

### Planning Condition 10: Green and brown roofs

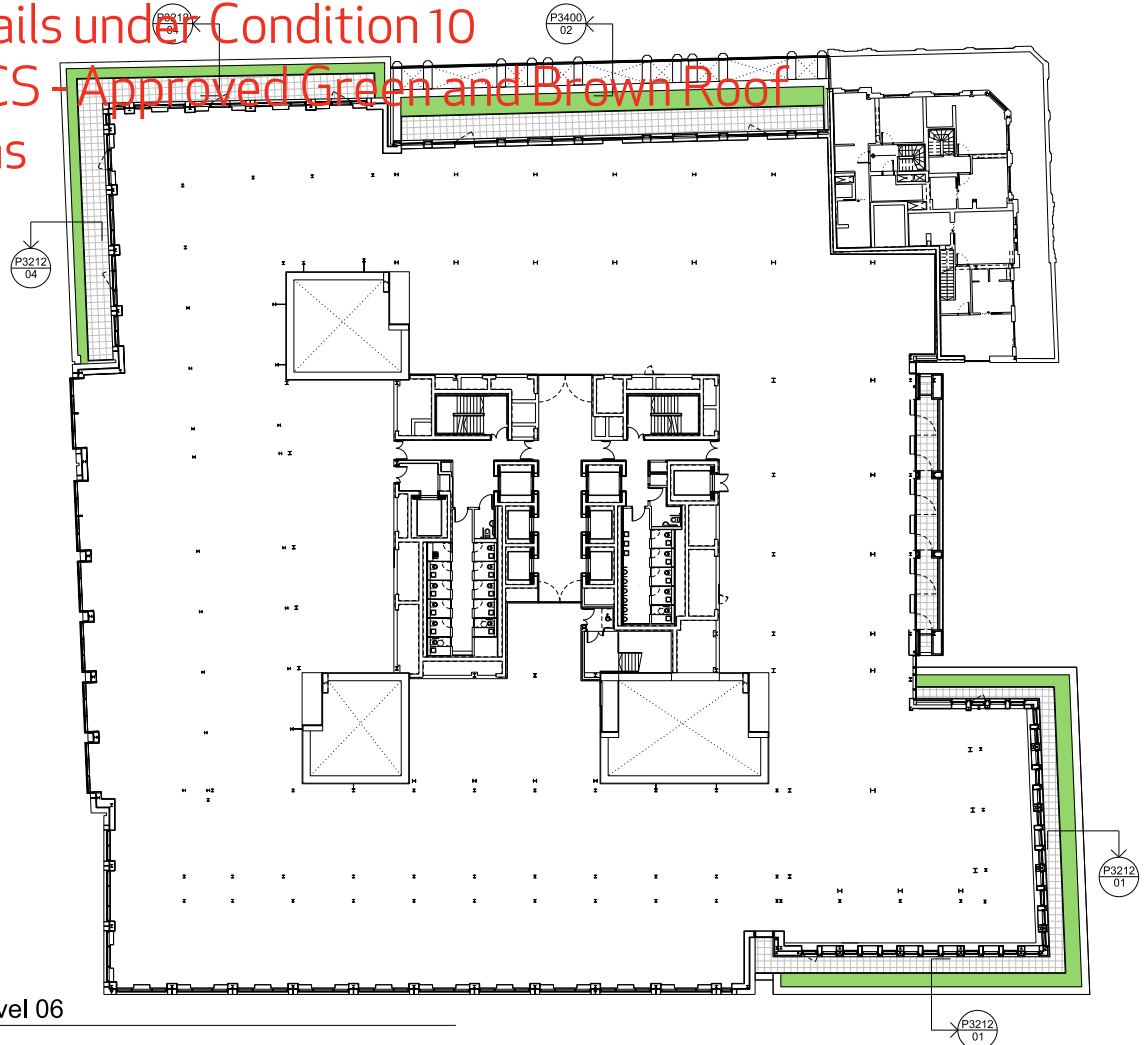
Full details in respect of the green and brown roofs in the areas indicated on the approved roof plan shall be submitted to and approved by the Council before the relevant part of the development commences. The approved details shall be implemented within one year of the completion of the relevant part of the development and shall be permanently retained and maintained thereafter.

