

# **Section 4**

# **Design Detail**

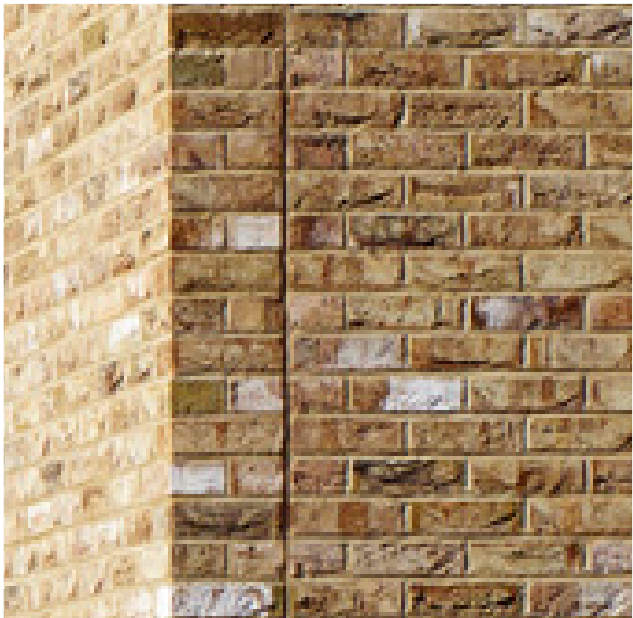
# Materials and Context

Area E is situated alongside the canal where there is a rich history of brick, warehouses and wharf buildings.

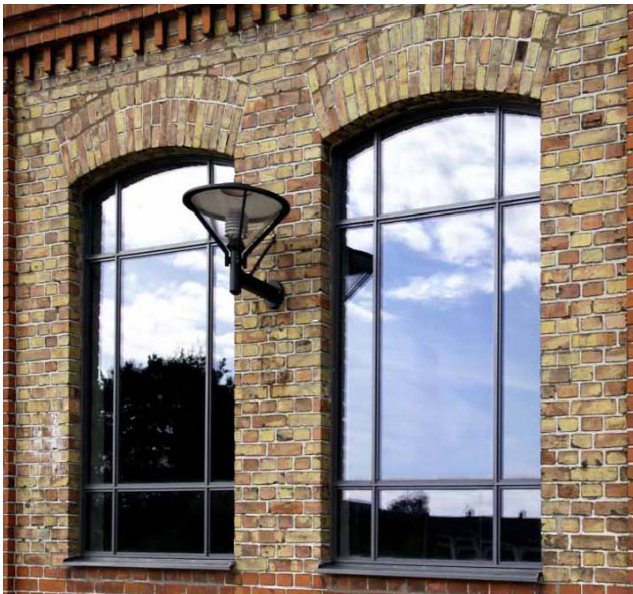
The material palette of Building E is inspired directly from the context with brick and crittal style aluminium windows. This will tie in with the material palette used for the consented Building D.



