

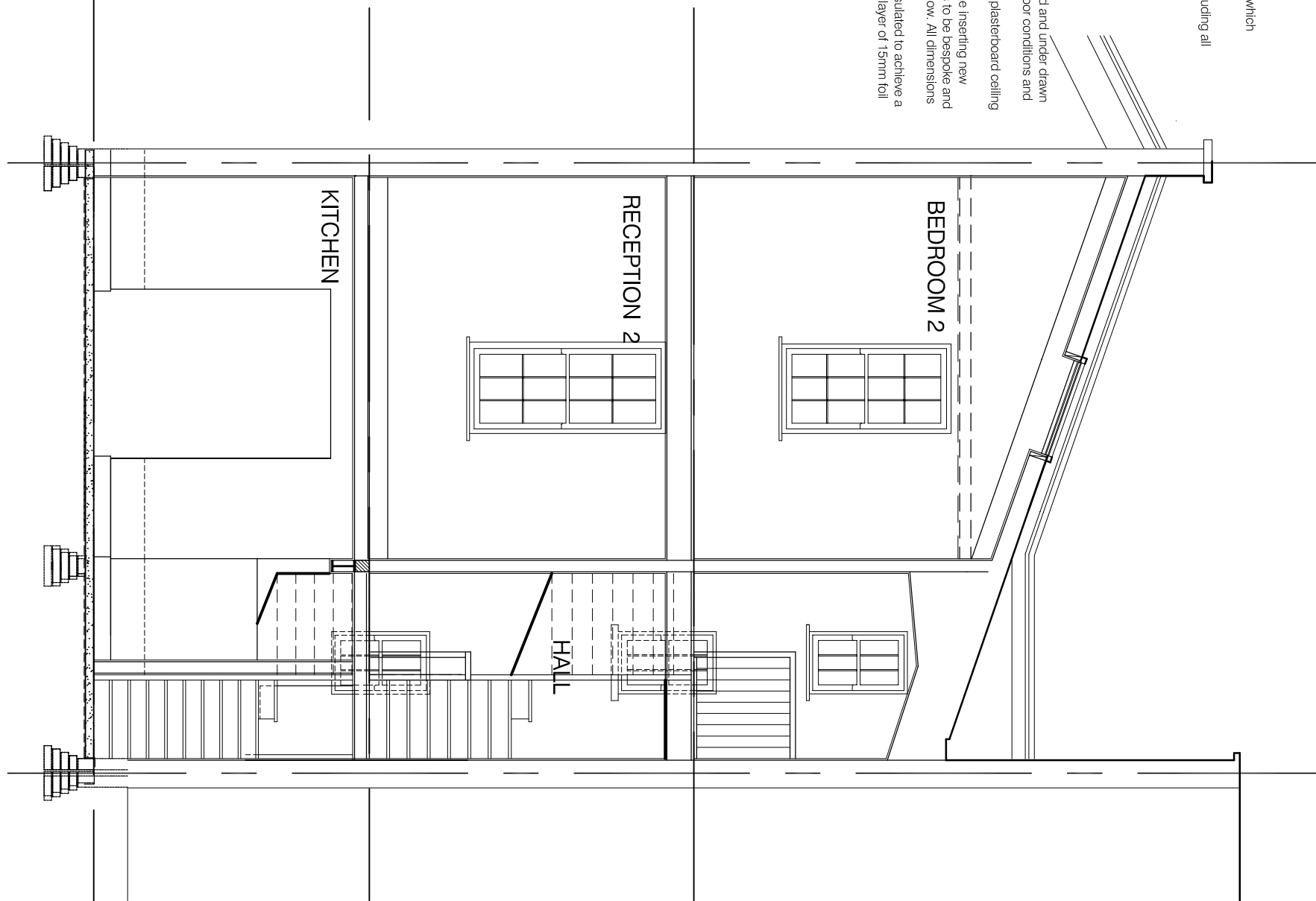
Indicates the existing stone coping and parapet which are to be retained.
The existing water tanks are to be removed including all water from the.

It is evident the original ceiling has been removed and lower down with plasterboard and ceiling finish which is in a poor condition and Allow for removing the existing ceiling joists and plasterboard ceiling and inserting a water tank base.

