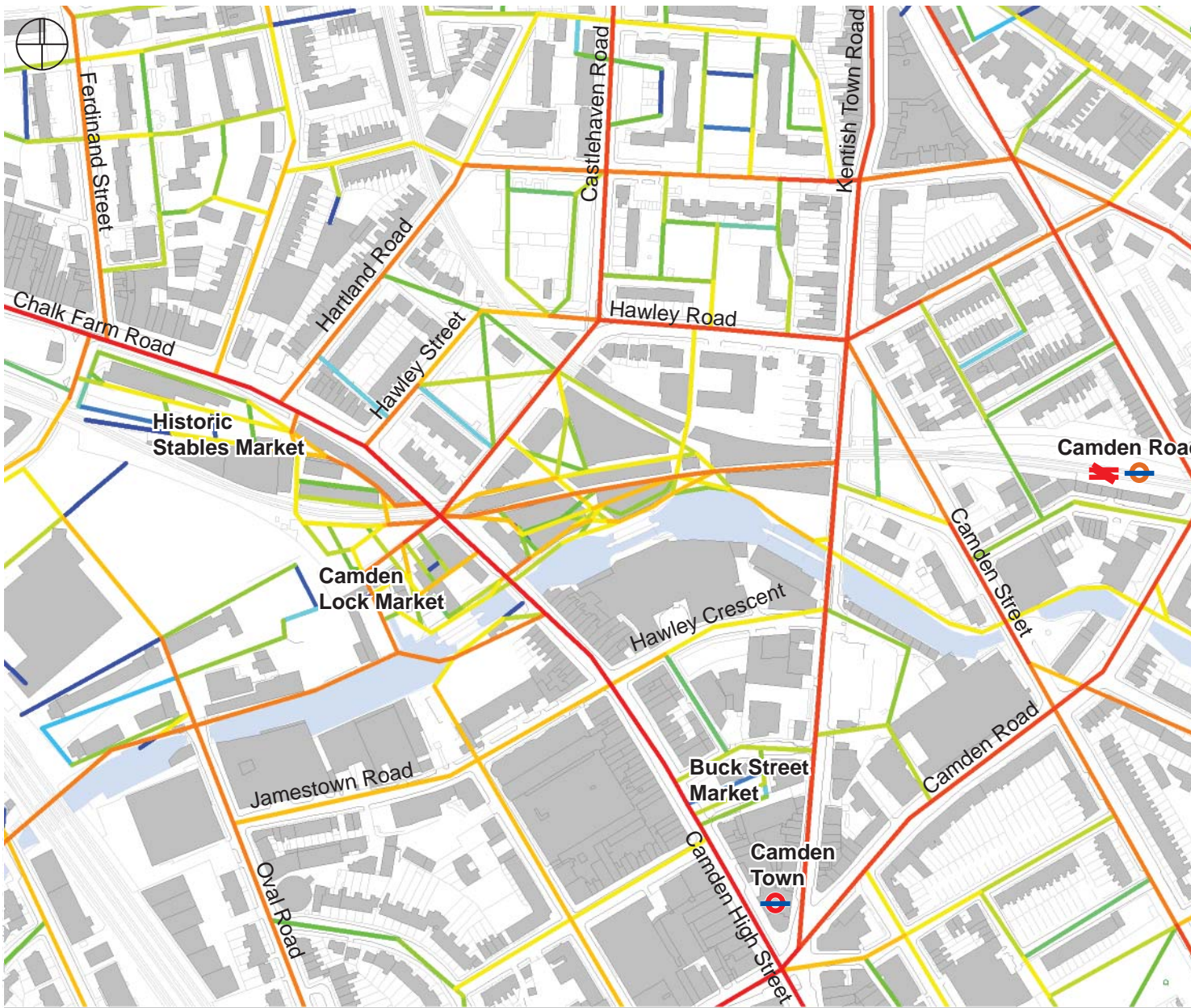


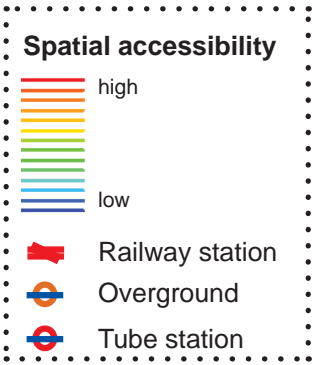
Section 6

Crime Impact Statement

Introduction



Spatial Analysis: Local scale through movement potential : proposed for the Hawley Wharf masterplan



The safety of existing and future residents and employees is paramount to the success of this proposal. The proposed routes and spaces have been designed to enable passive surveillance.

The crime impact study has been prepared after consultation with Camden’s Crime Prevention Design Advisor.