### Summary of changes

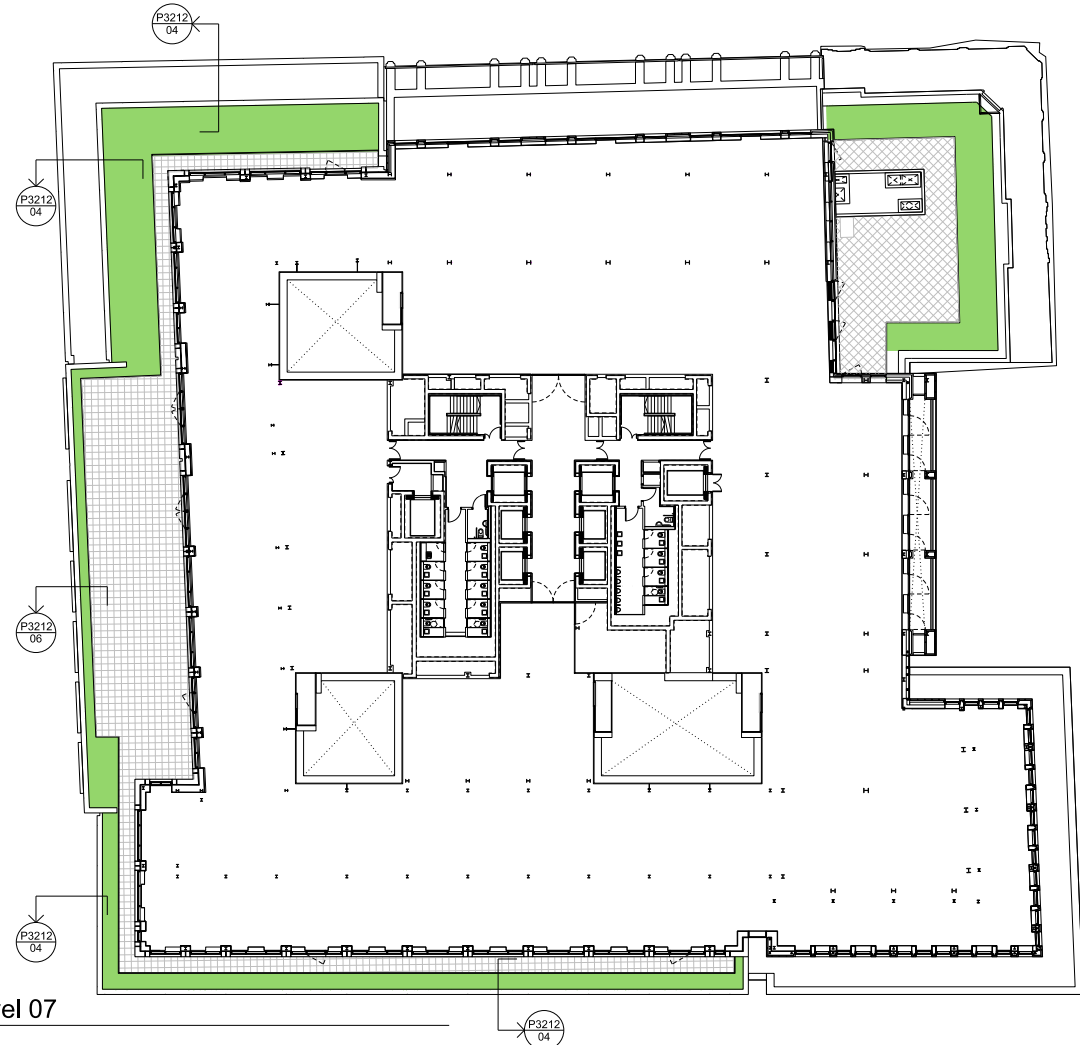
- Modification of green roof areas on Levels 06 & 07, 80 Charlotte Street, to accommodate amenity space and access.
- Introduction of a green roof on 65 Whitfield Street in order to achieve the total required percentage of green roof area.