The new ceiling is to be removed to allow the existing new conservation style roof light. The new roof light is to be checked and confirmed to be in good condition and to be checked and confirmed to be in good condition and to be checked and confirmed to be in good condition.

The underside of the existing rafters are to be insulated to achieve a U-value of 0.18 W/m²K. The insulation is to be checked and confirmed to be in good condition and to be checked and confirmed to be in good condition.

The existing roof structure is to be checked and confirmed to be in good condition and to be checked and confirmed to be in good condition.

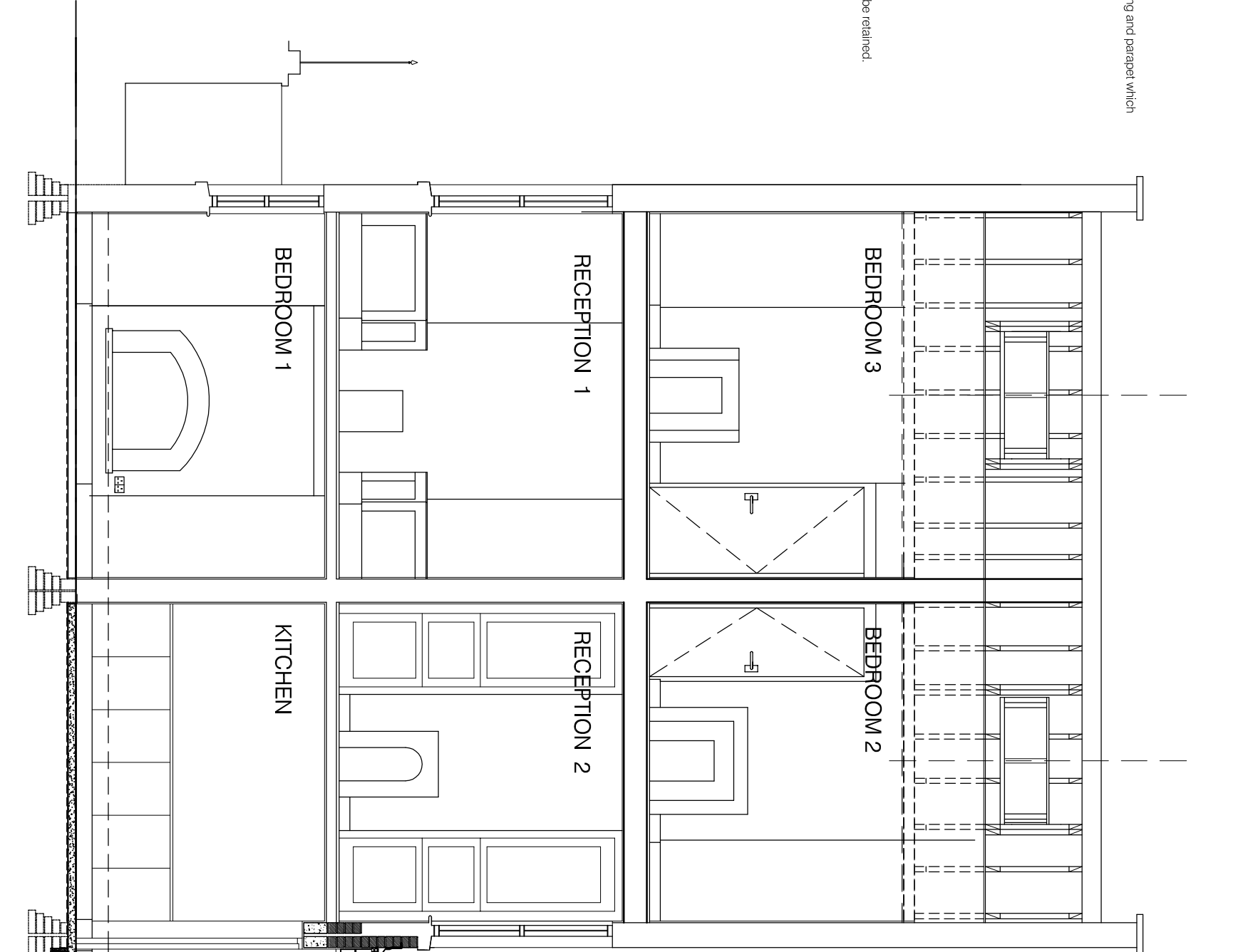


Indicates the existing stone coping and parapet which are to be retained.

