

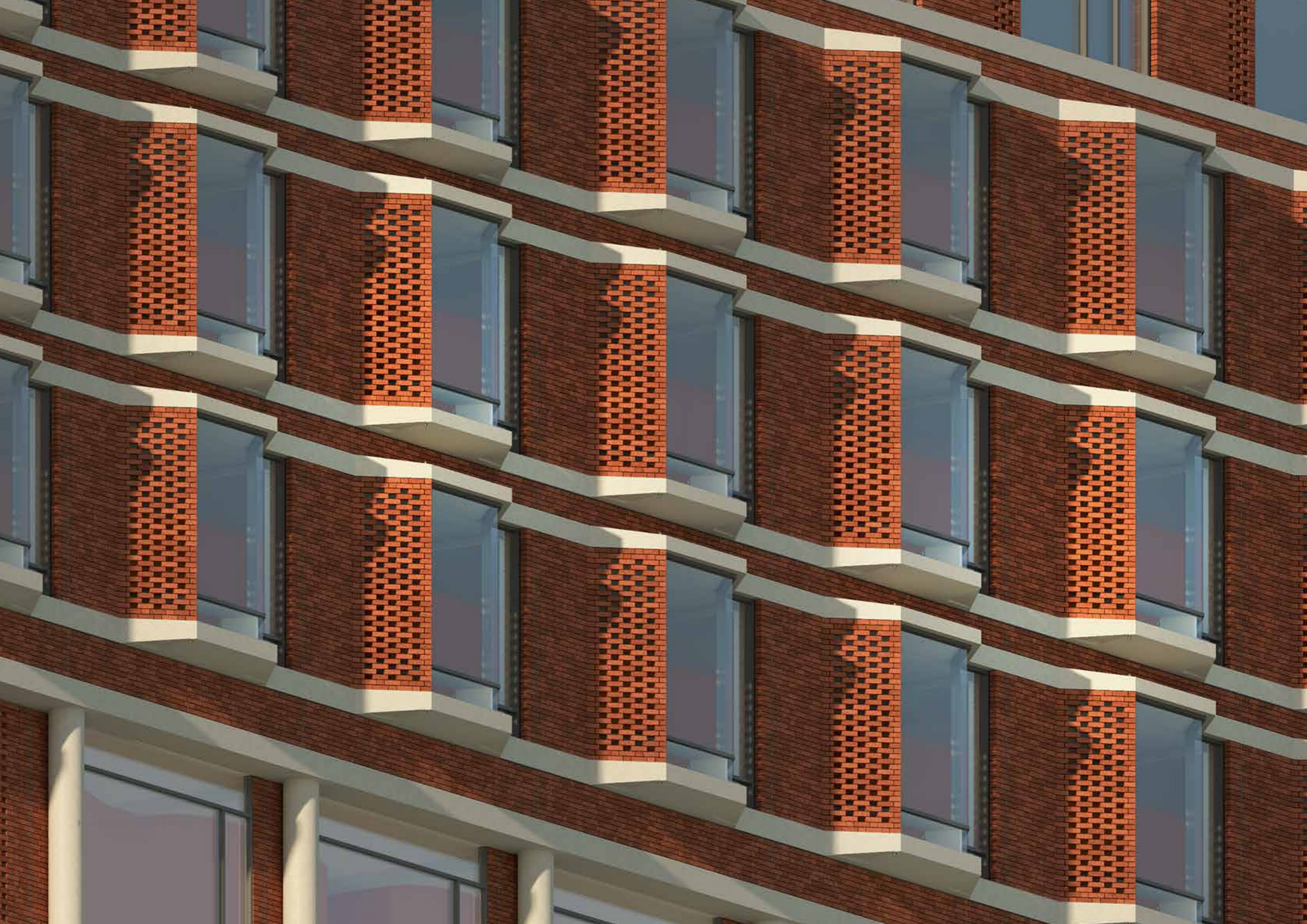


**University College London Hospitals**  
**Phase 5 Development**  
Huntley street, Bloomsbury, London

**Design and Access Statement - Addendum**  
27<sup>th</sup> April 2015

**Steffian Bradley Architects**  
**& Pilbrow and Partners**  
on behalf of NHS Foundation Trust









## Updates

The following pages and graphic materials had been updated seeking to address the concerns of Planning Officers. The changes are not considered significant and are required to be addressed for the decision making process.

### A Changes in section number

#### 4.0 Design Evolution

4.2 External Expression	The Capper Street Elevation Retention	page 55
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4.2 External Expression	Capper Street & Shropshire Place Design Evolution	page 63

### B Addition of spread to section 4.0 / 4.2

#### 4.0 Design Evolution

4.2 External Expression	West Elevation & Roof Design Evolution	after page 63
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### C Changes in graphic materials and text to section 5.0 / 5.5