Details under Condition 10  
80 CS - Approved Green and Brown Roof  
Plans

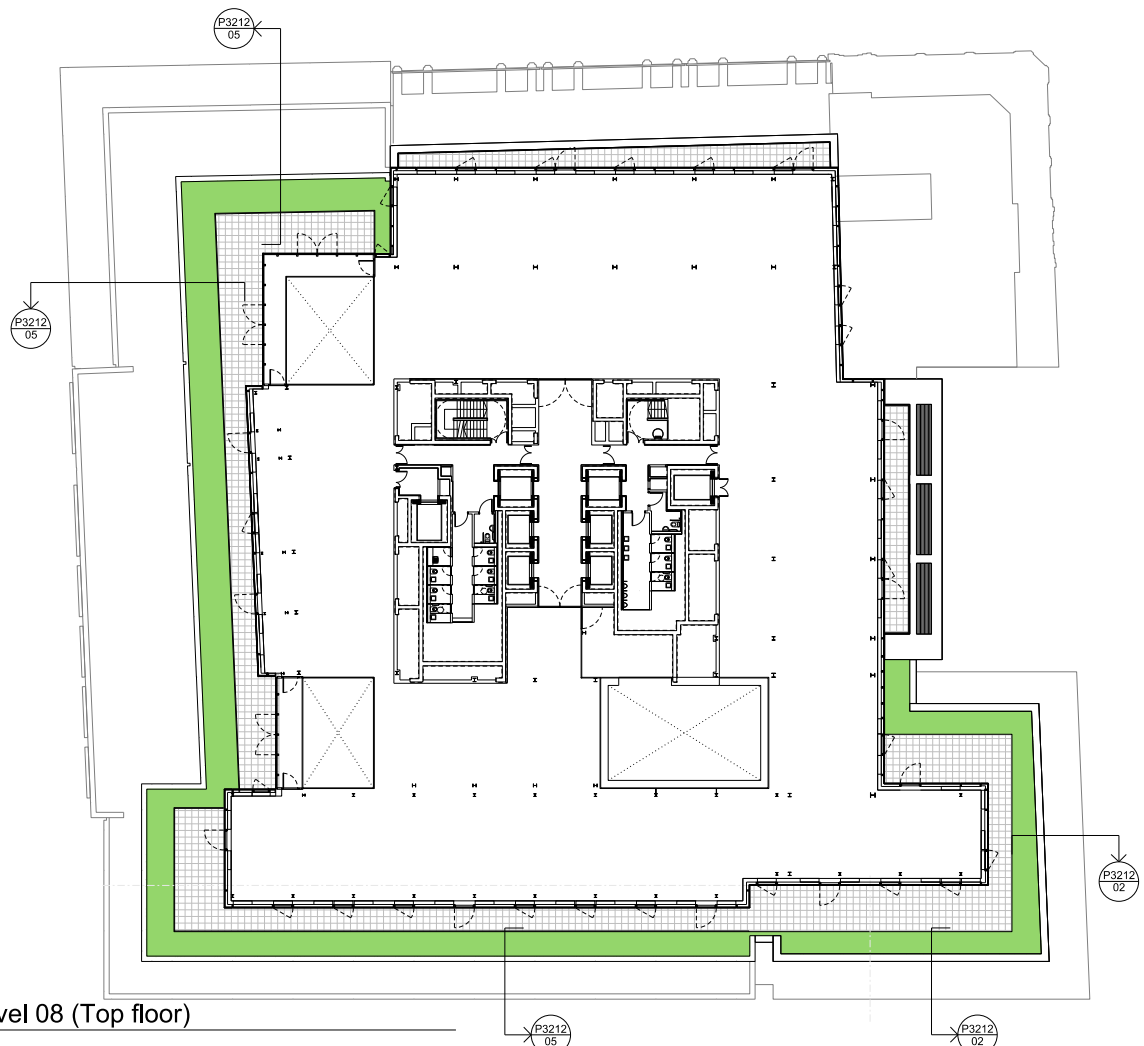
01 Level 06  
1:200



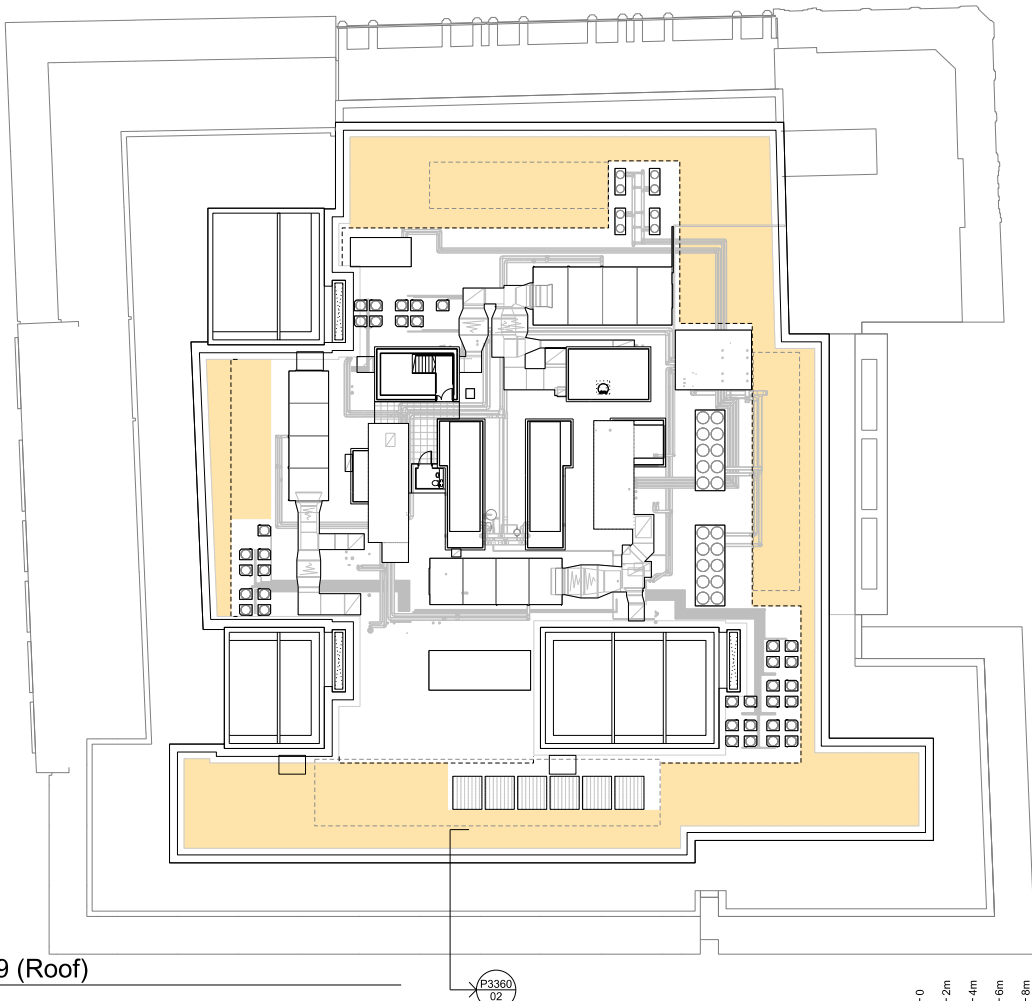
02 Level 07  
1:200



03 Level 08 (Top floor)  
1:200



04 Level 09 (Roof)  
1:200



General Notes

1. Dimensions are in millimetres unless stated otherwise.
2. Levels are in metres AOD unless stated otherwise.
3. Dimensions govern. Do not scale off drawing.
4. All dimensions to be verified on site before proceeding.
5. All discrepancies to be notified in writing to Make Limited.

© Make Limited 2008

NOTES:

1. All retained existing structure (walls, columns and downstands beams) are to be confirmed by Structural Engineer.
2. All plant areas and services risers (sizes, locations, and routes) to be confirmed by Mechanical Engineer.
3. Changes to the envelope from the consented planning scheme are to be reviewed and confirmed by Planning Consultant.
4. Client to confirm Ground and Lower Ground retail strategy. Planning consent for LG/GF A1 retail limited to a maximum of 2,488sqm, with A3 Use on Howland-Whitfield St corner. Refer to M&E consultant report for current M&E retail allowance. VRF's to perimeter of LG/GF will be required if used as offices.
5. Ground floors from street level is to be developed based on Use type and space planning.
6. Part-M & DDA compliance (disabled toilets, ramps) to be reviewed by access consultant.
7. Cleaning & maintenance to be reviewed (atrium, facade) by building maintenance consultant.
8. New and retained structures based on ARUP SGA's Rev.P01 issued 26/06/2012
9. No VRF's by slot atrium shown, to be developed at next stage.
10. Terraces, landscaping, park, roof plant, and residential layouts illustrative, refer to separate reports.
11. Additional terraces and changes to atrium to be confirmed with planning consultant.

STANDARD NOTE:

Any areas measured from these plans by a quantity surveyor, relate to the likely areas of the building at the current stage of the design. Any decisions to be made on the basis of these predictions, whether as to project viability, pre-letting, lease agreement or the like should include due allowance for the increases and decreases inherent in the design development and building processes.

