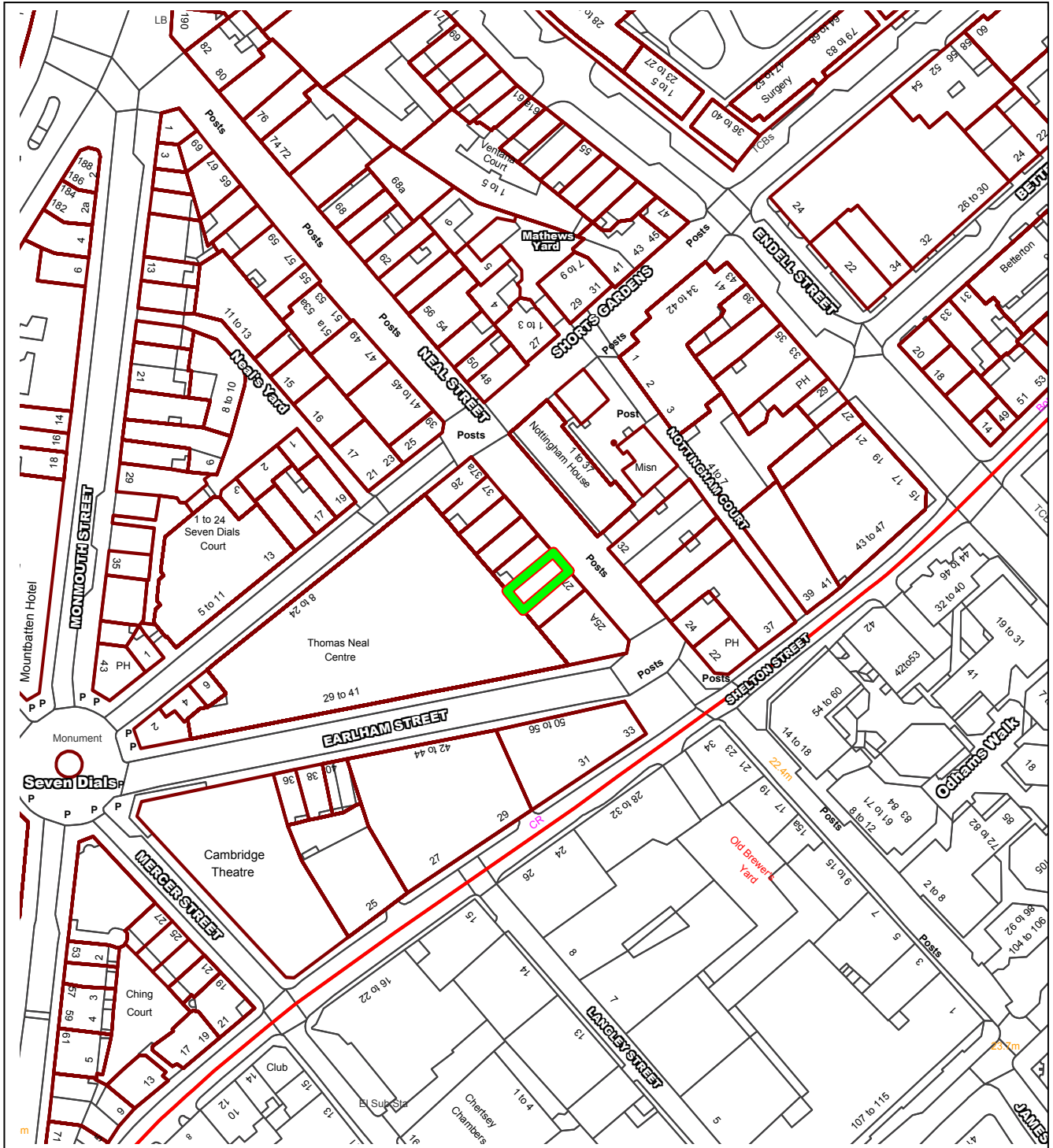


2015/0508/P and 2015/0865/L
29 Neal Street





Front elevation of subject property, also showing relationship with 27 and 31 Neal Street



Above: Front elevation

Below: Image taken from ground floor, towards mezzanine (proposed to be removed)