The existing landing ceiling is to be retained.

PROPOSED SECTION A-A

Scale 1:50



Indicates coping to the external wall.

The existing rafters are to be retained to allow the light to be beque and of a width to the match the existing external window. The new roof light is to be checked and confirmed to be in good condition and to be checked and confirmed to be in good condition.

All dimensions and sizes are to be checked and confirmed to be in good condition and to be checked and confirmed to be in good condition.

The underside of the existing rafters are to be insulated to achieve a U-value of 0.18 W/m²K. The insulation is to be checked and confirmed to be in good condition and to be checked and confirmed to be in good condition.

The existing roof structure is to be checked and confirmed to be in good condition and to be checked and confirmed to be in good condition.

The existing bedroom ceiling joists are to be removed and to expose the existing rafters. Joists are to be retained and to be checked and confirmed to be in good condition and to be checked and confirmed to be in good condition.

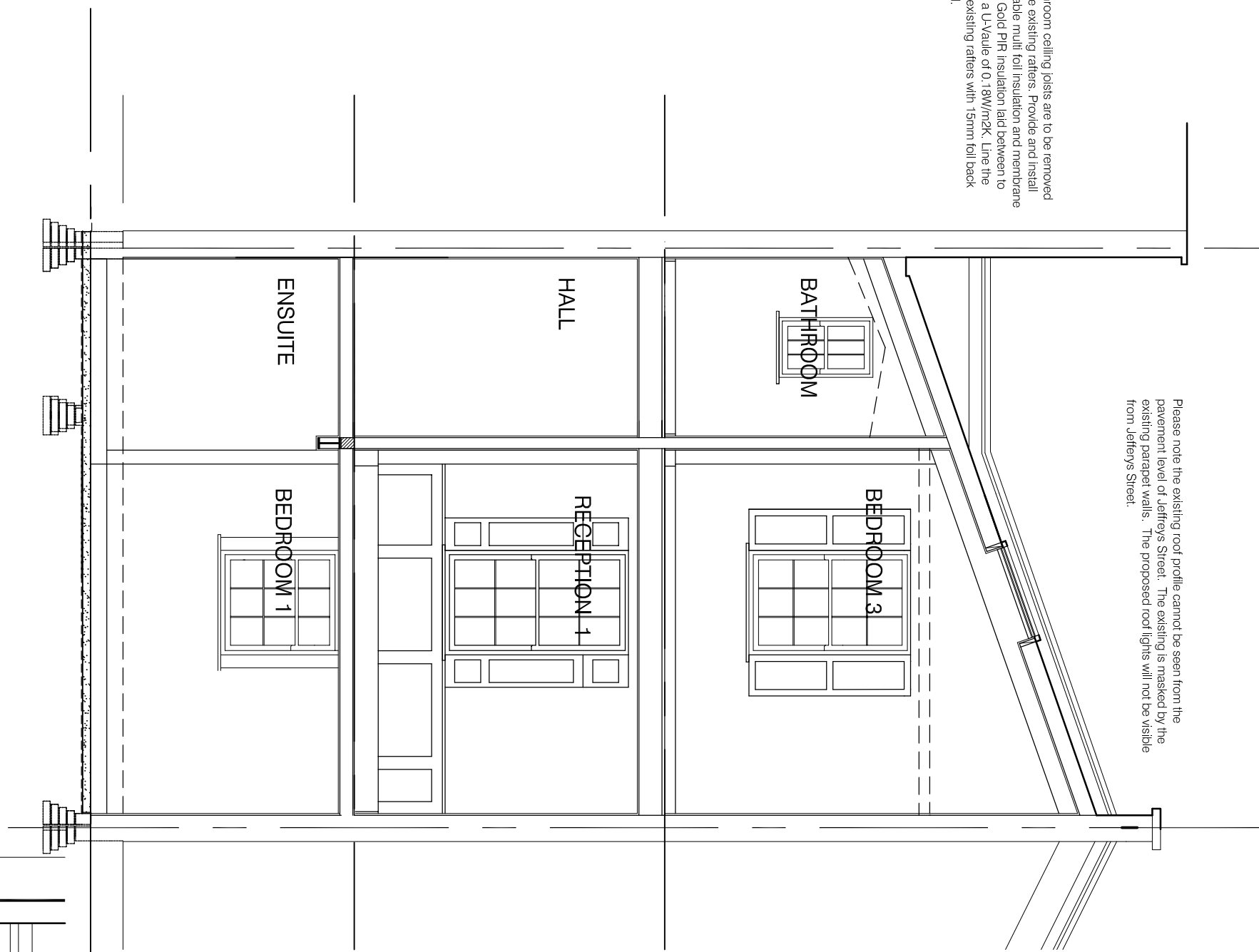
All dimensions and sizes are to be checked and confirmed to be in good condition and to be checked and confirmed to be in good condition.