Green roof

Brown roof

Rev	Date	Discharge of Conditions	Reason For Issue	MT	Chk
00	12/12/12	Discharge of Conditions		MT	

**FOR PLANNING**

DRAWING STATUS

**make**

55-65 Whitfield Street,  
London, W1T 4HE

tel +44 (0) 20 7636 5151  
fax +44 (0) 20 7636 5252  
info@makearchitects.com  
www.makearchitects.com

Client  
Derwent London  
West London and Suburban  
Property Investments Ltd.  
W1S 2ER

Keyplan

North

Project  
80 Charlotte Street

Drawing Title  
Green and Brown Roofs  
Level 06-09  
(Terrace and roof levels)

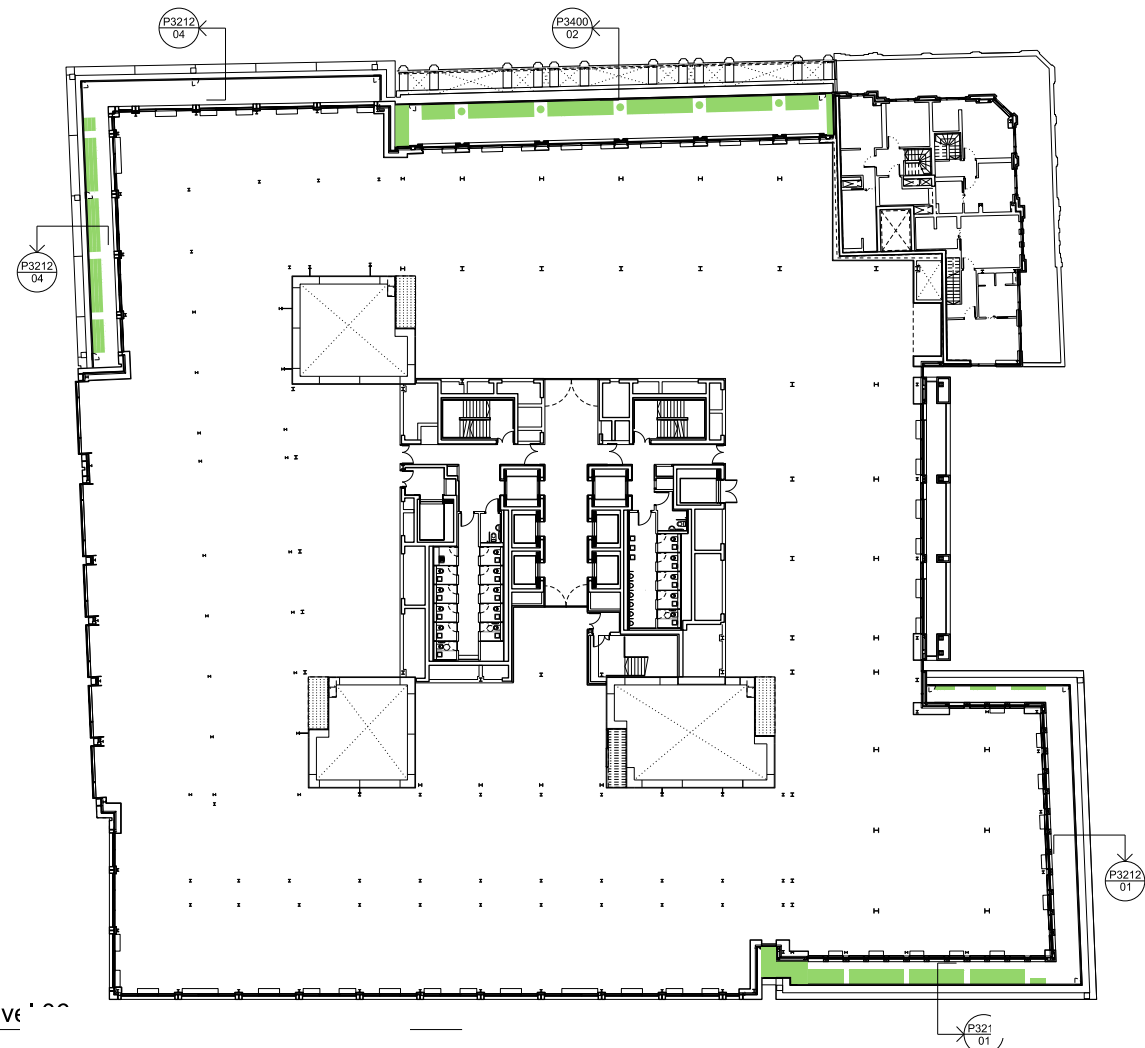
Details under condition 10

Scale	Paper Size	Date
1:200	@A0	12.12.12

Project No.	Draw No.	Rev No.
0825	P2150	00

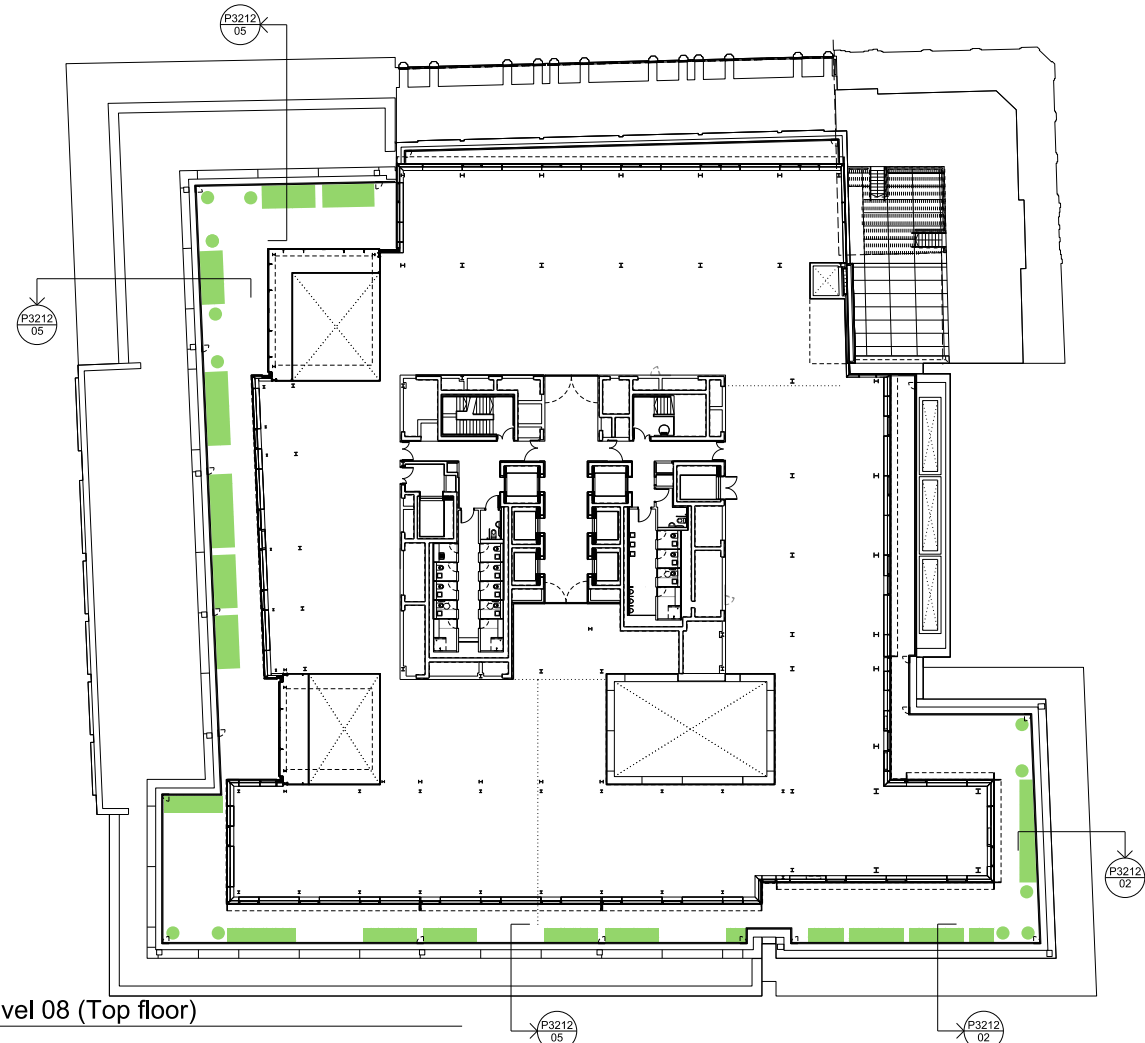
01 Level 06

1:200



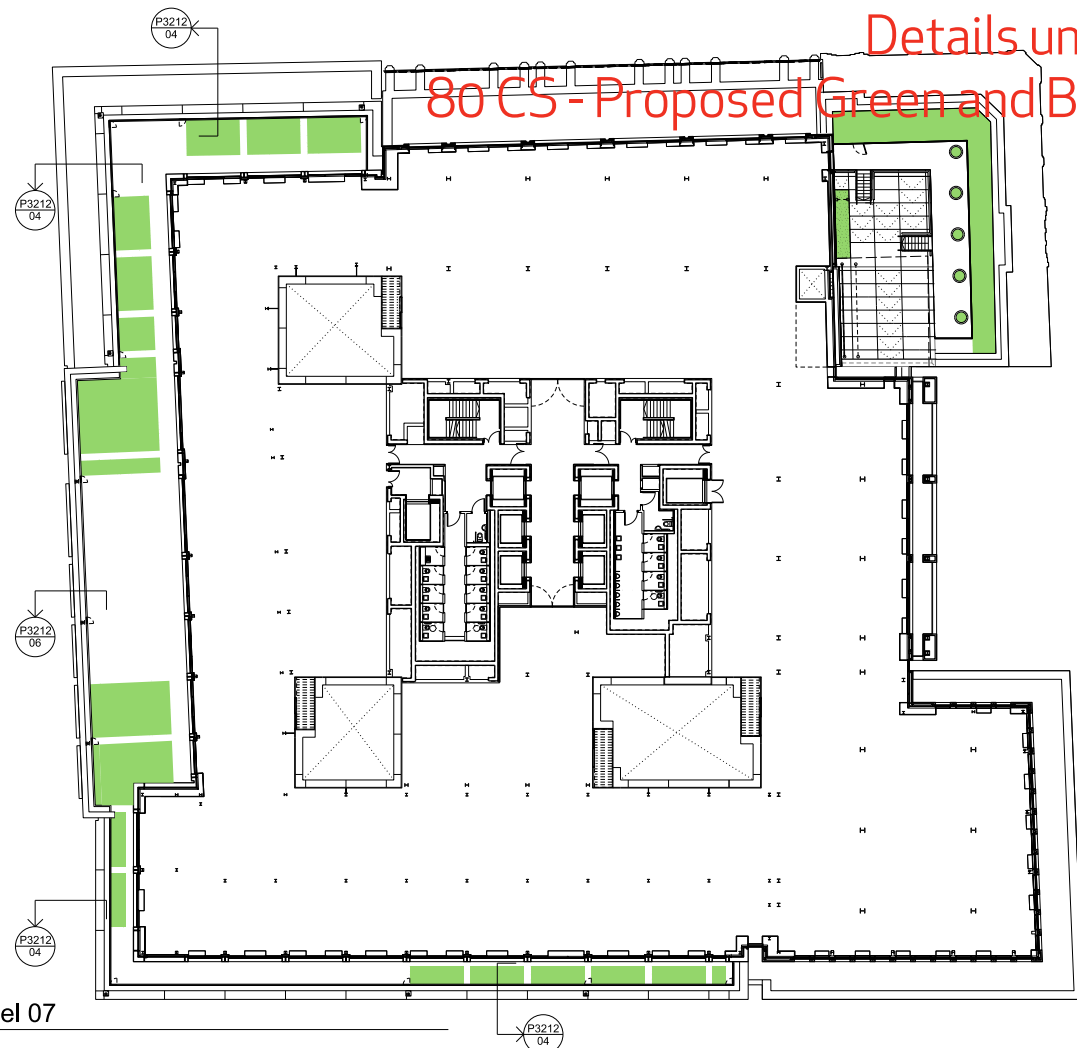
03 Level 08 (Top floor)