Hawley Wharf Development Area

Historically the Hawley Wharf area has been a focal point for street crime and anti-social behaviour in Camden Town. A new development would logically face the same issues.

Criminal activity includes:

- Robbery
- Burglary
- Drug dealing
- Vehicle crime
- Criminal damage

Anti social behaviour includes:

- Drunkenness
- Street drinking
- Drug taking
- Public urination and defecation

In acknowledgement of the many challenges of managing the Hawley Wharf masterplan, the applicant has employed Broadgate Estates. They were employed to write a management and security plan for the application of the Hawley Wharf masterplan development. Area E will become an extension of this plan.

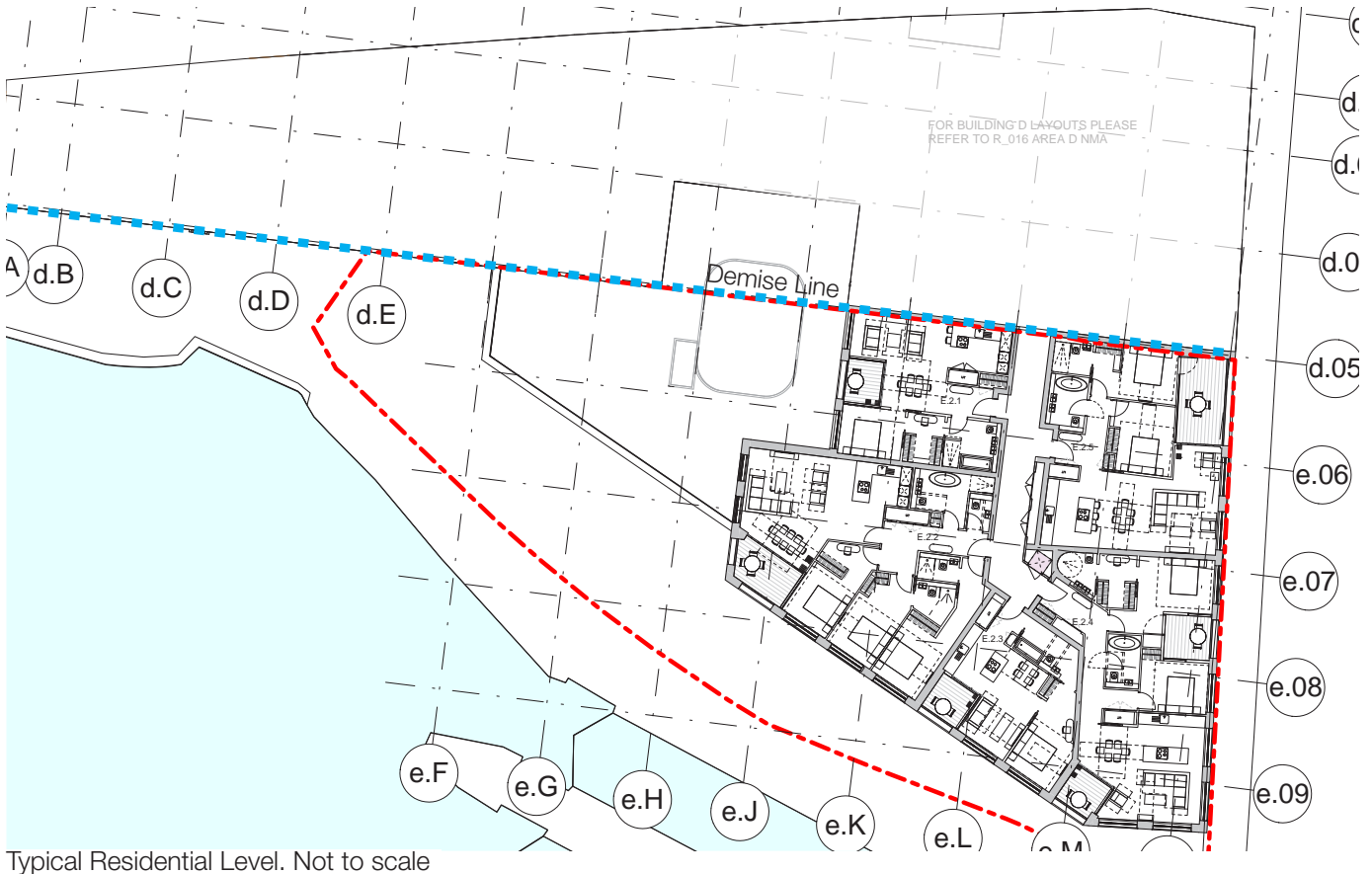
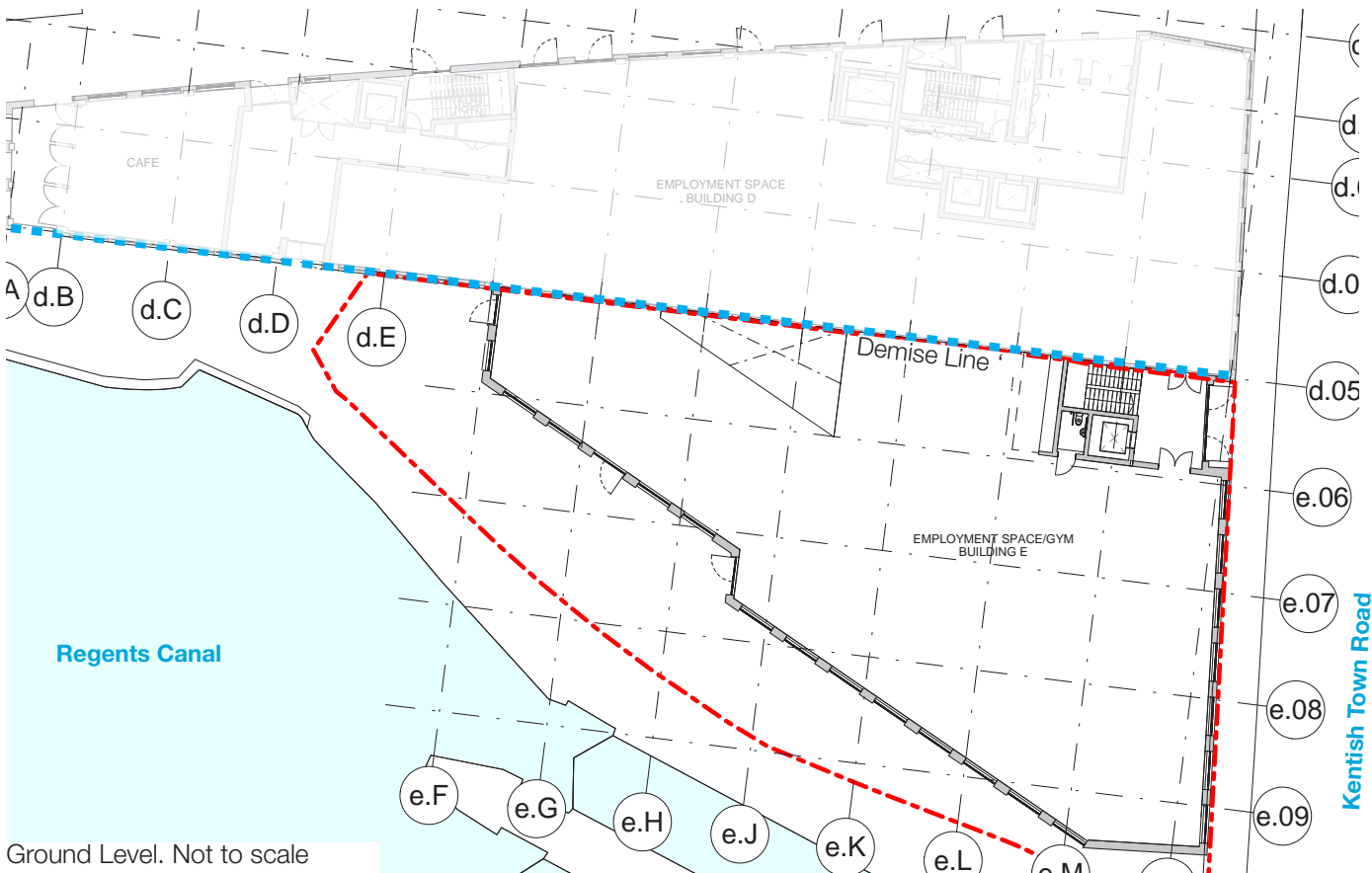
Existing security