Context photographs



Bricks currently under consideration for building D/E



Windows currently proposed on Building D/E

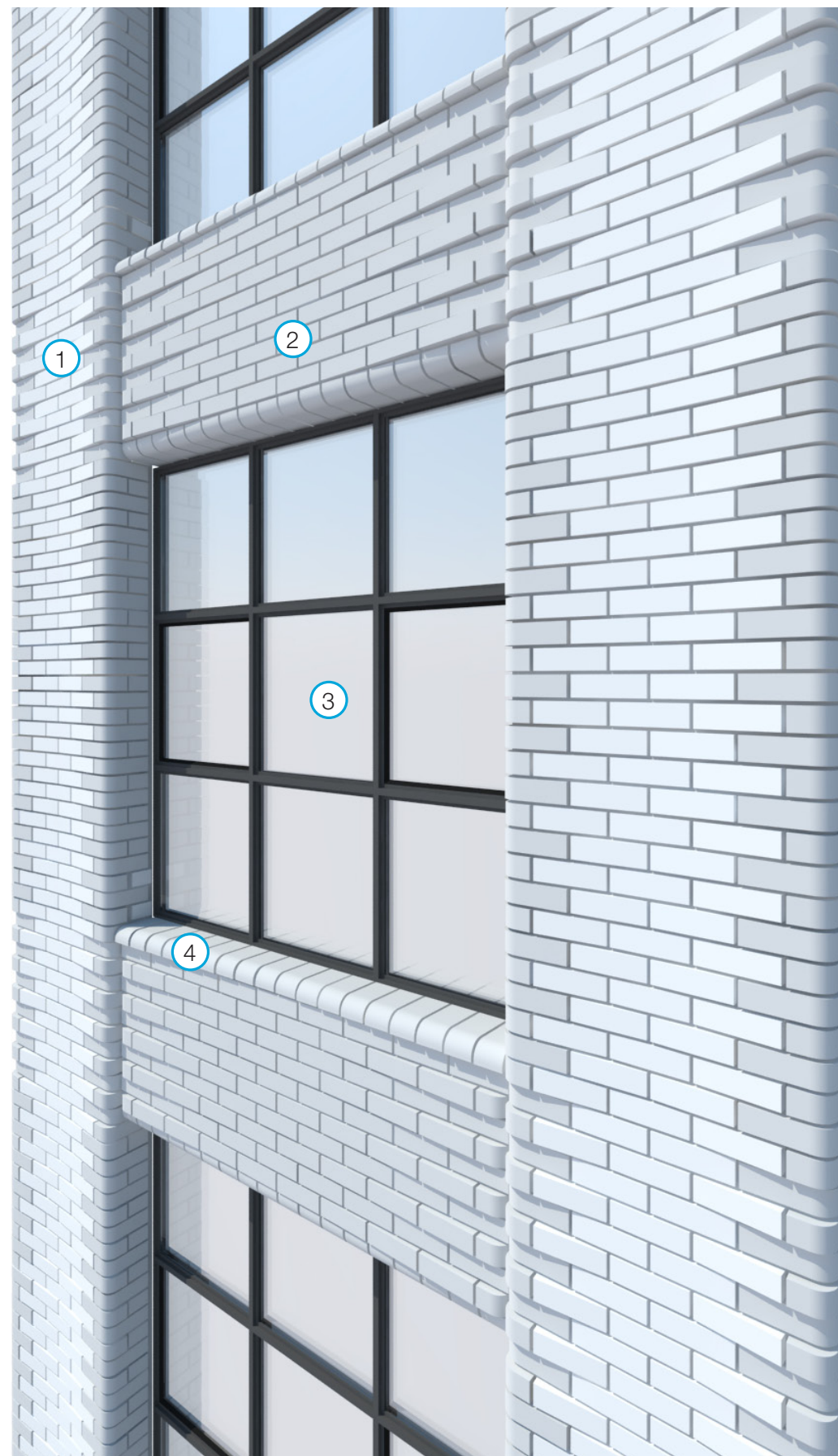
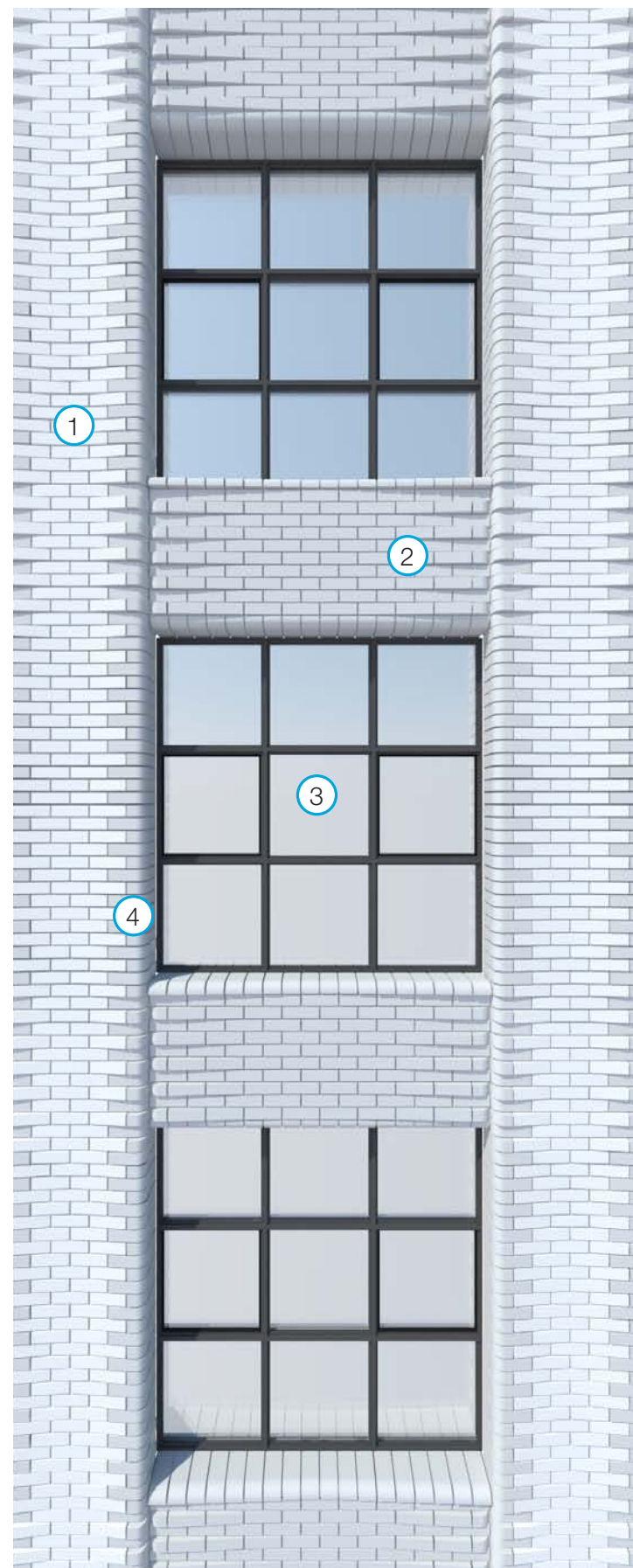


## Appearance

### Detail study

This page describes the detailed development for Area D & E's elevations; in particular, the detailing of the brickwork. The images are created without colour to allow the brick type to be discussed separately and to be agreed as discharge to conditions.

Wharf / warehouse buildings are identified by their simple geometric forms and brick detailing. Exact brick details will be agreed as part of discharging conditions across the elevations.



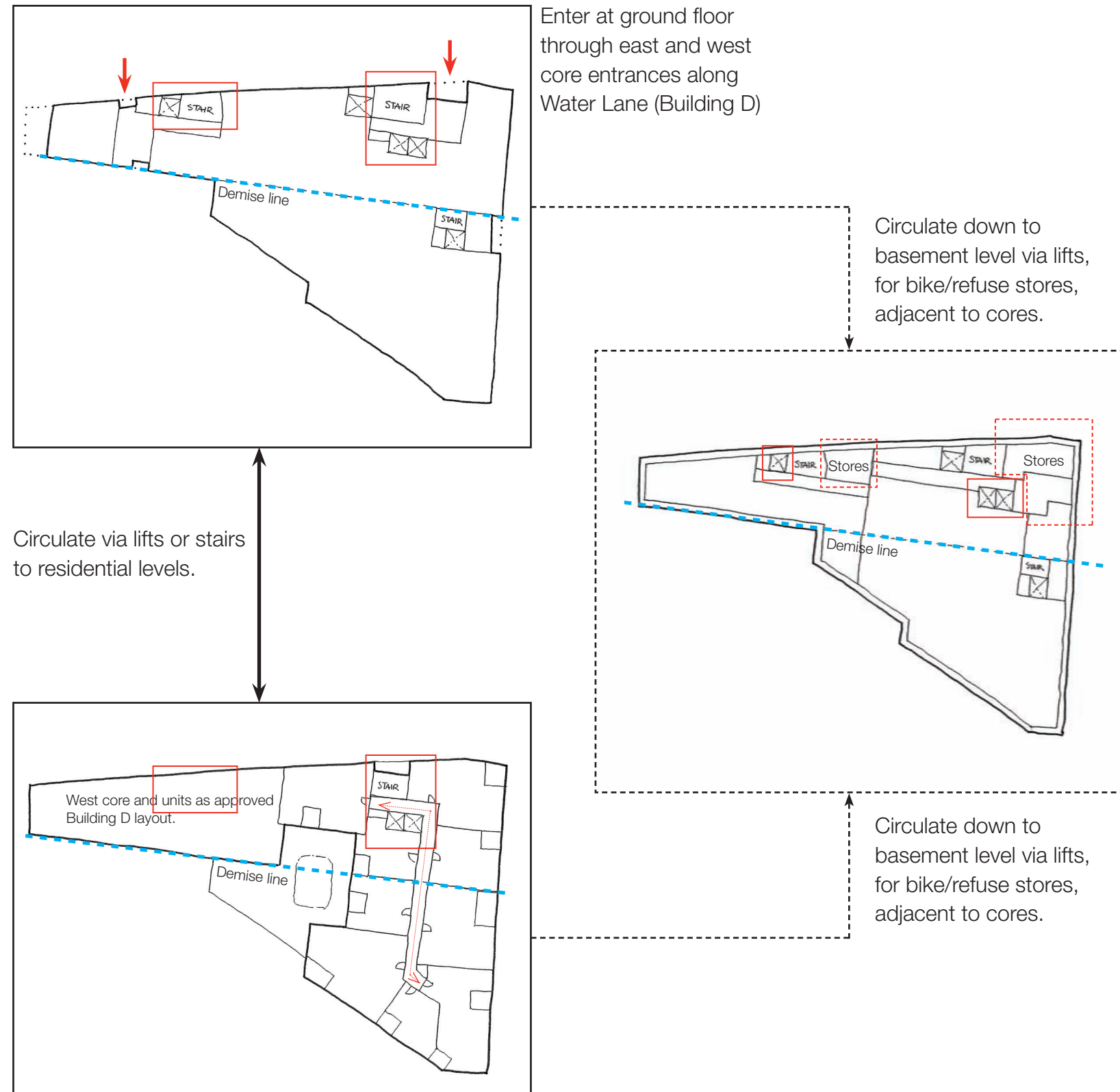
- ① Brick (type + colour to be discussed)
- ② Recessed textured brick spandrel panel
- ③ Crittal style windows
- ④ Bullnose edging and full brick reveals.