#### 5.0 The Proposal

5.5 Accessibility	pages 90 - 95
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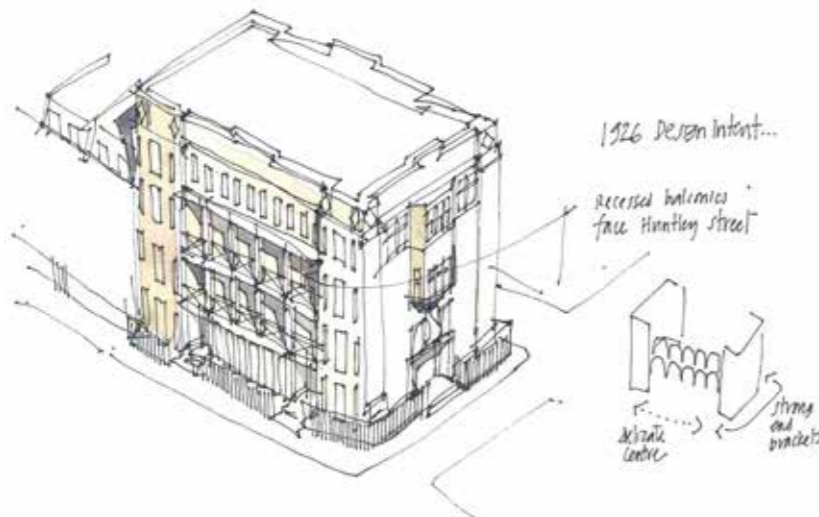
*Note: Graphical material of section 5.0 The Proposal / 5.12 Landscaping Appraisal had not been considered to be changed as the key principles of concept and strategy in planting, lighting and usage of materials stay intact*

### D Changes in graphic material

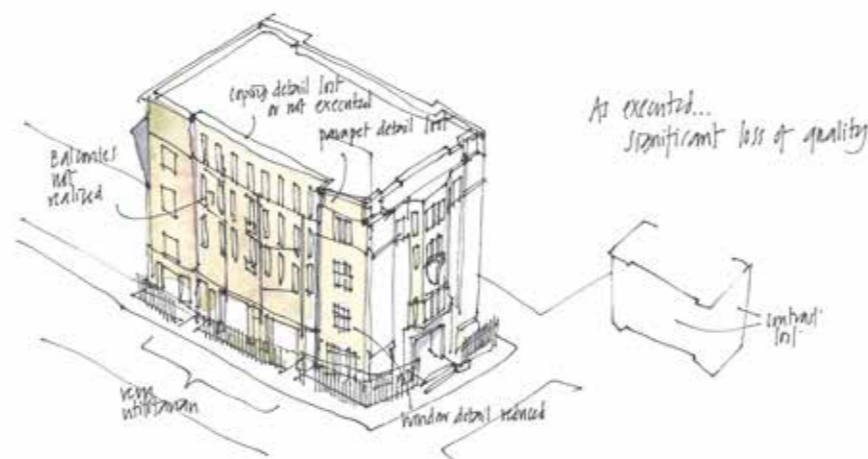
Number	Name of graphic	Original DAS page
Figure 1	3D context view	page 8
Figure 2	The roof garden	page 13
Figure 3	Concept cross section	page 48
Figure 4	Clinical stacking diagram	page 48
Figure 5	Clinical stacking diagram	page 66
Figure 6	Ground floor plan	page 68
Figure 7	Roof plan	page 71
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Figure 9	Cross section	page 76
Figure 10	Aerial view from the north-east	page 77
Figure 11	Huntley Street elevation	page 79
Figure 12	Huntley Street partial elevation	page 84
Figure 13	Capper Street elevation	page 84
Figure 14	Shropshire Place entrance	page 87
Figure 15	Daylight and sunlight	page 100
Figure 16	Ground floor plan	page 104
Figure 17	(Verified view) Proposed	page 116
Figure 18	(Verified view) Proposed	page 117

**A Changes in section number**

**4.0 Design Evolution**  
**4.2 External Expression**  
 The Copper Street Elevation Retention



Balconies proposed as part of the treatment regime within the Royal Ear Hospital were never constructed



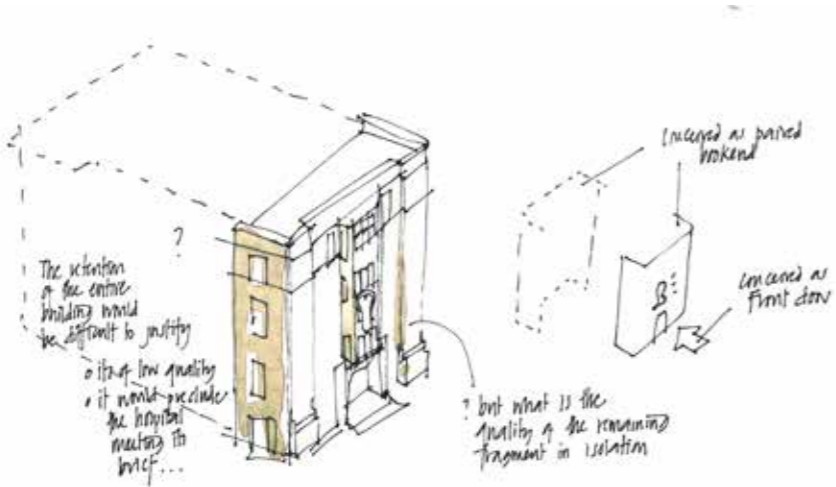
The resulting Huntley Street elevation was utilitarian in character

The initial decision to retain the Copper Street fragment was re-evaluated with LB Camden with input from KM Heritage. To inform this evaluation, the comparative benefits of a replacement building were also assessed.