1:200



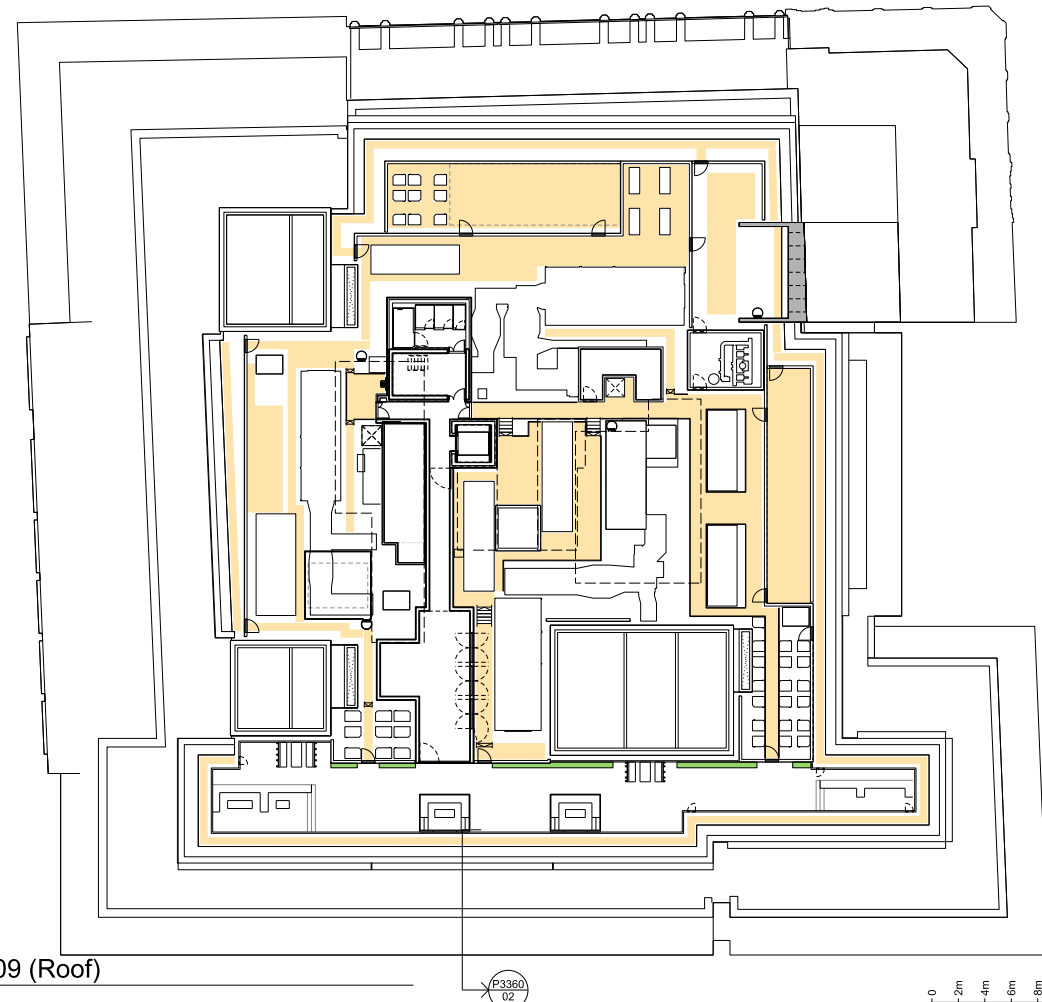
Level 07

1:200



04 Level 09 (Roof)

1:200



# Details under Condition 10 80 CS - Proposed Green and Brown Roof Plans

- General Notes
1. Dimensions are in millimetres unless stated otherwise.
  2. Levels are in metres AOD unless stated otherwise.
  3. Dimensions governing do not scale off drawing.
  4. All dimensions to be verified on site before proceeding.
  5. All discrepancies to be notified in writing to Make Limited.
- © Make Limited 2014
- NOTES:
1. All new and retained existing structure (walls, columns and downstands beams) to be confirmed by Structural Engineer.
  2. All plant areas and services risers (sizes, locations, and routes) to be confirmed by Mechanical Engineer.
  3. Changes to the envelope from the consented planning scheme are to be reviewed and confirmed by Planning Consultant.
  4. Client to confirm Ground and Lower Ground retail strategy.
  5. Planning consent for LG/GF A1 retail limited to a maximum of 2,499sq.m, with A3 Use on Howland-Whitefield St corner.
  6. Refer to M&E consultant report for current M&E retail allowance.
  7. VRF's to perimeter of LG/GF are required if used as office.
  8. Access strategy to Ground and Lower Ground floors from street level is to be developed based on Use type and space planning.
  9. Part M & DDA compliance (disabled toilets, ramps) to be reviewed by access consultant.
  10. Cleaning & maintenance to be reviewed (atrium, facade) by building maintenance consultant.
  11. Existing structure based on Arup original design drawings & PCA Survey (2010), information.
  12. New Structure based on engineers information.
  13. Terraces, landscaping, park, roof plant, and residential layouts illustrative, refer to separate reports.
  14. Additional terraces and changes to atrium to be confirmed by planning authority.
  15. Acoustic performance to be confirmed by acoustic consultant.
- NOTE: Any areas measured from these plans by a quantity surveyor, relate to the likely areas of the building at the current stage of the design. Any decisions to be made on the basis of these provisions, whether as to project viability, pre-letting lease agreement or the like should include due allowance for the increases and decreases inherent in the design development and building processes.

- Green roof
- Brown roof

01	13/03/15	Discharge of Conditions	MT
00	12/12/12	Discharge of Conditions	MT
Rev	Date	Reason For Issue	Chk

## FOR PLANNING

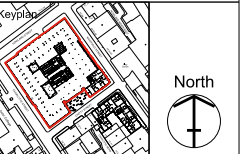
DRAWING STATUS

**make**

13 Fitzroy Street,  
London, W1T 4BQ

tel +44 (0) 20 7636 5151  
fax +44 (0) 20 7636 5252  
info@makearchitects.com  
www.makearchitects.com

Client  
Derwent London  
West London and Suburban  
Property Investments Ltd.  
W1S 2ER