Scope of detail to bay studies adjacent

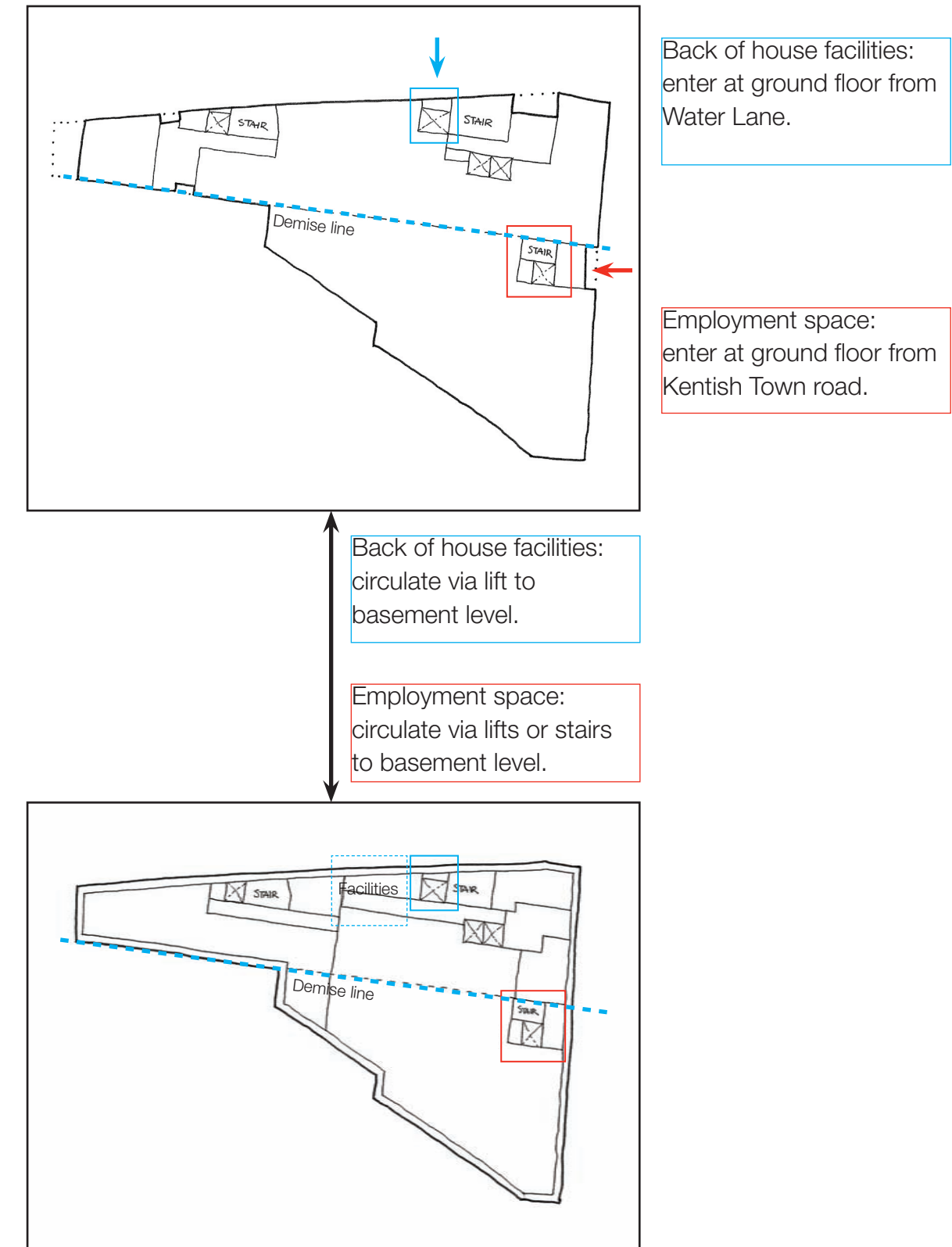
## Proposed Uses

**Residential movement strategy:**



NB: To reach units in Area E, residents use Building D's east entrance off Water Lane.

