

Architecture . Planning . Project Management . Refurbishment . Development

## **DESIGN & ACCESS STATEMENT**

**for**

**21 Princess Road, London, NW1 8JR**

Lower Ground Office Change of use to Residential  
Ground and Lower Ground Floor Rear Extensions



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## 1. **Summary of Proposal**

- To re-zone an existing double storey Ground and Lower Ground Office Space into a Lower Ground Residential Flat with a self-contained Ground floor Office above.
- To reinstate the front light well and railing with staircase.
- To extend the ground and first floors with rear extensions.

## 2. **Enclosed Drawings**

SW276/00 Location Plan	
SW276/01 Existing Plans	Rev A
SW276/02 Existing Elevations	Rev A
SW276/03 Proposed Plans	Rev A
SW276/04 Proposed Elevations	Rev A
SW276/05 Proposed Sections & Block Plans	Rev A

## 3. **Location and Existing Streetscape**

The property is located Primrose Hill Conservation Area (Sub Area Two). It is not a listed building.

The front of the property faces Princess Road, a principal road in the area, characterised by uniform painted brick with decorative stucco features and wide pavements.

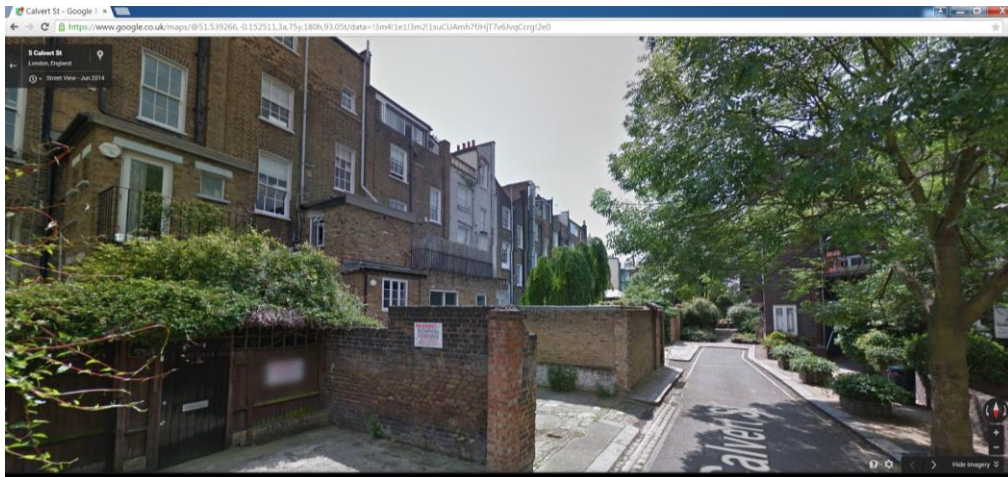


Typical Princess Road Streetscape

The rear of the property faces Calvert Street, which is characterised by simpler more utilitarian streetscape. The existing rear terrace elevations are plane face brick without stucco decoration and have exposed services. Many of the properties including the properties on either side of No. 21 have either lower ground or both lower ground and ground floor extensions. Most of the properties have off street parking.



View on to the Rear of 21 Princes Road



Street View down Calvert Road looking towards 21 Princes Road



#### 4. **The Existing Property**

21 Princess Road is a mid-Victorian 4 storey solid masonry property, with an existing poor quality lower ground floor rear extension. The lower 2 floors are currently designated as office use with the main access via the door closest to number 23.

There is currently parking space for two cars to the rear of the property. The quality of the existing external space facing onto Calvert Street is poor. The ground finish is rough concrete slab, the boundary walls are in poor condition and the external space bears no relationship to the inside spaces.



Existing External Spaces

## 5. **The Proposal**

The proposal involves splitting the existing 2 storey office into a lower ground floor flat with a self-contained ground floor office above. The reinstated light well and railings together with the external staircase gives access to the new lower ground floor flat. The entrance to the office and the 2<sup>nd</sup> and 3<sup>rd</sup> floors remain unaltered, each with their own separate front entrances.

### Lower Ground Flat

The cramped dark spaces to the lower ground has been rationalised to provide a well laid out residential flat. Service areas/auxiliary spaces are located in the centre of the flat where light is restricted while habitable rooms are placed at the perimeters where they can enjoy natural sunlight.

This is achieved in part by demolishing non-compliant lower ground floor extension and the erection of a new rear extension. The net gain to lower ground floor is 14.5 sq.m.

A relationship between the inside space and rear garden is created by the formation of a small urban garden. An ambulant stair to the rear of the property provides more gentle access to the residential property.

Parking space for 1 car is provided.

### Ground Floor Office

The net useable office space is increased by the removal of the indoor staircase together with small rear extension across part of the width of the property. The net gain to the ground floor is 10.23 sq.m.

Parking space for 1 car is provided.



Existing Rear Elevation

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## 6. **Relationship of Proposal to the Street Scene**

- There is no impact on Princess Road aside for the reinstated light well and changes to the below ground elevation. The small light well and railing are typical of the Conservation Area as noted in Camden's Conservation Area Primrose Hill Conservation Area statement (pg.13).
- The rear extension, in accordance with Camden's Planning Guidance- Design (Section 4), reads as subsidiary to the existing built form. The scale of the rear extension is proportionate to the scale of neighbouring extensions and has been designed so as not to infringe the neighbouring properties right to light.
- No new or enlarged windows impact adversely on neighbouring properties privacy
- The new rear windows to the Ground floor match the existing in both proportion and materials. Likewise the new external walls are painted masonry to match existing.
- The proposal introduces a small urban garden benefitting the lower ground flat, where previously there was none.

## 7. **Conclusion**

The proposed alterations and extension to the property have been designed to a high standard in keeping with the existing building and will not impact adversely the neighbouring properties.

It is considered to be sympathetic to the property and the surrounding areas and will add the housing stock. *There will be no removal of any significant external historical features.* The proposal will positively contribute to the streetscape of Calvert Street through the upgrading and refurbishment of the existing external space including the introduction of a rear garden.