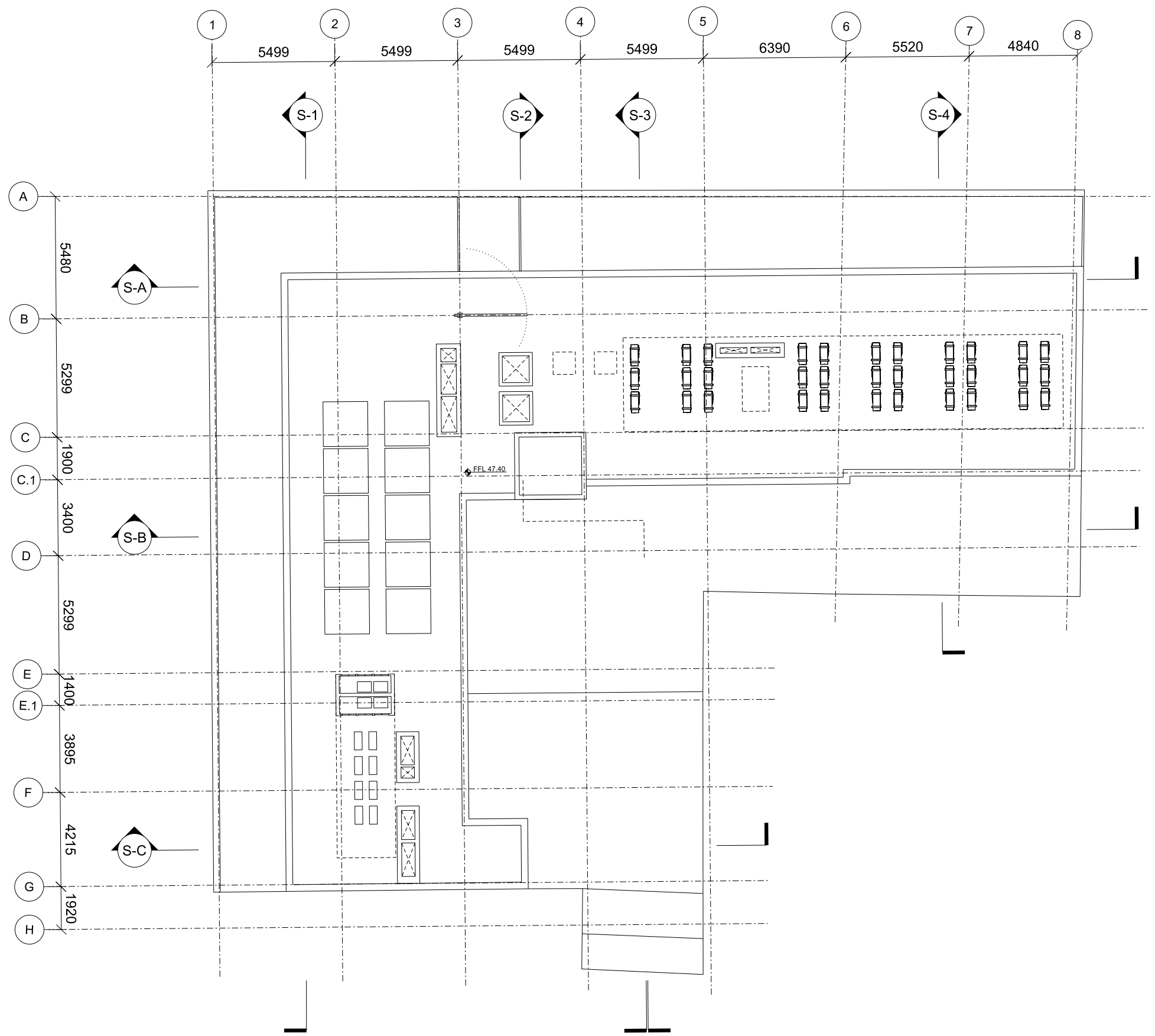
Project  
80 Charlotte Street

Drawing Title  
Green and Brown Roofs  
Level 06-09  
(Terrace and roof levels)

Scale	Paper Size	Date
1:200	@A0	12.12.12
Project No.	Draw No.	Rev No.
0825	P2150	01

Details under Condition 10

65 WFS - Approved roof plan (no Green and Brown Roof)



65 WfS - Level 06 Roof Plan

1:100

1:100



General Notes

1. Dimensions are in millimetres unless stated otherwise.
2. Levels are in metres AOD unless stated otherwise.
3. Dimensions govern. Do not scale off drawing.
4. All dimensions to be verified on site before proceeding.
5. All discrepancies to be notified in writing to Make Limited.

© Make Limited 2008

NOTES:

1. All retained existing structure (walls, columns and downstands beams) are to be confirmed by Structural Engineer.
2. All plant areas and services risers (sizes locations, and routes) to be confirmed by Mechanical Engineer.
3. Changes to the envelope from the consented planning scheme and are to be reviewed and confirmed by Planning Consultant.
4. Part-M & DDA compliance (Access & wheelchair apartment layouts) to be reviewed by access consultant.
5. Cleaning & maintenance to be reviewed (atrium, facade) by building maintenance consultant.
6. Internal layouts are subject to design development.

Any areas taken measured from these plans by a quantity surveyor, relate to the likely areas of the building at the current state of the design. Any decisions to be made on the basis of these predictions, whether as to project viability, pre-letting, lease agreement or the like should include due allowance for the increases and decreases inherent in the design development and building processes.

00	12.12.12	Discharge of conditions	
Rev	Date	Reason For Issue	Chk

**make**

55-65 Whitfield Street,  
London, W1T 4HE

tel +44 (0) 20 7636 5151  
fax +44 (0) 20 7636 5252  
info@makearchitects.com  
www.makearchitects.com