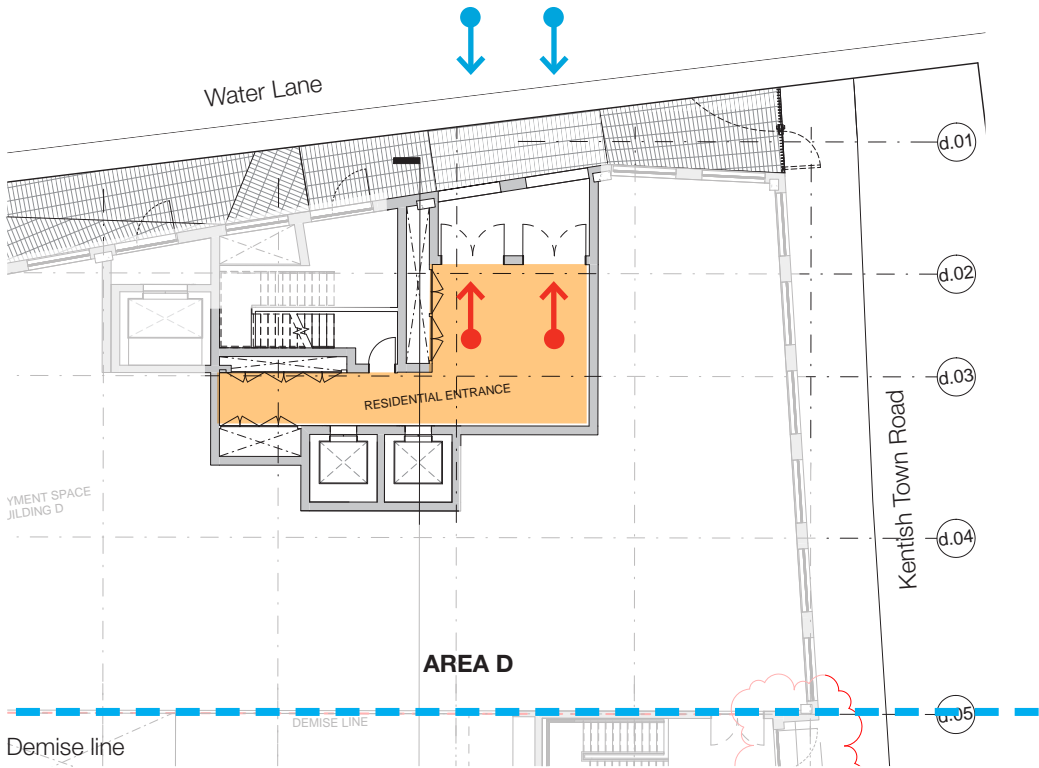
**Employment movement strategy:**





# Proposed Uses

## Residential

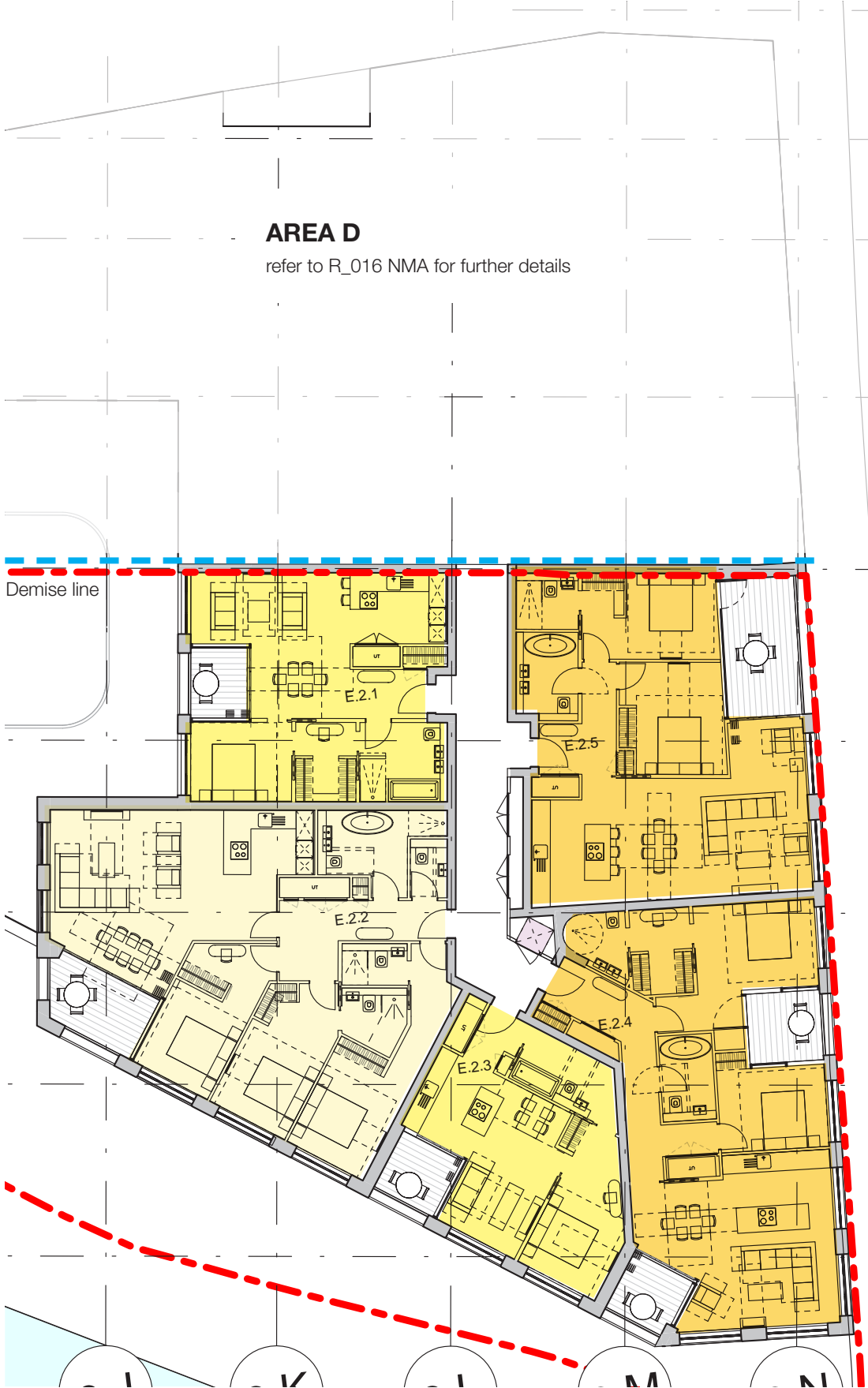


Ground floor plan

- Shared main entrance to Areas D & E residential apartments
- Main entrance
- Escape exit



Area C flat interior design proposal



Typical floor plan

Area E residential apartments share an entrance with Area D from Water Lane. From this core shared lobbies on levels 01-05 for Areas D & E are accessed.