As a disused site, there is currently no patrolling security and minimal / no CCTV.

Proposed security: Access and movement

The primary pedestrian routes past Area E are via Kentish Town Road and the towpath. The remainder of the site will be closed to general public movement. Both of these movement paths will be open at night as is currently the case.

The diagram on this page shows the Space Syntax analysis, including how many people will be using each of the routes, and demonstrates medium to high levels of pedestrian traffic across the masterplan, which Area E will become an annex of.



Passive surveillance to towpath

- Employment primary access creating passing foot traffic
- Employment secondary access creating passing foot traffic
- Overlooking during daytime from employment space
- Overlooking from residential living/dining spaces
- Overlooking from residential terraces
- Overlooking from residential bed spaces

The new Area E security proposals will fit into the larger plan for the previously consented masterplan scheme.

One of the key principles of the masterplan security strategy is to provide clear routes and spaces. These benefit from the surveillance offered by the adjacent residential and employment spaces.

Area E has been designed to ensure that the adjacent towpath is overlooked by residential properties from first floor and by the active ground level employment space during the day.

In addition, the private amenity space at first floor is also overlooked by residential terraces.

The mixed use nature of the development extends the active life of the building, ensuring the site is in use 24 hours a day, seven days a week.

One of the key routes, the canal towpath, is outside the site boundary, but a soft landscaped buffer has been created against Area E and the access off Kentish Town Road is proposed to be improved.

A proposal for the improvement of the towpath access has been designed to make a safer, more accessible, overlooked space adjacent to Area E (refer to landscape section of this report).

The masterplan has been designed to avoid crime generators such as deep recessed doorways, service areas, dead space or areas of access to the rear of buildings. Principles which Area E also follows when appropriate.

The following is a summary of the key points raised by the Designing Out Crime Officer from Ruislip Police Station consulted on the proposals on 2nd March 2015. The following text also includes general points discussed during the preparation of the masterplan proposals.

External Landscape Works

The landscape will be simple and designed such that the natural surveillance of the public realm is preserved.

Good maintenance, appropriate lighting and general improvement of the public areas will make the space far more usable than the public areas that currently exist on site. The officer expressed some concerns over the design of the tiered seating which he considered might encourage loitering. The design was reviewed and it was decided to include a retrofit option to mitigate any issues that might arise, refer to Figure 01 overleaf - Towpath steps.

Any external lighting should be uniform and not create dark spots as well as working with the external CCTV strategy.

The officer suggested the hard landscaping strip adjacent to the south façade should be reviewed as it provided a legitimate reason to loiter. He suggested a hierarchy of routes of towpath primary and building line secondary, or use soft landscaping adjacent to building façade. These comments have been addressed and incorporated into the proposals, refer to Figure 02 overleaf - Towpath elevation.

Employment Space

It is envisaged that the commercial areas will have manned reception desks, although TBC.

Windows at ground floor level will be certificated to meet BS 7950: 1997.

Bike and Bin stores

Doors to be self-closing and locking.

Entrances (refer to Fig. 03 overleaf)

Area E shares a residential entrance with the approved Area D and therefore will benefit from all of the security and surveillance already proposed in Area D. The entrance will be clearly signed and well lit and gates closing Water Lane are proposed. Although the Ground Floor spaces are not private they will be overlooked by employment and residential units. It is proposed that this will promote a sense of ownership, respect, territorial responsibility and community. However, well-designed security features will be in place.

Secure By Design requires a 600mm maximum recess for an entrance door way, this is in contrast to London Housing Guide/Lifetime Homes. There may be mitigation measures i.e. wider openings, splayed entrances, extra lighting/CCTV.

Main entrance doors will be fitted with an audio visual verification access control system, with electronic lock release and entry phones linked to the flats.

Entrance door to have CCTV to meet Information Commissioners Office requirements.

The access control system will also cover the internal circulation areas, for example a door entry systems will be provided on landings. Front entrance door sets will be certified to meet BSPAS 24:2007 and fitted with appropriate SBD certificated locking systems.

Post Boxes to be in lobby area, and lift and stair core doors to be fob controlled.

Apartments and common areas

A maximum of 10 apartments can be accessed from D and E's shared core therefore each lift will require access fobs per floor as will the PAS 24 doors from the stair cores.

Flat entrance door sets served off a shared corridor or stairway will be certificated to meet BS PAS 24:2007 and fitted with appropriate SBD certificated locking systems.

Apartment walls onto corridors will ideally be masonry or if stud partitions should include 9mm ply or metal mesh.

CCTV

There is an existing CCTV camera on the external area where the tiered seating is proposed. This will be replaced by a camera fixed to the building. The precise positioning of this will require further detailed consultation with the owner of the existing camera to ensure suitable coverage is achieved.

*There should be extensive estate CCTV requirements, summarised as follows:

- Number plate and facial recognition.
- Mixture of fully functional moving and fixed cameras.
- High quality low light ability.
- Digital recording.
- Archiving facility and storage.
- Ability to link and share with external links.

There are a number of active and passive management measures that will be used to prevent problems, by minimising opportunities for sheltering rough sleepers, providing locations for unsociable activities or cover for crime.