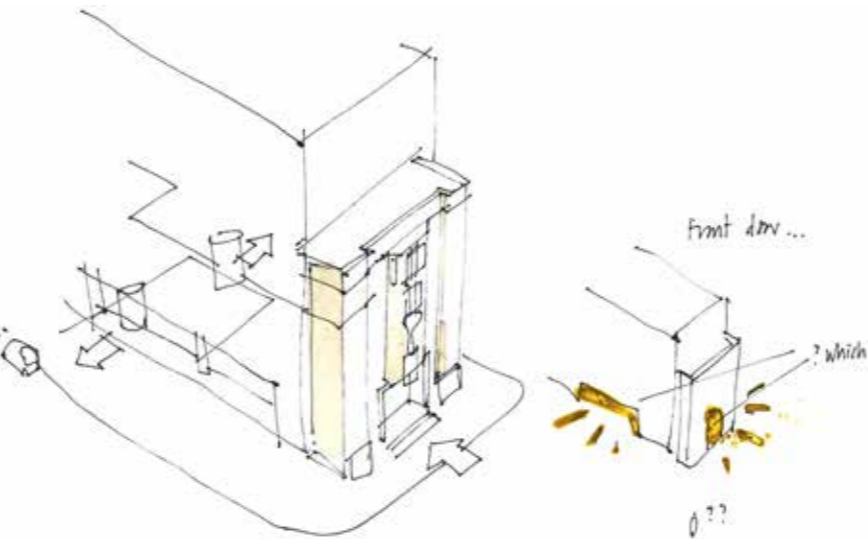
Kevin Murphy's research into the former Royal Ear Hospital concluded that the quality of the design and its intrinsic heritage value was modest. English Heritage endorsed this view in January 2015 with their grant of a Certificate of Immunity against Listing.

The buildings principal architectural interest derived from its pioneering proposal to provide open balconies on Huntley Street as part of the care environment for patients with hearing disorders. Unfortunately the noisy environment precluded the realisation of this intent and the balconies were replaced by a utilitarian windowed wall.

The design had contrasted the central balconied elevation against a pair of robustly detailed 'bookend' to the north and south. Without the balconies the composition is less compelling. Without the retention of the body of the building the end bookend is reduced to be an isolated fragment.



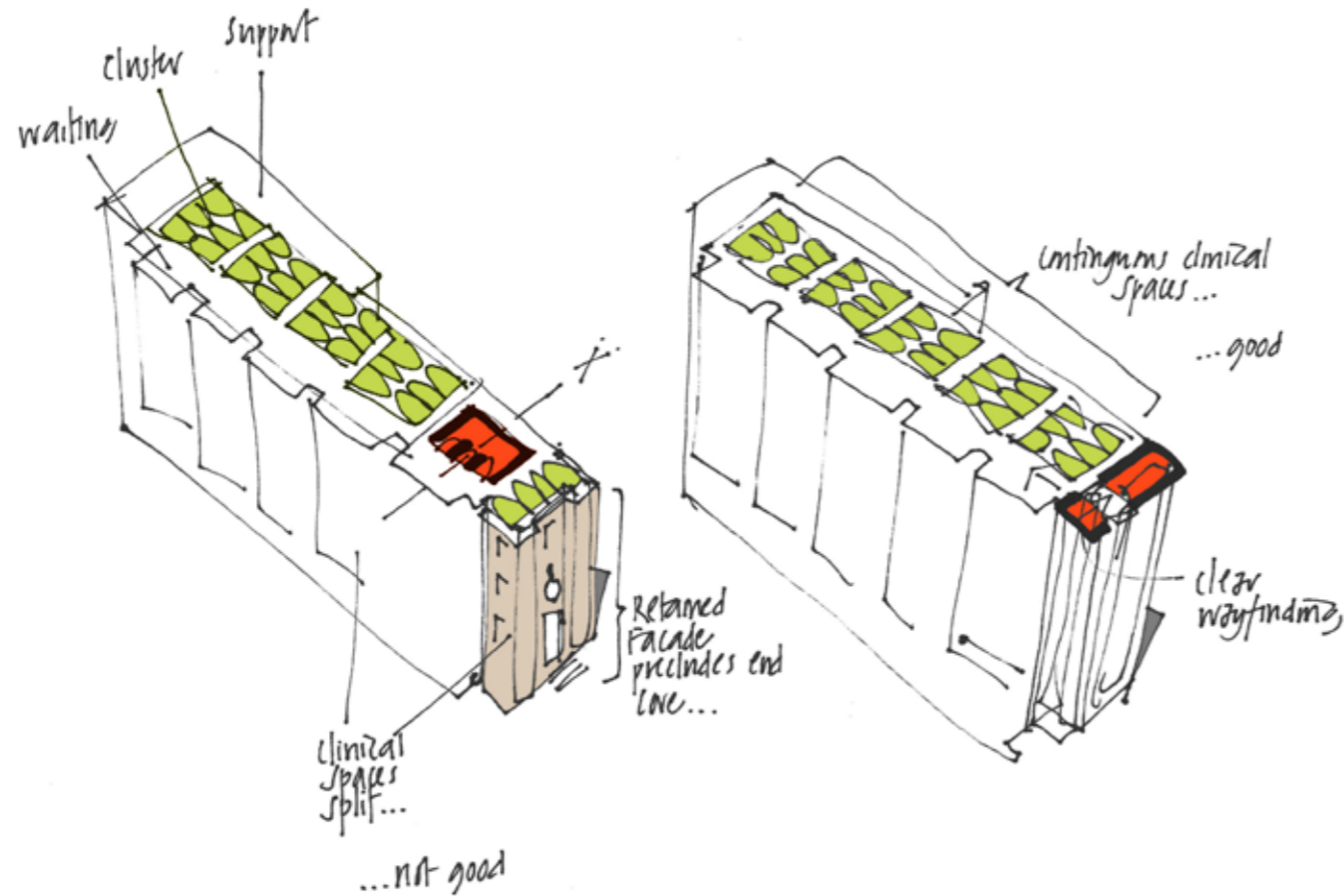
The architectural order of the 1927 building contrasted the robust character of the 'bookends' against the open detail of the central Huntley Street facade. The retention of the end fragment removes this compositional underpinning