The unit types for Area E residential are as follows:

|      |                         |
|------|-------------------------|
| 1no. | studio flats (level 05) |
| 9no. | 1 bed/2 person flats    |
| 9no. | 2 bed/4 person flats    |
| 5no. | 3 bed/6 person flats    |

Each flat also has additional amenity terrace space in accordance with GLA guidance (as a minimum 3 person = 5sqm min. + 1 sqm for every additional person).

The minimum floor to ceiling heights to habitable space are 2.5m. Attention will be paid to all aspects of the housing design from generous lobbies, spacious circulation spaces to the flat entrances & internal layouts themselves.

Example of Area C flat interior design proposals are shown here to demonstrate our commitment to design quality.

# Proposed Uses Flexible Employment / Gym Space

Single tenancy open plan office shown in indicative layouts below.



Basement floor plan



Ground floor plan

The flexible employment / gym space is located in the basement and ground floor of areas E. Current proposals show indicative flexible / open space layouts with shared amenities between Areas D & E. The open plan space benefits from frontages along the towpath, Kentish Town road & Water Lane. The main commercial entrance is from Kentish Town Road, a service lift exits onto Water Lane.

Access between the employment space and public area adjacent to the towpath has received support in discussions with CRT. However, this access cannot be used as an escape route from the building and therefore is not considered as such in the fire strategy.

The floor to ceiling heights are a minimum 3.6m clear with a central void providing 7.8m clear. A roof light above the void would provide natural daylight into the basement.

All layouts are indicative only.

- Flexible employment / gym space
- Main entrance
- Escape exits
- ... → Deliveries / service lift exit
- Access onto towpath

# Back of House

## Cycle & Vehicle Parking

### Cycle storage and facilities

For full details of the cycle storage strategy please refer to ARUP's planning report/Transport strategy.

- Residential** - provision for Area E only

x 19 Josta 2-tier Rack = 38 cycle spaces

Storage provision is in line with Code for Sustainable Homes level 4 requirements:

- 1 cycle space per 1-bed
- 2 cycle spaces per 2/3-bed

- Employment** - shared provision for Areas E + D








x 5 Josta 2-tier Rack = 10 cycle spaces

Storage provision is in line with BREEAM: 1:10 people minus 50% for good transport

A shower area is provided adjacent to the employment cycle store in line with TFL requirements

### Vehicle Parking

2no. DDA car parking spaces allocated to Building E are located in the basement of Building C.

-  Residential - JOSTA 2 Tier system  
Provision for Area E in addition to D's existing provision
-  Employment - JOSTA 2 Tier system  
Shared provision for Areas D + E
-  Residential cycle entry point
-  Employment cycle entry point
-  Residential Internal route to/from cycle store
-  Employment route to/ from cycle store
-  Shower area for employment space  
Shared provision for Areas D + E



Basement Plan. Not to scale.



# Back of House Refuse

## Refuse & Recycling

For full details of the servicing strategy please refer to ARUP’s planning report/Transport strategy.

Residential & commercial bin stores are located at basement and accessed from Ground via the commercial lift.



Refuse is taken from Water Lane back to the waste area within Building C via on site electric vehicles.



- Residential** - provision for Area E only
 

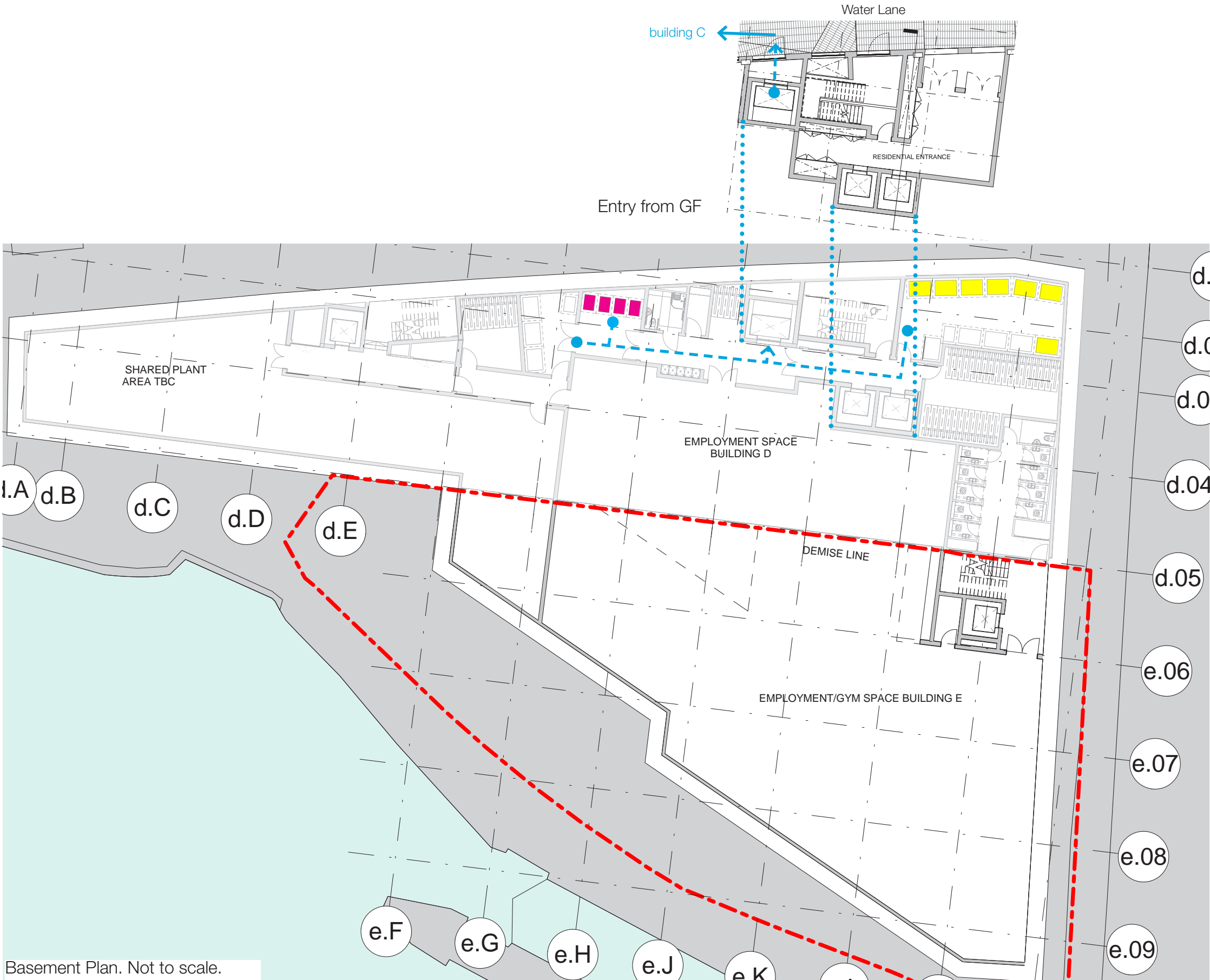
7 no. 1100L Eurobins divided into dedicated recoverable/ non-recoverable bins as per ARUP’s report.
- Employment** - shared provision for Areas E + D
 

4 no. 1100L Eurobins for daily storage, divided into dedicated recoverable/ non-recoverable bins as per ARUP’s report.