The underside of the existing rafters are to be insulated to achieve a U-value of 0.18 W/m²K. The insulation is to be checked and confirmed to be in good condition and to be checked and confirmed to be in good condition.

The existing roof structure is to be checked and confirmed to be in good condition and to be checked and confirmed to be in good condition.

PROPOSED SECTION B-B

Scale 1:50



Please note the existing roof profile cannot be seen from the existing parapet walls. The proposed roof lights will be visible from Jeffrey's Street.

The existing bedroom ceiling joists are to be removed and to expose the existing rafters. Joists are to be retained and to be checked and confirmed to be in good condition and to be checked and confirmed to be in good condition.

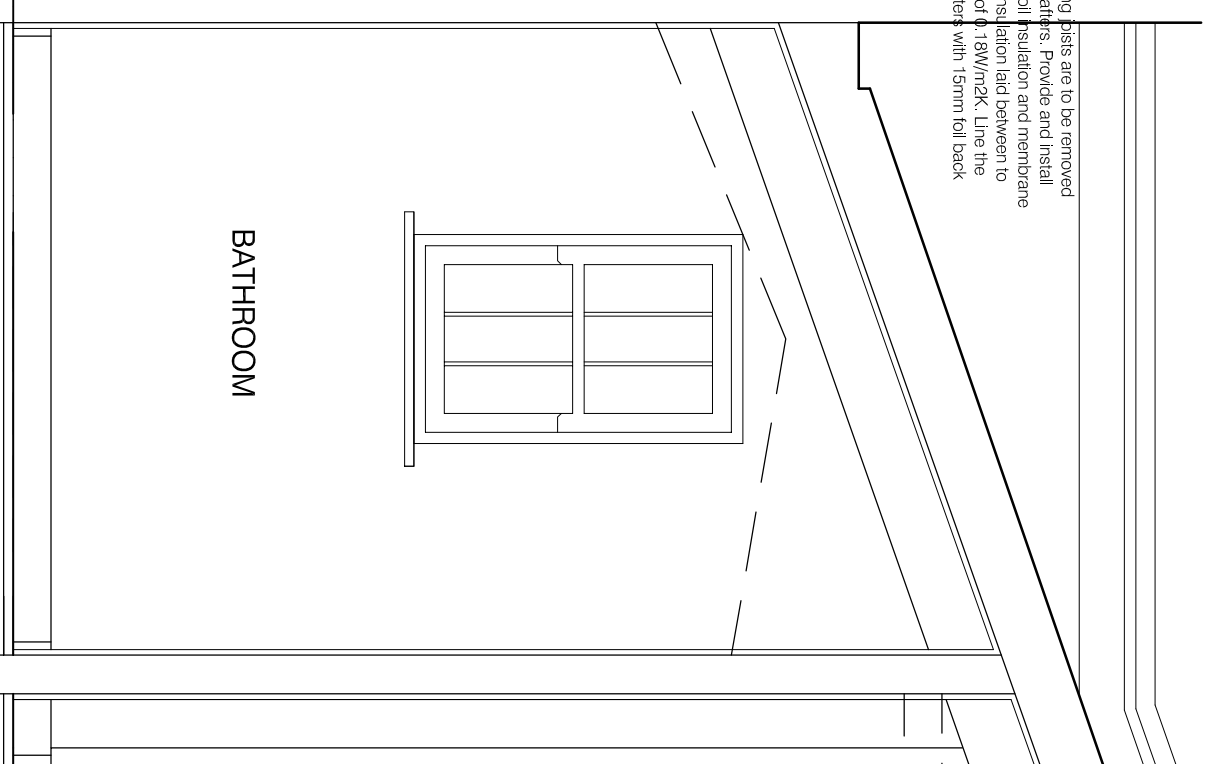
All dimensions and sizes are to be checked and confirmed to be in good condition and to be checked and confirmed to be in good condition.