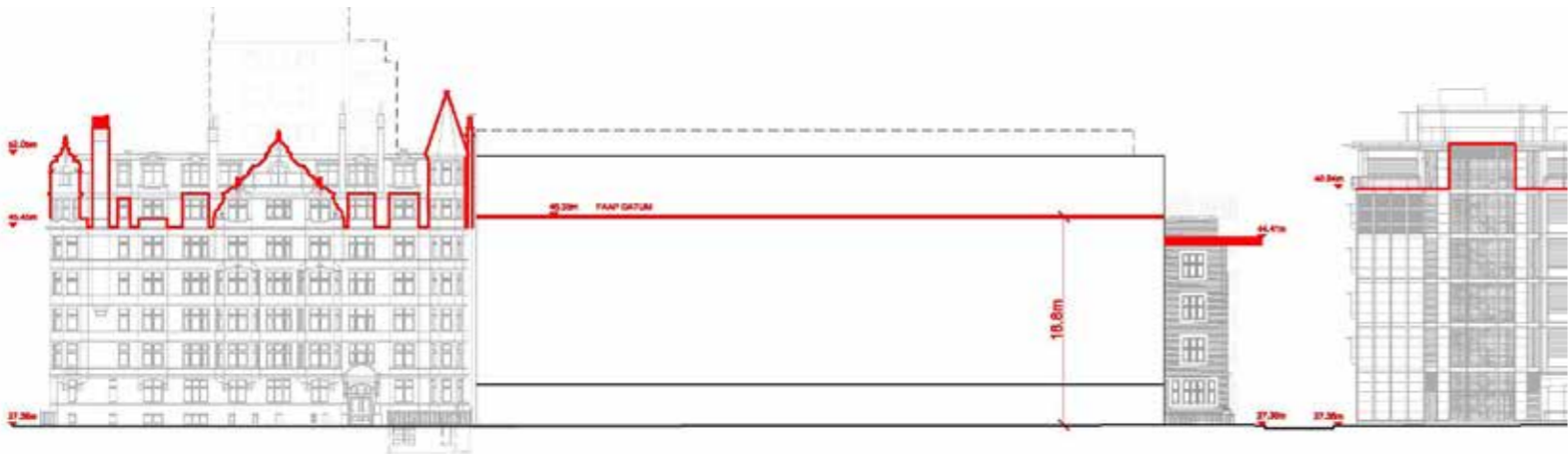
The retained fragment historically formed the main entrance to the hospital. Its location is unsuitable for the new building which requires a vehicular drop-off on Huntley Street and secondary access from Shropshire Place. The retained fragment creates confusion about the entrance position



**4.0 Design Evolution**  
**4.2 External Expression**  
 The Royal Ear Hospital Replaced



Retaining the Capper Street facade drove the core towards the middle of the plan which was disruptive to clinical planning and good wayfinding



The retained fragment breaks the natural order of the street wall introducing a lower scale between Gordon Mansions and the UCH Macmillan Cancer Centre

The design team looked at the comparative qualities of a replacement building unfettered by the retained fragment on Capper Street.

The facade retention of Capper Street pushed the building’s core to the south. This was problematic confusing internal wayfinding, ground floor planning and the efficiency of clinical layouts. A proportion of these clinical spaces were planned behind the retained facade, some with windows at floor or ceiling level.

By reconfiguring the core within the north façade the overall programmatic layout became easier to negotiate for both staff and users.

The diagram for a cluster of internal clinical cells is re-established into a single contiguous zone resulting in a clearer expression along the Huntley street façade.

Consequently both internal and external way finding is improved resulting in a façade that truly represents the internal functionality within. This development also provides the opportunity to establish a clear division between ‘Bay’ Entrance’ and ‘Core’.

The end core also establishes a new streetscape line which more closely engages with the neighbouring scale of the UCH Macmillan Cancer Centre.

This taller element also acts as a markers for the hospital, enabling users to locate the new building from longer views down Huntley Street and Tottenham Court Road. Furthermore the new core arrangement creates a clearer visual route through.

Finally the expression of the vertical circulation on the façade begins to activate the prominent corner plots engaging both passers-by with the movement of the hospital staff.