Client

**Derwent London**  
(West London and Suburban  
Property Investments Ltd.)

Keyplan

North

Project

**65 Whitfield Street**

Drawing Title

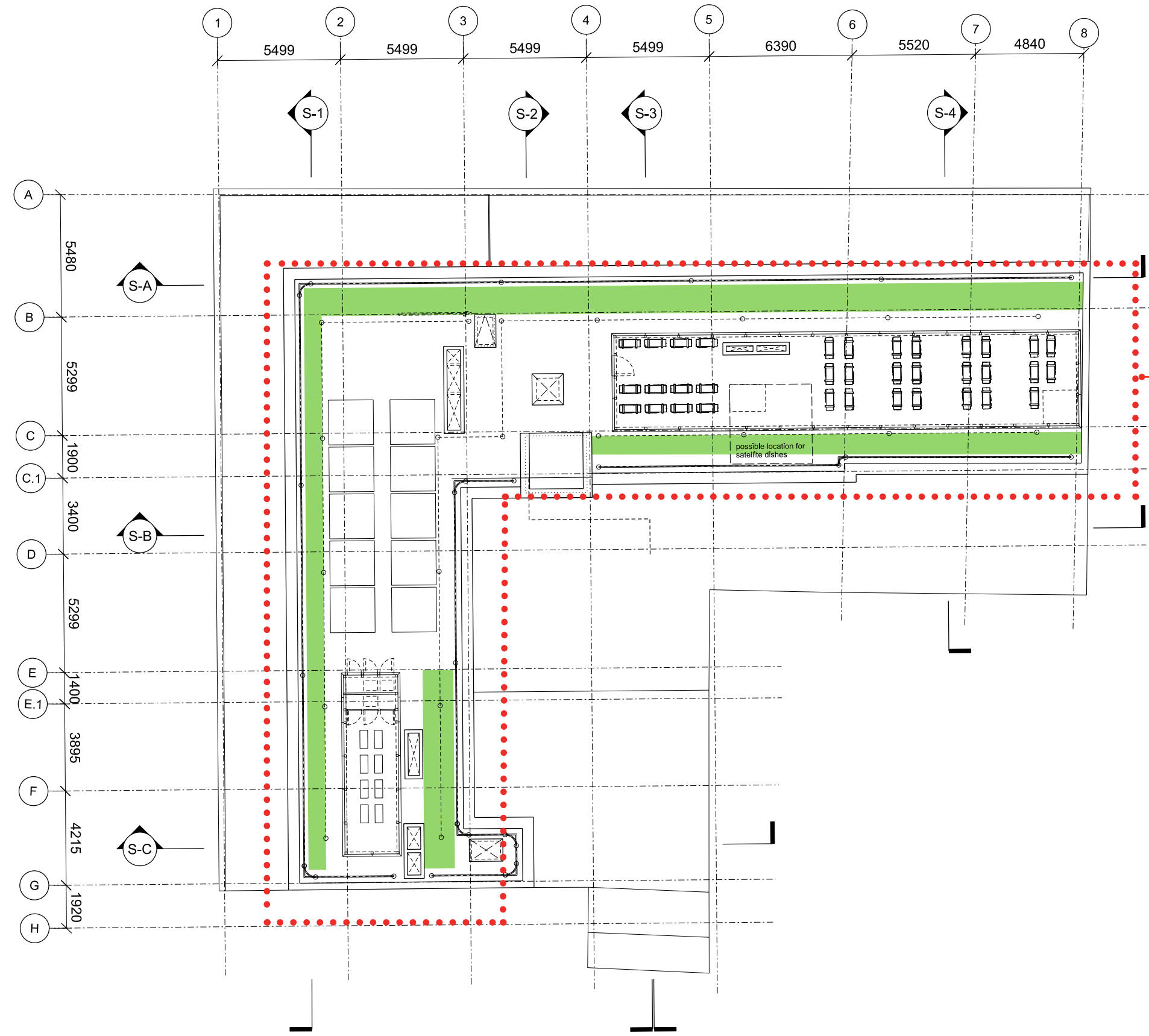
**65 Whitfield Street**  
**Level 06 Roof Plan**

Detail under condition 11

Scale	Paper Size	Date
1: 100	@A1	12.12.12

Project No.	Draw No.	Rev No.
<b>0825</b>	<b>P5506</b>	<b>00</b>

Details under Condition 10  
65 WFS - Proposed Green and Brown Roof Plans



See Proposed detail  
P6801 in the appendix

- General Notes
1. Dimensions are in millimetres unless stated otherwise.
  2. All dimensions are in millimetres ACD unless stated otherwise.
  3. Dimensions govern. Do not scale off drawing.
  4. All dimensions to be verified on site before proceeding.
  5. All discrepancies to be notified in writing to Make Limited.
- © Make Limited 2008
- NOTES:
1. All retained existing structure (walls, columns and downstands beams) are to be confirmed by Structural Engineer.
  2. All plant areas and services risers (sizes, locations, and routes) to be confirmed by Mechanical Engineer.
  3. Changes to the envelope from the consented planning scheme and are to be reviewed and confirmed by Planning Consultant.
  4. Part-M & DDA compliance (Access & wheelchair apartment layouts) to be reviewed by access consultant.
  5. Cleaning & maintenance to be reviewed (atrium, facade) by building maintenance consultant.
  6. Internal layouts are subject to design development.
- Any areas taken measured from these plans by a quantity surveyor, relate to the likely areas of the building at the current state of the design. Any decisions to be made on the basis of these predictions, whether as to project viability, pre-letting, lease agreement or the like should include due allowance for the increases and decreases inherent in the design development and building processes.

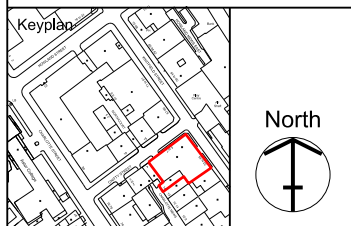
Rev	Date	Reason For Issue	Chk
01	13.03.15	Discharge of condition	
00	12.12.12	Discharge of conditions	

**make**

55-65 Whitfield Street,  
London, W1T 4HE

tel +44 (0) 20 7636 5151  
fax +44 (0) 20 7636 5252  
info@makearchitects.com  
www.makearchitects.com

Client  
**Derwent London**  
(West London and Suburban  
Property Investments Ltd.)



Project  
**65 Whitfield Street**

Drawing Title  
**65 Whitfield Street  
Level 06 Roof Plan**

Scale	Paper Size	Date
1: 100	@A1	12.12.12
Project No.	Draw No.	Rev No.
0825	P5506	01

65 Wfs - Level 06 Roof Plan

1:100