The underside of the existing rafters are to be insulated to achieve a U-value of 0.18 W/m²K. The insulation is to be checked and confirmed to be in good condition and to be checked and confirmed to be in good condition.

The existing roof structure is to be checked and confirmed to be in good condition and to be checked and confirmed to be in good condition.

PROPOSED SECTION C-C

Scale 1:50



PROPOSED SECTION D-D

Scale 1:20

The existing rafters are to be retained to allow the existing new conservation style roof light. The new roof light is to be beque and of a width to the match the existing external window. The new roof light is to be checked and confirmed to be in good condition and to be checked and confirmed to be in good condition.

All dimensions and sizes are to be checked and confirmed to be in good condition and to be checked and confirmed to be in good condition.

The underside of the existing rafters are to be insulated to achieve a U-value of 0.18 W/m²K. The insulation is to be checked and confirmed to be in good condition and to be checked and confirmed to be in good condition.

The existing roof structure is to be checked and confirmed to be in good condition and to be checked and confirmed to be in good condition.

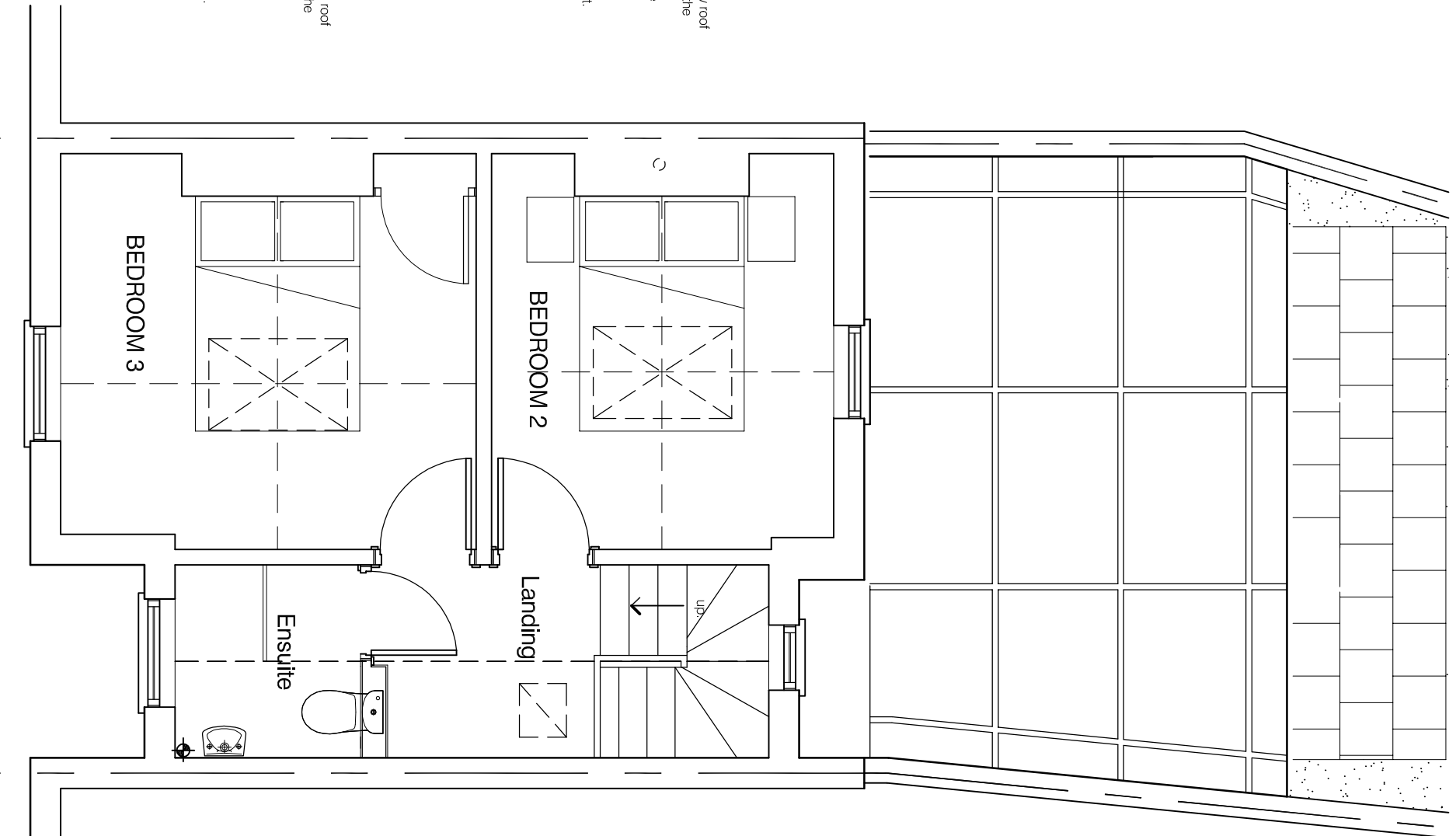
The existing roof access which which includes access over the existing roof structure is to be retained.