NB All bin stores are gullied and washable.

-  Residential waste bins  
Provision for Area E in addition to existing provision for Area D
-  Employment waste bins  
Shared provision for Areas D + E

-  Path of bins to collection point
-  Path of collection vehicles to building C



Basement Plan. Not to scale.



# Access & Maintenance

## Window cleaning & replacement

### Window Cleaning

#### Upper levels

Access for cleaning and maintenance to the building elevations above the 2nd floor will be provided by utilising rope access techniques carried out in accordance with BS 7985: Code of Practice for the use of rope access methods for industrial purposes and industry best practice being the Industrial Rope Access Trade Association (IRATA) guidelines. Anchors for this will be installed into the internal face of the roof parapet.

#### Ground to 2nd floor

Access to the lower elevations for the purpose of cleaning and maintenance will be carried out from street level. Cleaning of the glazing will normally be achieved using a proprietary water fed pole system and maintenance using mobile access equipment. Windows/doors to apartment terraces to be cleaned from the terrace using a short reach squeegee by apartment tenant.

### Glass Replacement

Windows and doors to be finished thin profile aluminium. Glazing and opening light can be replaced from inside the apartment by trained personnel. The doors/ windows to balconies can be replaced from standing on the terrace by trained personnel. Glazing and assembly to commercial parts to be replaceable from outside by trained personnel.



Elevations. Not to scale.



# Access & Maintenance

## Roof Maintenance

### Roof Maintenance

#### Level 01

The flat roof has a balustrade 1100mm high along the inner edge of the parapet.

Access to maintain the roof will be from the towpath on the western edge via cherry picker. More regular, general maintenance for landscaping to both private and communal terraces will be carried out either by access from cherry picker or access hatch from ground floor.