#### 4.0 Design Evolution

#### 4.2 External Expression

#### Huntley Street Design Evolution



Huntley Street facade sketch

The initial focus for the design of an all new building for Phase 5 was on the treatment of its Huntley Street facade.

The positioning of waiting areas along the street promoted the concept of aligning oriel bay windows along a 5.5 metre grid. This bay module reflected the finer grain of the neighbouring Gordon Mansions. The architectural expression of the bay would also denote the position of the clinical cells within the heart of the building.

The entrance is defined by a 11 metre pause in the facade. The removal of the bay in this zone generates a transition from lightweight to heavier articulations present in the larger group bay waiting area present in the end core.

Reviewing the architectural treatment with officers at Camden and the finer grain of the bay spacing was supported and we were encouraged to explore a brick elevation to further strengthen links to the adjacent residential neighbouring buildings.



**4.0 Design Evolution**  
**4.2 External Expression**  
 Internal Waiting Space Design Evolution

The design of the Huntley Street bays was evolved in response to internal planning and external appearance.

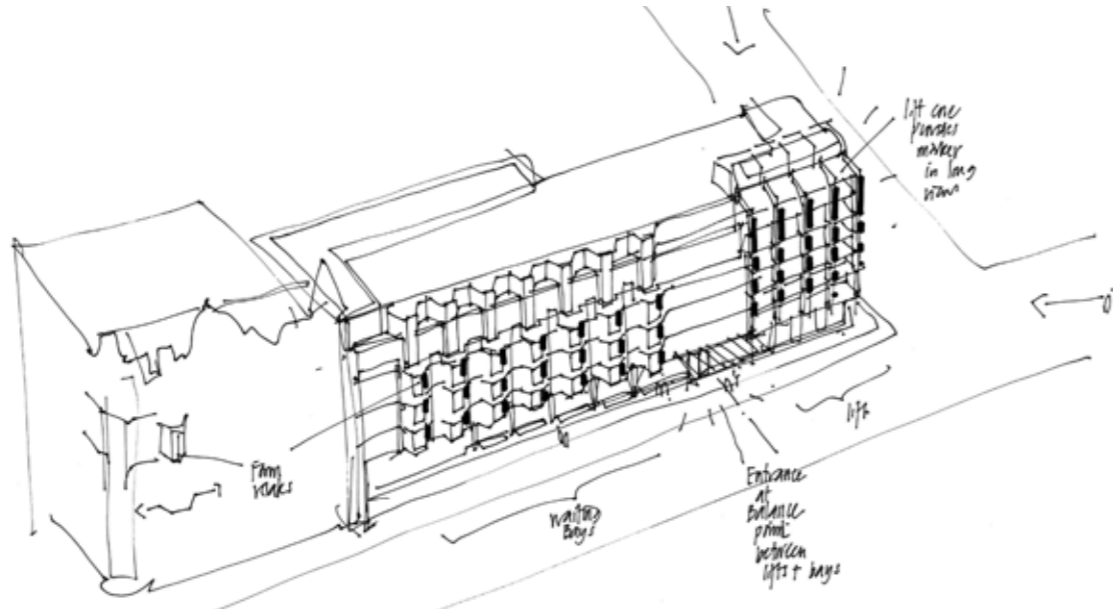
Initial orthogonal oriel bay studies were analysed internally and externally. Internally such designs were judged to create an unsatisfactory waiting environment with patients set facing one another in rigidly defined zones. Externally achieving the correct depth to the facade articulation appeared to be at odds with optimum internal planning.

A splayed bay scheme was tested in order to blur the boundary between waiting and circulation space whilst maintaining a sense of privacy. The 45 degree canted bay provided a more generous quality of space to the waiting areas whilst expressing a clear relationship with the similar details of splayed bays on Gordon Mansions.

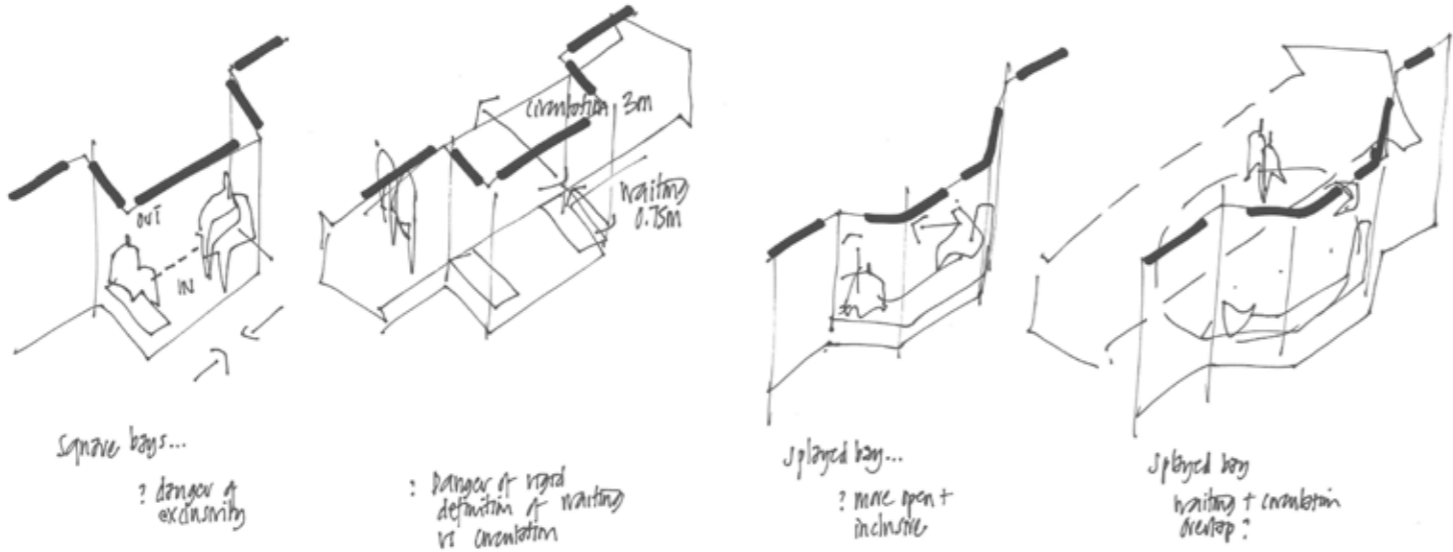
By opening the bay to a 45 degree angle the user can chose to either engage with others or experience the oblique views down Huntley Street.