The existing rafters are to be retained to allow the existing new conservation style roof light. The new roof light is to be beque and of a width to the match the existing external window. The new roof light is to be checked and confirmed to be in good condition and to be checked and confirmed to be in good condition.

All dimensions and sizes are to be checked and confirmed to be in good condition and to be checked and confirmed to be in good condition.

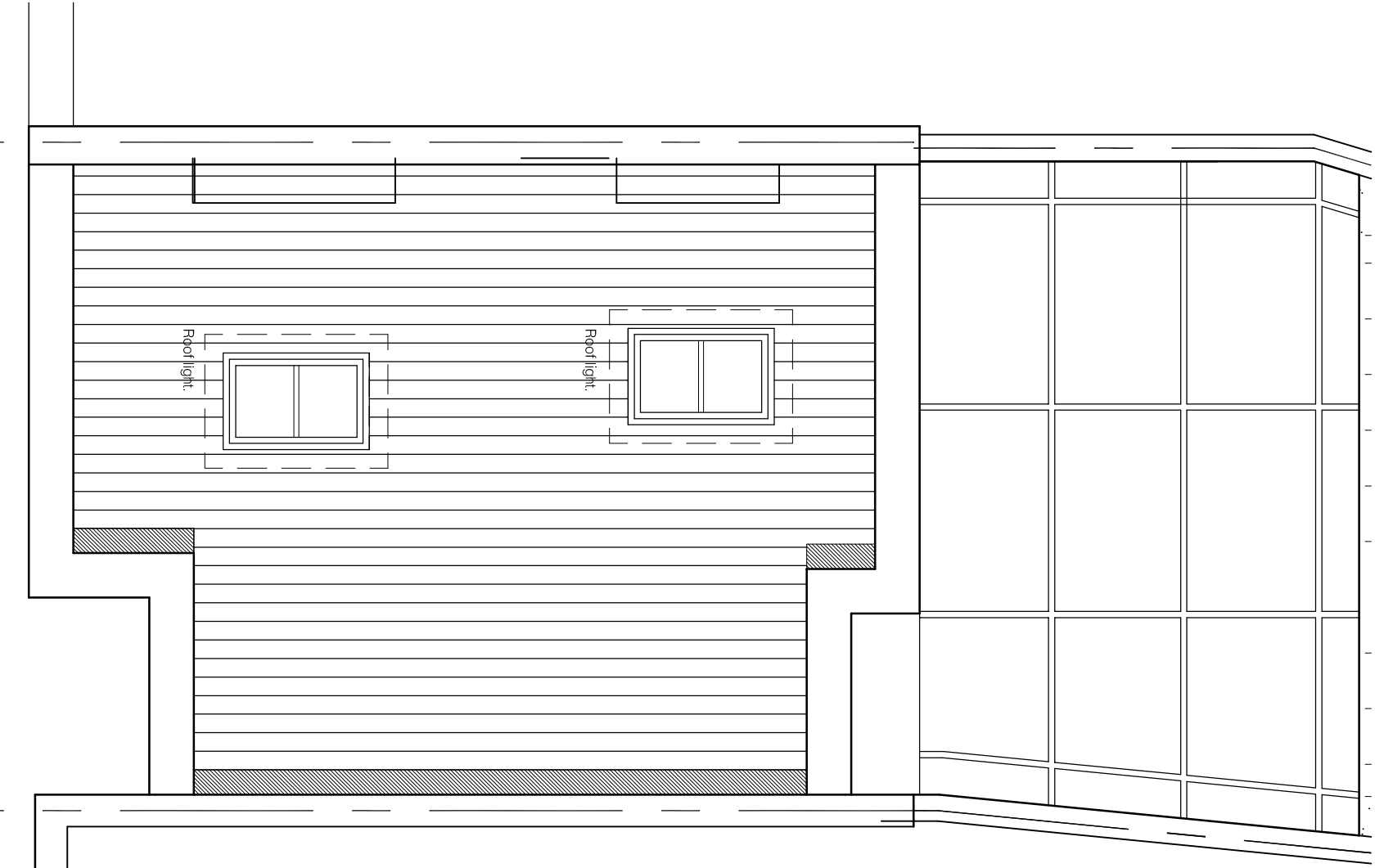
The underside of the existing rafters are to be insulated to achieve a U-value of 0.18 W/m²K. The insulation is to be checked and confirmed to be in good condition and to be checked and confirmed to be in good condition.

The existing roof structure is to be checked and confirmed to be in good condition and to be checked and confirmed to be in good condition.



Indicates the extension please refer to the Planning Approval Notice 2014/08040P and Listed Building Approval Notice 2014/08040L. Listed as an historic site.

The existing G.A. 1. Water pipe shall be modified to suit new Bathroom layout.



Indicates coping to the external wall.

Indicates lead formed valley against the Party Wall.

Indicates coping to the external wall.

Indicates lead formed valley.

PROPOSED FIRST FLOOR

Scale 1:50

PROPOSED ROOF PLAN

Scale 1:50

Notes

Contractor must verify all dimensions on site before commencing any work or stop drawings.