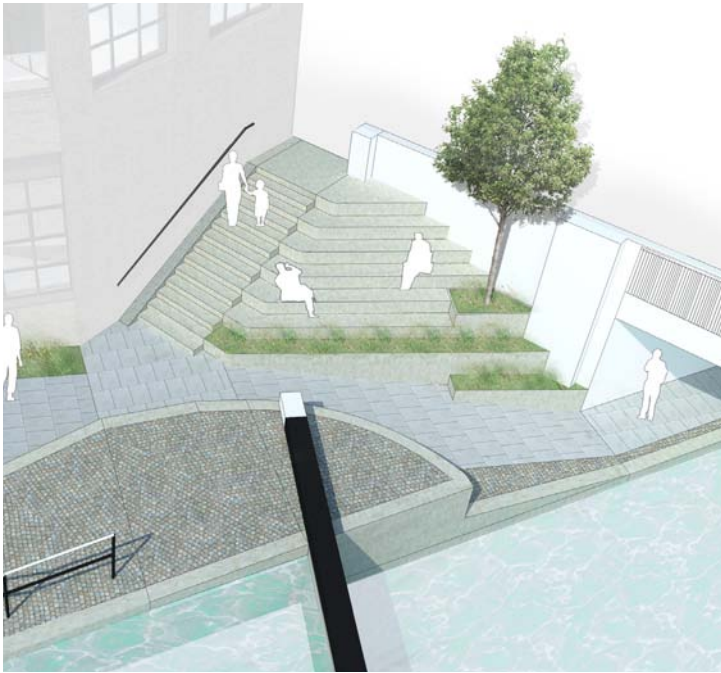
These issues will be addressed with the following:

- CCTV coverage and monitoring.
- Regular security patrols.
- Activated lights or motion-activated audible alarms which go off when people enter a doorway.

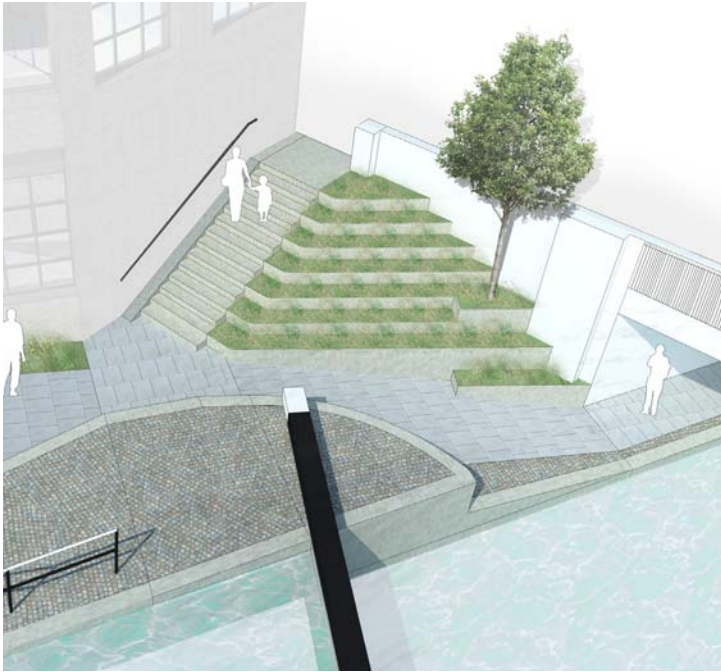
(* Text edited from Camden Lock Village Estate Management plan)

Figure 01 - Towpath steps

In order to address concerns from the security design advisor the stepped terrace area adjacent to the steps will be designed to allow for the retrofit of additional planting if loitering and anti-social behaviour become an issue in the future.