The development of the 45 degree canted bay projection provided the opportunity to vary the solidity of the building from views along Huntley Street. A more solid approach was expressed on the southern faces of the bay to establish a private and grounded building when viewed from the residences to the south. This solidity provided an opportunity for incorporating a brise soliel element angled towards the south.

Conversely the building appears more transparent to passers-by when arriving from the north conveying the internal activity amongst the waiting areas.



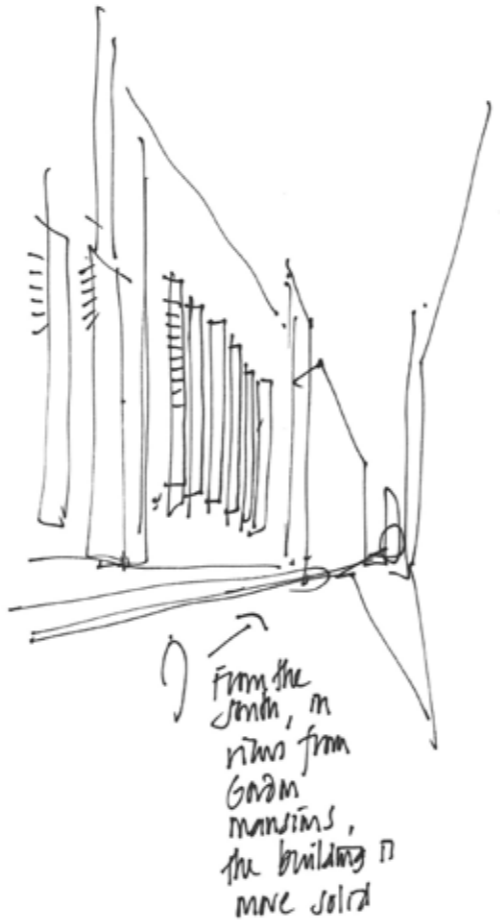
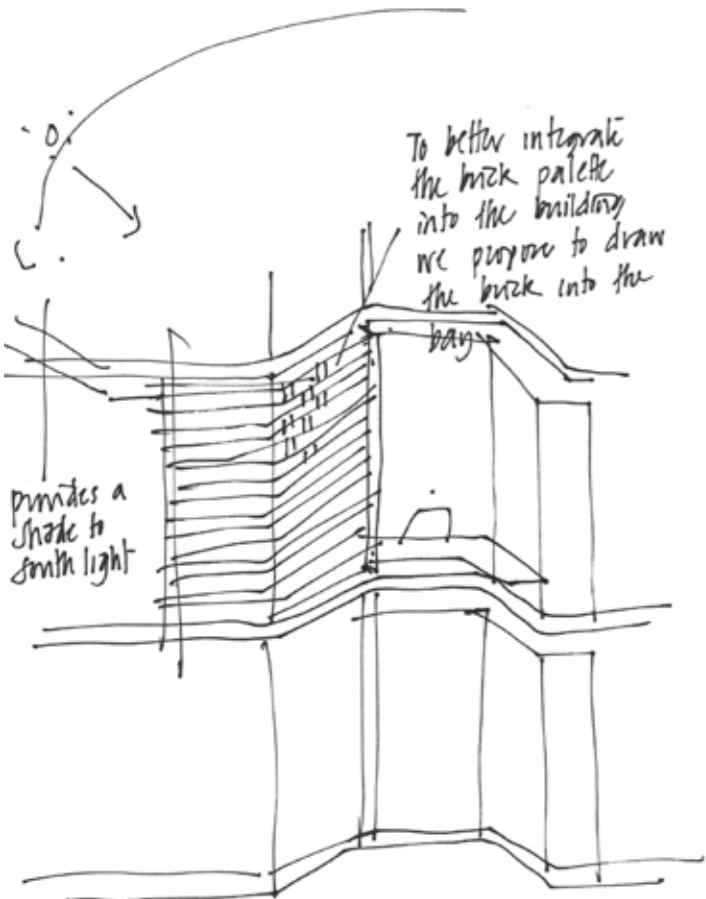
The Huntley Street elevation contrasts the waiting bays against an expressed end core -The building's entrance is set between the two elements



Splayed bays incorporating integral window seats were developed in response to internal and external considerations



**4.0 Design Evolution**  
**4.2 External Expression**  
 Internal Waiting Space Design Evolution



The suggested use of brick was exploited for its decorative potential.

