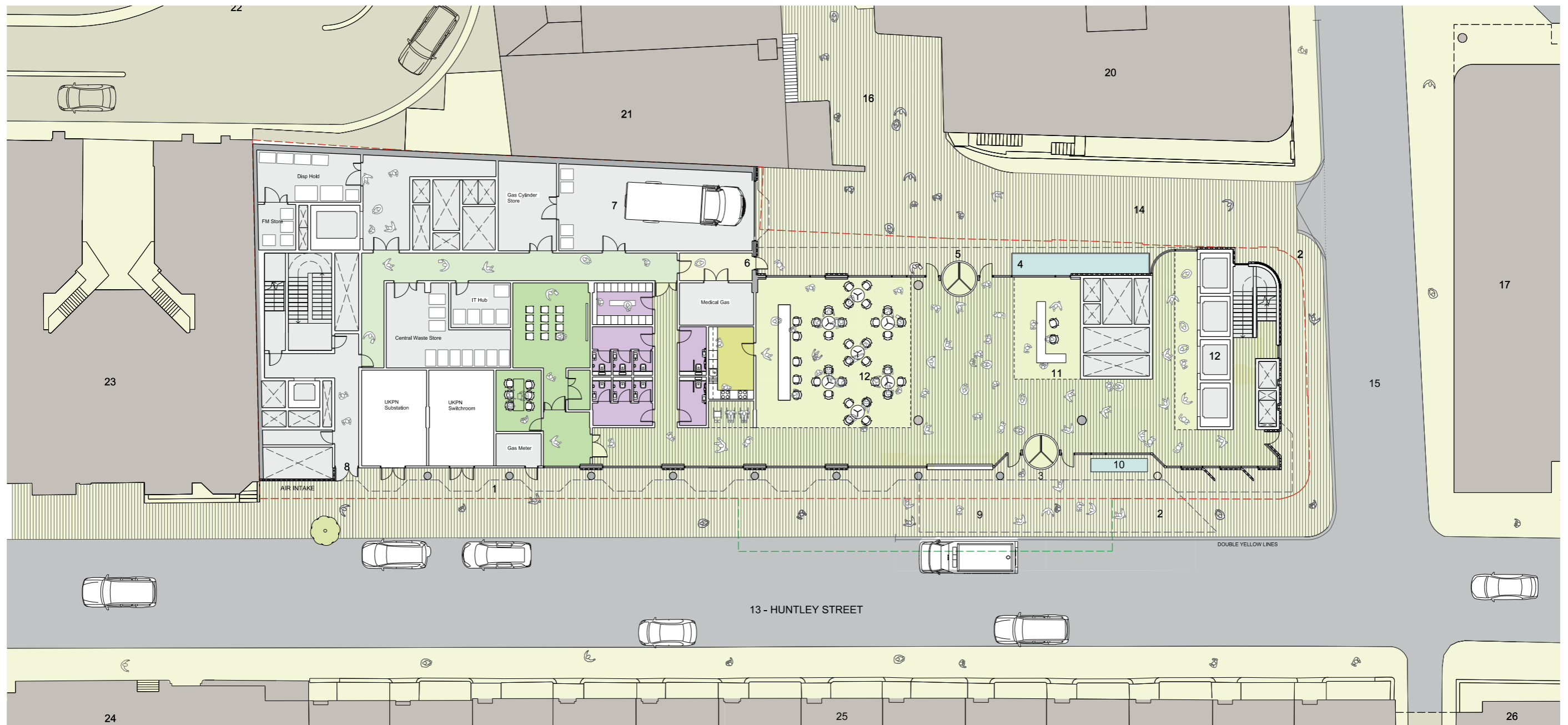


Figure 16: Ground floor plan

## 5.0 The Proposal

### 5.11 Verified Views

#### 7 - From Shropshire Place looking towards South



Existing



Figure 17: Proposed

#### Existing

This view looks along Shropshire Place and is abruptly terminated by the tall blank brick elevation of Gordon Mansions. Whilst Shropshire House provides a characterful response on the western side, the rear elevation of both buildings on the site creates an unattractive, dead and utilitarian frontage to Shropshire Place. The pedestrian environment is poor and unwelcoming and Shropshire Place feels strongly to be a back service yard.

#### Proposed

The replacement building will transform the character and experience of Shropshire Place. The new pedestrian entrance and organised arrangements for servicing and waste storage will enhance the public realm. The replacement building and its sweeping north elevation carefully turns the corner of Capper Street drawing pedestrians into Shropshire Place and into Queen's Yard. The replacement building restores the street edge of Shropshire Place, effectively disguising the ugly blank elevation which currently exists. The curved elevation is finely and richly detailed in its form and detailing. The view of the building demonstrates that the proposed scale and height is appropriate to the established townscape and roofline in this part of the Conservation Area. A positive townscape effect.

## 5.0 The Proposal

### 5.11 Verified Views

#### 8 - From Queen's Place looking towards East



Existing



Figure 18: Proposed

#### Existing

This view of the site is glimpsed from Queen's Yard accessed from Tottenham Court Road. Although a pedestrian route its character and appearance is one of a rear service area rather than attractive and safe connection, although overlooked by windows. The relatively low scale of the rear elevation of the site appears unbalanced adjacent to its taller counterparts and its appearance is unsightly, and cluttered by metal fire escapes, grills and plant.

#### Proposed

The replacement building serves to frame the view through Queen's Yard adding subtle architectural interest and in scale to the adjacent buildings which enclose the view. The replacement building has been designed to incorporate a new pedestrian public entrance onto Queen's Yard, which serves to animate the street. The introduction of ribbons of glazed fenestration on the upper floors will further to animate the street. The pedestrian experience will be dramatically enhanced, and the introduction of new built form of high architectural quality will enhance local townscape character. A positive townscape effect.



**AECOM**

ARUP

BUROHAPPOLD  
ENGINEERING

cnm

**EC HARRIS**  
BUILT ASSET  
CONSULTANCY

Head4Projects  
GROUP

Henry Riley  
Construction Consultants (Pty) Ltd

**JACOBS**

JONES LANG  
LASALLE

KMHeritage

the  
landscape  
agency

LOCAL  
dialogue  
stakeholder communications

Pilbrow  
& Partners

POINT  
SURVEYS

**Sandy Brown associates LLP**

ARCHITECTS  
sha

sweett

University College London Hospitals **NHS**  
NHS Foundation Trust

## Steffian Bradley Architects

### Contact

Paul Treacy

45 Gee Street - Fifth Floor  
London EC1V 3RS  
020 7549 4050

[www.steffian.co.uk](http://www.steffian.co.uk)  
[pault@steffian.co.uk](mailto:pault@steffian.co.uk)



## Pilbrow and Partners

### Contact

Fred Pilbrow

2 -5 St. John's Square  
London EC1M 4DE  
020 3696 7000

[www.pilbrowandpartners.com](http://www.pilbrowandpartners.com)  
[fpilbrow@pilbrowandpartners.com](mailto:fpilbrow@pilbrowandpartners.com)

Pilbrow  
& Partners