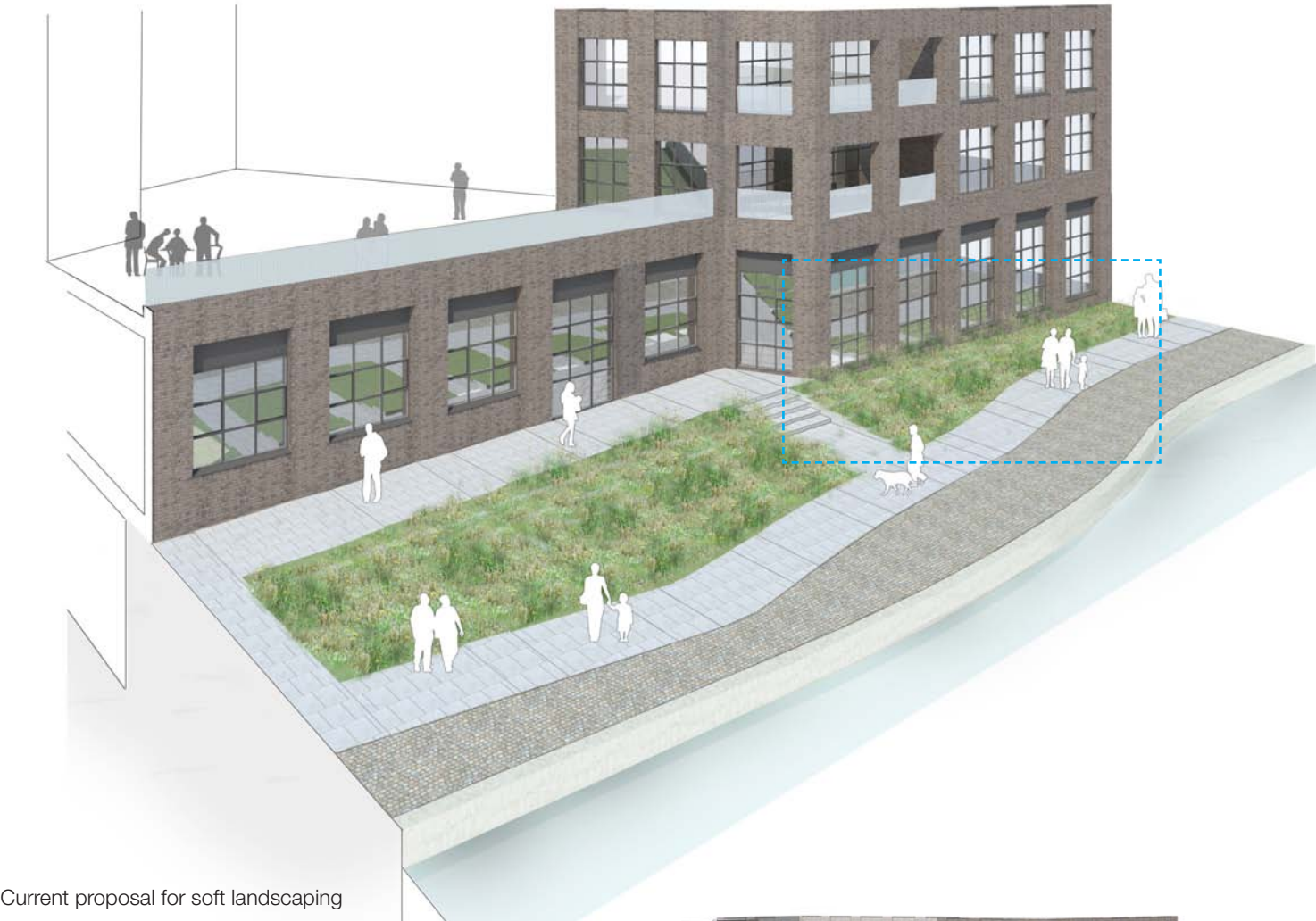
Stepped terrace area as constructed Day 1



Stepped terrace area with additional planting retrofitted, planting to be agreed to prevent anti-social behaviour.

Figure 02 - Towpath elevation

In order to address comments from the security design advisor the landscape design was adapted to discourage loitering.

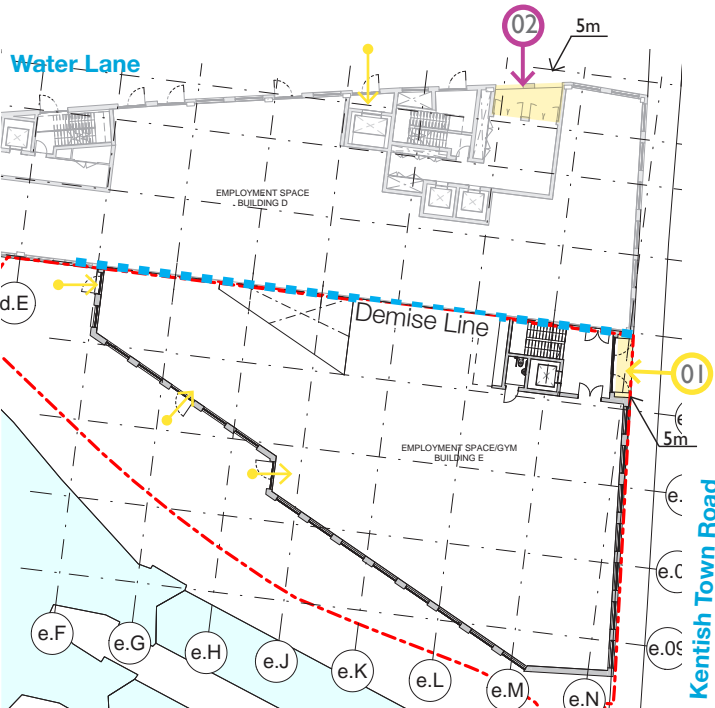


Current proposal for soft landscaping



Figure 03 - Entrances

Main entrance doors to residential buildings will be fitted with an audio visual verification access control system, with electronic door release and entry phone linked into each apartment