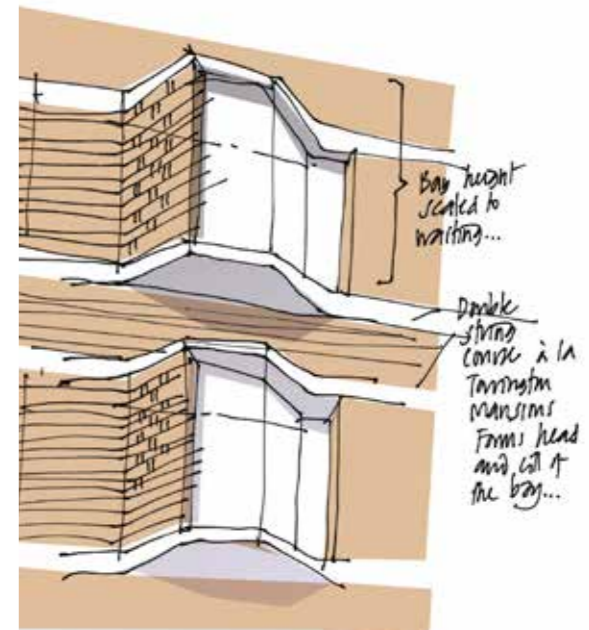
A double string course was established with reference to the neighbouring Torrington Place and Gordon Mansions. Bays are set between string courses. Internally a coffered ceiling reflects services planning and establishes each waiting area as a defined zone.

The 45 degree canted bay is set asymmetrical to the grid to allow for a lancet window to its north. Perforated brick screens to the south provide shading and privacy.

The material and detail qualities of the facade engage with the built traditions of the area.