#### Level 06

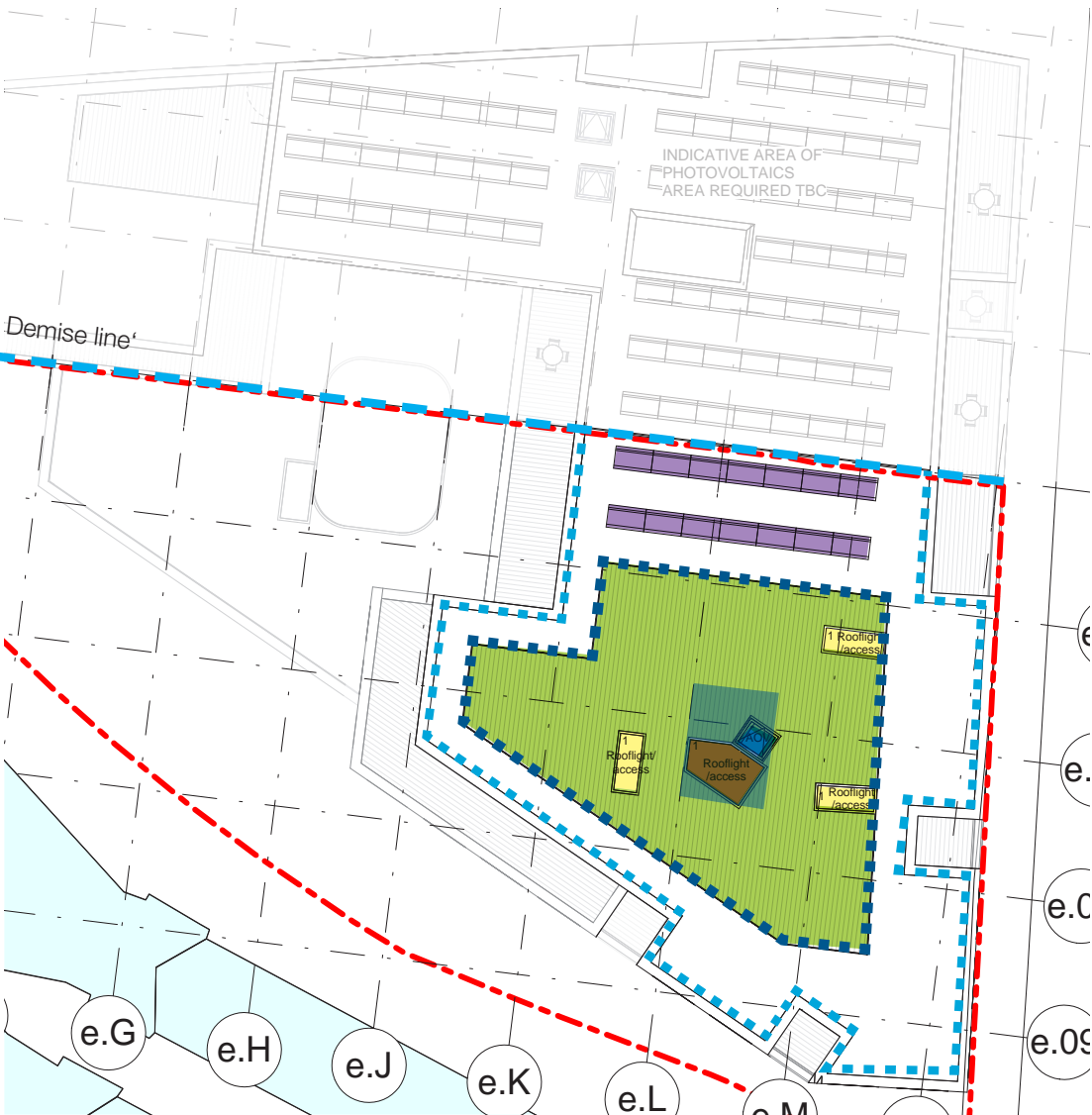
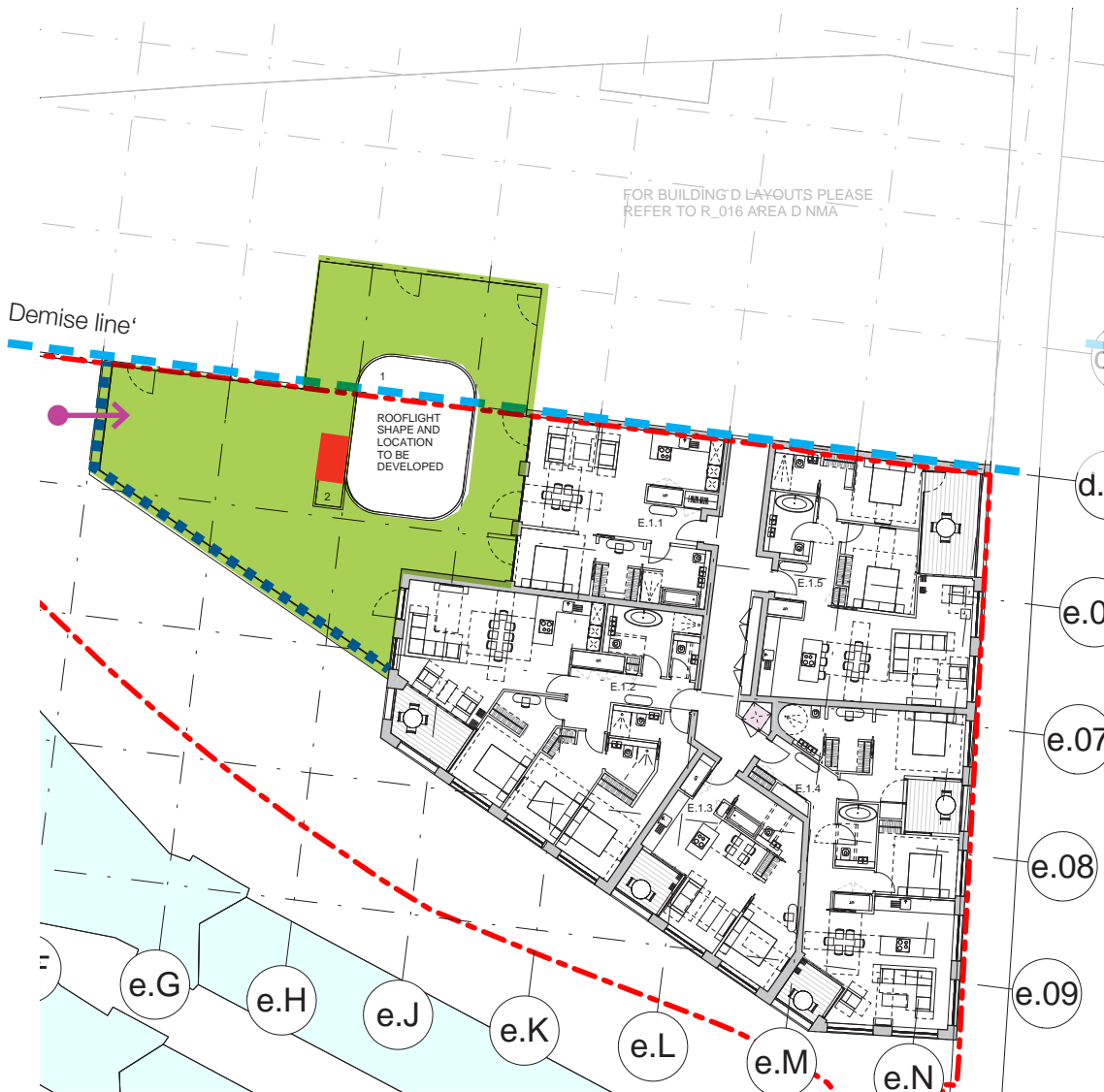
The flat roof has low parapets therefore a fall restraint system will be employed. The users of such systems will be trained and competent to do so and use harnesses, lanyards, connectors and traveller devices which will meet the relevant British Standards.

Roof plant will be accessed via communal corridor and through an operable rooflight in Area D & E.

All gullies and drainage will be located away from the edge where practical and towards the centre of the roof for safe access.

Brown / sedum roofs are generally low maintenance and post installation maintenance includes visual inspection and occasional weeding. Some manufacturers recommend halting maintenance regimes after a number of years to let the roof go 'wild'.

Tenants will be expected to carry out general maintenance of private terrace soft landscaping.



Level 01. Not to scale. Internal layouts are indicative only.

Level 06. Not to scale.

- Potential access hatch for maintenance (type and location tbc)
- Private residential roof terrace
- A.O.V.
- Operable rooflight for maintenance
- Roof Access from private apartments
- PV's
- Plant zone (size tbc)
- Mansafe fall restraint system around parapet
- Potential cherry picker access - tbc
- Balustrade edge protection



## Access & Inclusive Design Summary

A comprehensive Access Statement has been prepared by Arup which should be referred to for details on the access strategy across the scheme.

The following documents have been referenced for guidance:

- Approved Document M
- BS 8300: 2009+A1 :2010
- Lifetime Homes, July 2010
- Camden Wheelchair Housing Design Brief (2013)