Ground Floor plan

- Employment
- 01 - fob access with visitor call button
- Yellow arrow - fob access door entry
- Residential
- 02 - fob access with visitor call button



Lighting Strategic Approach

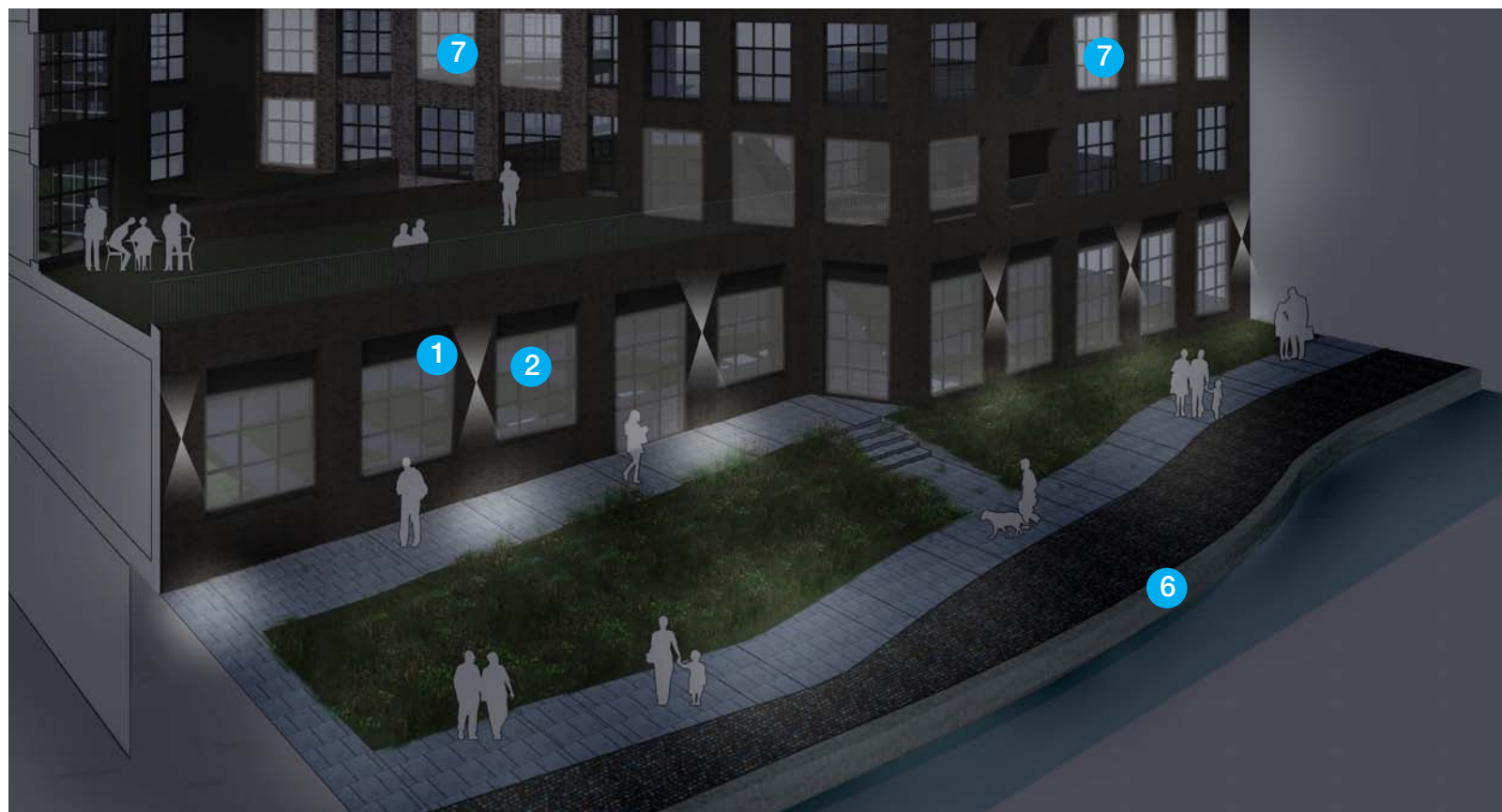
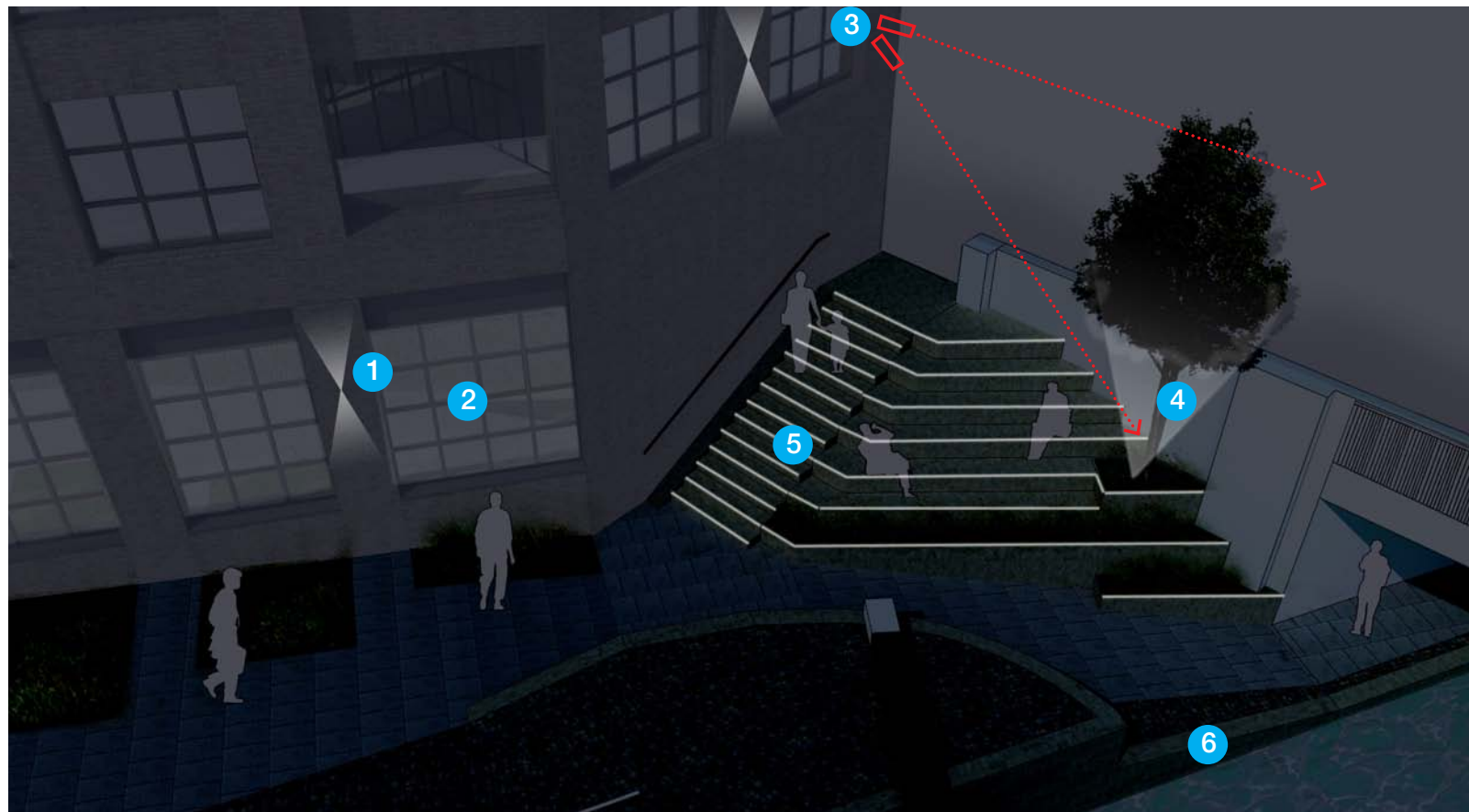
The external areas throughout the masterplan will be illuminated and designed to BS 5489. Areas that require external lighting in Area E are:

- Footpaths (towpath)
- Main site accesses
- Main entrance gates and doors

It is proposed that the ground floor will be illuminated at night. This will also discourage anti-social behaviour by ensuring that the areas around facades are well lit.

At ground floor most of the space is not private but public. The area will have a physical security presence in the form of security patrols, to ensure the spaces remain safe and secure for the general public.

As the majority of the Ground Floor around Area E is adjacent to the towpath and the canal, the external lighting will be sympathetic to surveillance as well as the ecology of the canal and discussions will continue with The Canal River Trust.



- 1 Up and down lighters fixed to Building E to provide background lighting to path
- 2 Borrowed light from office space
- 3 Existing CCTV cameras relocated onto Building E Facade. Positions pending further consultation.
- 4 Feature uplighting to tree (tree location to be confirmed)
- 5 Strip lighting integrated into stepped area
- 6 Lighting lux level of 0 by canal edge if possible
- 7 Background lighting from residential windows