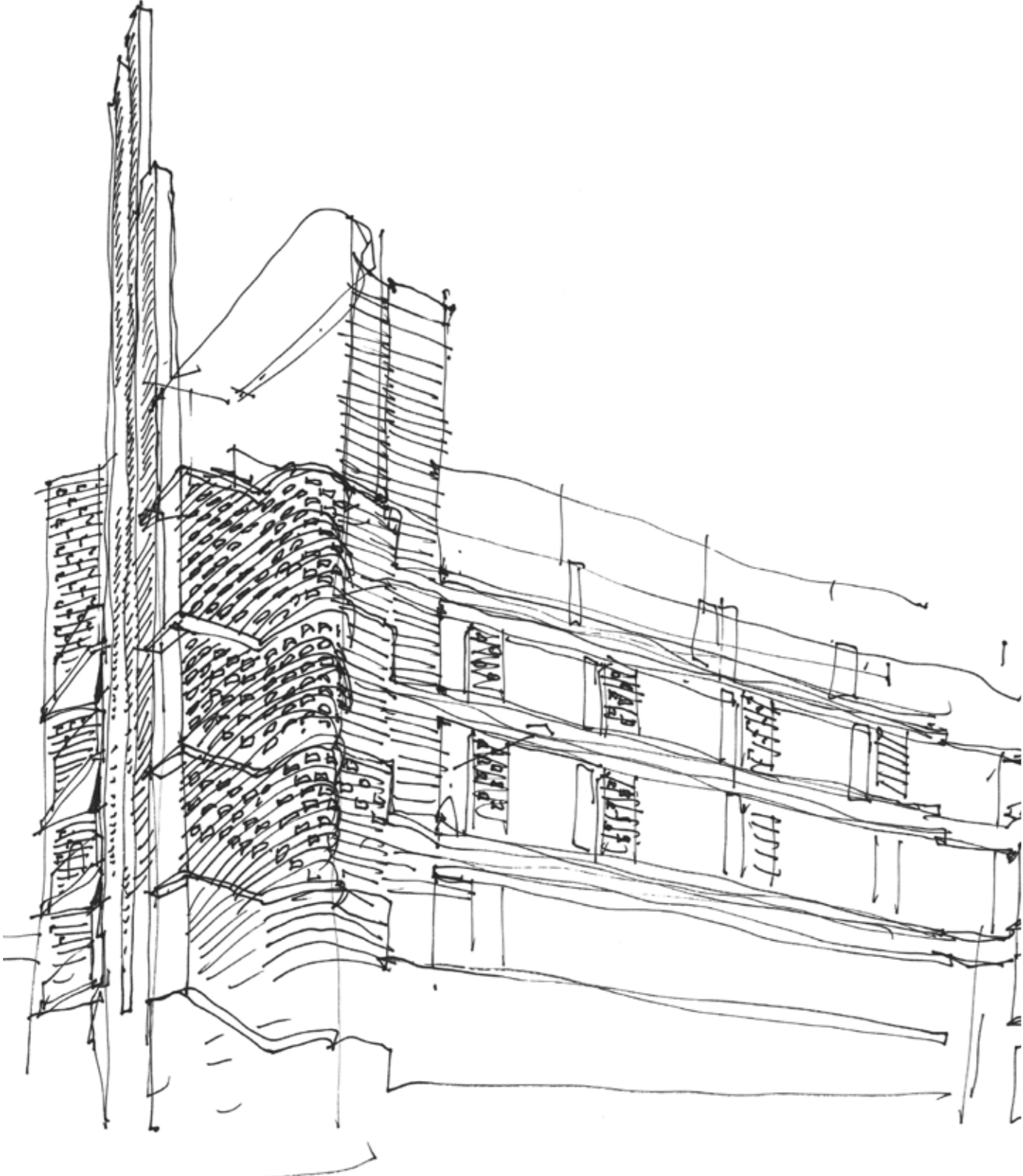


The double string course of the adjacent Torrington Mansions was an important reference for the design evolution.



Huntley Street design evolution, November 2014. The design seeks to exploit the textural potential of a brick elevation. Perforated brick screens are drawn forward to shade the south facing wing of the bays. Nicely, this detail both responds to environmental considerations and offers a contextual response to views from Gordon Mansions north up Huntley Street

**4.0 Design Evolution**  
**4.2 External Expression**  
 Capper Street & Shropshire Place Design Evolution



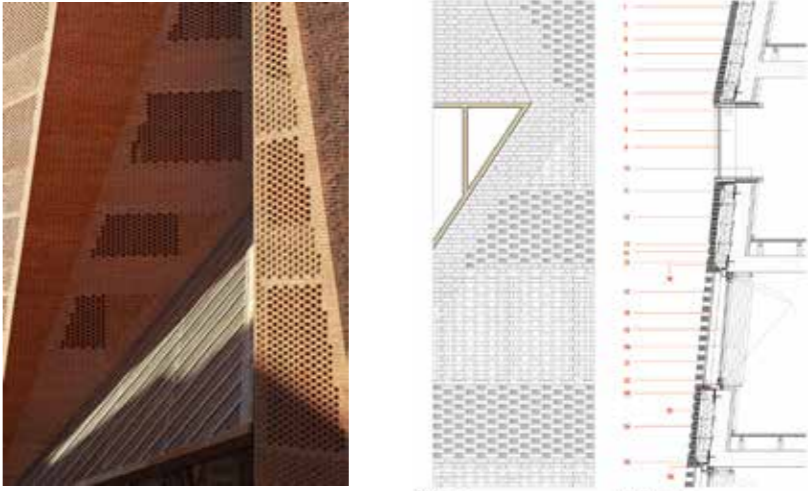
Capper Street core elevation study: relation to Shropshire Place return

The core on Capper Street marks a dramatic termination to the Phase 5 building denoting its entrance in lines of approach from the north and west.

The decorative potential of perforated brick is exploited in the development of the facade to the Capper Street core. The vertical activity of the stair core provided the opportunity to locate the hospital from longer views down Tottenham Court Road, whilst a lighter glazed lantern at the top activates the corner of the building.

An expression of perforate, recessed and glass bricks were tested to promote a modern approach with a traditional and contextual material. (Consulting precedents such as O'Donnell + Tuomey's LSE Saw Swee Hock Student Centre).

The expression of Shropshire Place is defined by the functionality of the internal planning. The rear of the building serves as the clinical staff circulation therefore the elevation is more restrained, consisting of a more subtle flush perforated brick and glazed panels.



The retained fragment breaks the natural order of the street wall introducing a lower scale between Gordon Mansions and the UCH Macmillan Cancer Centre



**B Addition of spread to section 4.0**

**4.0 Design Evolution**  
**4.2 External Expression**  
**West Elevation & Roof Design Evolution**



Aerial View: February 2015 Proposal



Aerial View: Current Proposal



View from top floor flat window Gordon Mansion February 2015 Proposal



View from top floor flat window Gordon Mansion Current Proposal



**4.0 Design Evolution**  
**4.2 External Expression**  
**West Elevation & Roof Design Evolution**



Aerial View: February 2015 Proposal



Aerial View: Current Proposal

Following the submission of planning and after the consultation period, elements of the roof design were reviewed with Ed Jarvis of Camden’s planning department.

Following this consultation, a number of revisions were made which form the basis of amended proposals lodged with the council at the end of April 2015.

The proposed revisions were:

- The western elevation proposed in the original planning submission, stepped back at level 4 and 5. The elevation is on the boundary line and may, in future, form a party wall with development on Shropshire Place. Mr. Jarvis suggested the elimination of the set back to afford future flexibility for neighbouring development
- The rationalisation of the facade line improves the appearance of the end elevation on Shropshire Place facing Capper Street
- The roof garden is enlarged to the west by relocating the photovoltaic cells on top of the southern plant room
- The southern plant enclosure was revised to minimise impact on the facing windows of Gordon Mansions. The fire fighting lift to the east was revised to serve level 5 as its top most floor - this eliminates the overrun. The southern boundary of the plant enclosure was drawn away from Gordon Mansions and the height of the roof over the stair reduced
- The visibility of the northern plant enclosure in views from Shropshire Place was reduced by enlarging the 6th floor brick spandrel. The line of the plant room compounds were reassessed to further diminish their prominence
- The east facing plant room walls that form the backdrop to the roof garden are proposed to be planted.