### Residential

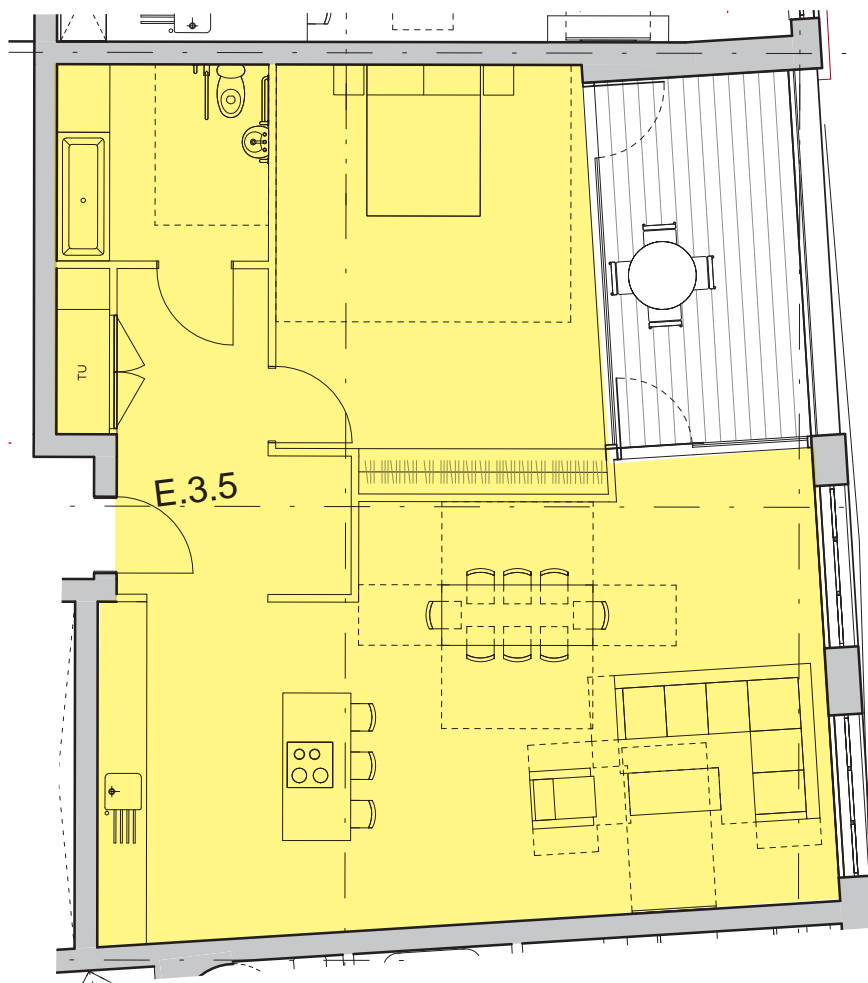
All apartments will be Lifetime Homes compliant. There are 24 units in total 10% (2) of which will be spatially designed to be wheelchair accessible to the recommendations set out in the Camden Wheelchair Housing Design Brief (2013).

Refer to adjacent plans for layouts & Access Statement report for wheelchair housing design assessment.

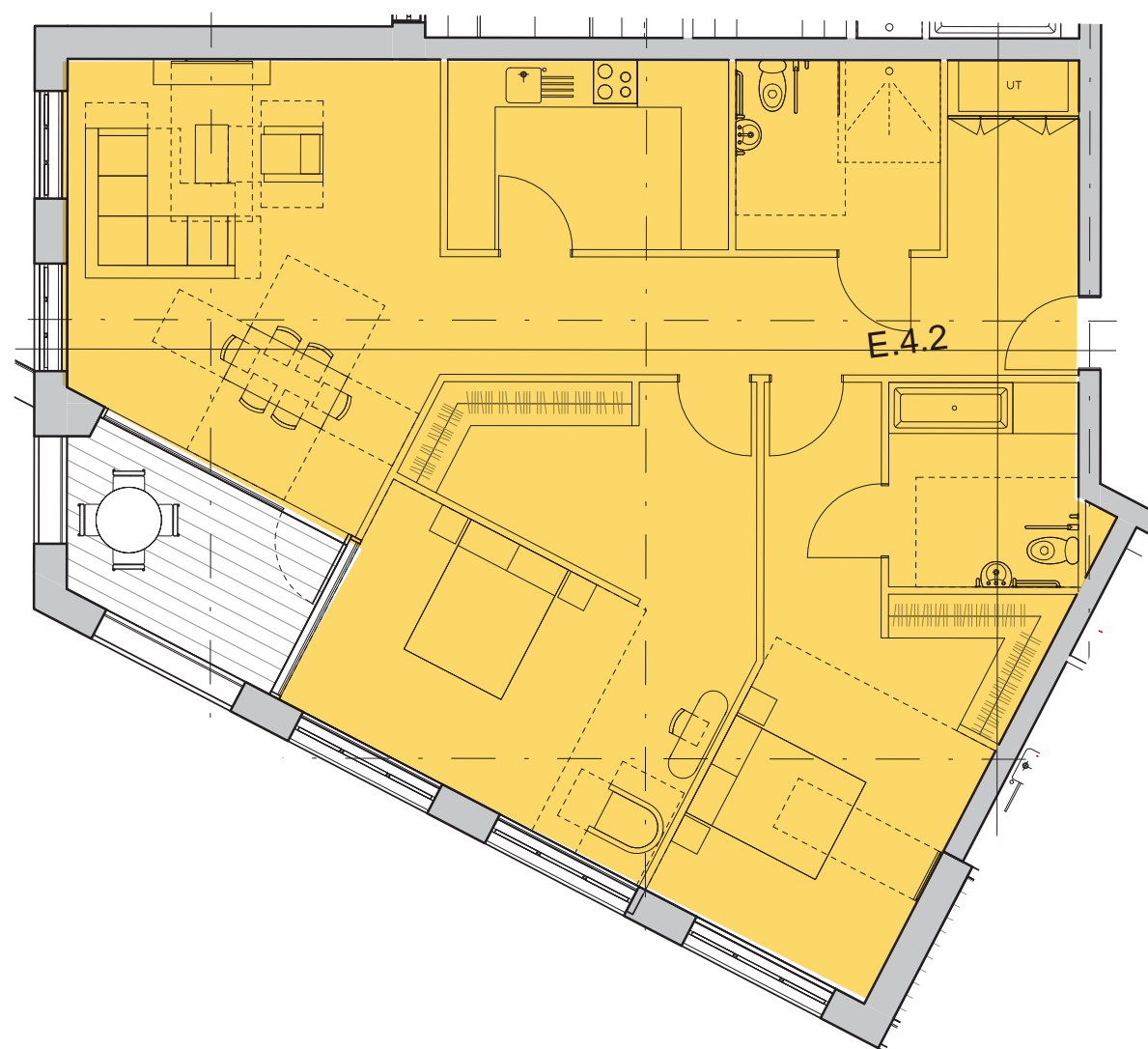
### Employment

The flexible office space on the GF and basement levels will be step-free throughout and will include a wheelchair accessible WC on each level.

For cyclists an accessible shower is provided on basement level.



Wheelchair accessible 1 bed 2 person apartment. Not to scale.



Wheelchair accessible 2 bed 4 person apartment. Not to scale.