If the drawing exceeds the quantities listed in any way the Architect are to be informed before the work is started.

On a figure of the drawing.

Drawings based on Outline Survey and / or existing record drawings - Site Investigation, Planning and Statutory Requirements and Approval.

Revisions

Rev.	Date	On
A	21.03.2015	Amended in accord with Clients requirements.
B	28.03.2015	Amended in accord with Clients requirements.
C	01.04.2015	Amended in accord with Clients requirements.
D	07.04.2015	Amended in accord with Clients requirements.
E	10.04.2015	Amended in accord with Clients requirements.

Please note the proposed redevelopment for the remainder of the existing building is to be retained and to be checked and confirmed to be in good condition and to be checked and confirmed to be in good condition.

All dimensions and sizes are to be checked and confirmed to be in good condition and to be checked and confirmed to be in good condition.

The underside of the existing rafters are to be insulated to achieve a U-value of 0.18 W/m²K. The insulation is to be checked and confirmed to be in good condition and to be checked and confirmed to be in good condition.

The existing roof structure is to be checked and confirmed to be in good condition and to be checked and confirmed to be in good condition.

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Proposed Alteration to existing ceiling

Scale	Drawn by:	Job No:
1:50 & 1:100	spn	
Date:	Checked by:	
14th March 2015		
Drawing No:	Revision No:	
30	E	

SECTION THROUGH ROOF LIGHT.