Delegated Report		Analysis sheet		Expiry Date:		21/04/2015	
(Members Briefing)		N/A		Consultation Expiry Date:		24/03/2015	
Officer				Application Number(s)			
Simon Vivers				1. 2015/0508/P 2. 2015/0865/L			
Application Address				Drawing Numbers			
29 Neal Street London WC2H 9PR				Refer to Draft Decision Notices			
PO 3/4		Area Team Signature		C&UD		Authorised Officer Signature	
Proposal(s)							
<ol style="list-style-type: none"> 1. Replacement of existing shopfront with new timber shopfront with glazing and lead finishing 2. Relocation of existing internal stairs, removal of existing mezzanine floor and minor internal walls at basement level with associated internal refurbishment works and replacement of existing shopfront with new timber shopfront with glazing and lead finishing 							
Recommendation(s):		<ol style="list-style-type: none"> 1. Grant Planning Permission 2. Grant Listed Building Consent 					
Application Type:		<ol style="list-style-type: none"> 1. Full Planning Permission 2. Listed Building Consent 					
Conditions or Reasons for Refusal:		Refer to Draft Decision Notices					
Informatives:							
Consultations							
Adjoining Occupiers:		No. notified	70	No. of responses No. Electronic	00 00	No. of objections	00
Summary of consultation responses:		No individual objections were received.					
CAAC/Local groups comments:		<p>Bloomsbury Conservation Area Advisory Committee provided the following comment:</p> <p><i>"The removal of the glazing bars would be a loss of character for this listed building."</i></p> <p>Officers Response: The proposed design has been amended, and now includes a transom across the façade. The glazing bars configuration is not original and is itself replacement of a previous illegal replacement. The transom configuration makes up for the loss of the glazing bar pattern. For further comments, please see sections 2 and 3 of this</p>					

report.

Covent Garden Community Association provided the following objection:

“The CGCA objects to the proposed shopfront, as the design is too modern and “sleek” (as the applicant describes it) and is not in keeping with the historic nature and character of the building, Neal Street or the conservation area. The applicant should be required to propose a more traditional shopfront, as required in the Seven Dials Renaissance Study, which Camden adopted for planning purposes. The study specifically references the shopfront of 29 Neal Street. (See p. 34-38 & p. 61.) The CGCA does not object to the internal alterations.”

Officers Response:

The proposed design has been amended, and is considered to adequately respond to the comment and objection raised. For further comments, please see sections 2 and 3 of this report.

Site Description

The application site lies at 29 Neal Street in Covent Garden, and is within the Severn Dials Conservation Area. The building is Grade II listed and making a positive contribution to the Conservation Area. The application relates to the ground floor and basement. The upper floors of the building are in residential use.

Relevant History

There are no historical applications relevant to the subject application.

Relevant policies

NPPF

The London Plan March 2015, consolidated with alterations since 2011

LDF Core Strategy and Development Policies

CS5 Managing the impact of growth and development
CS14 Promoting high quality places and conserving our heritage

DP24 Securing high quality design
DP25 Conserving Camden’s heritage

Supplementary Planning Policies

Camden Planning Guidance

CPG1 Design 2013

Severn Dials Conservation Area Statement

Assessment

1. Proposal

1.1 Planning permission is sought for the following:

- a) Internal alterations, involving the removal of a mezzanine situated between the basement and ground floor (also requiring amendment to stairs between the two) and minor associated alterations to walls; and

b) Replacement of the existing shop front.

2. Revisions

2.1 The replacement shop front has been amended in response to the objections received in response to notification of the application and advice from Councils Heritage and Conservation Officer. The change introduced a transom light across the main window, which is in line with CPG1, and with the Seven Dials Renaissance Study (as requested by the CGCA).

3. Assessment

3.1 The principle consideration material to the determination of this application is the impact of the proposal on the appearance of the building and on the character and appearance of the conservation area. The minor nature of the development is not considered to introduce any unreasonable impacts which would affect the amenity of adjoining or nearby properties.

3.2 Core Strategy Policy CS14 (Promoting High Quality places and Conserving Our Heritage) and Development Plan Policy DP30 (Shopfronts) are applicable in assessment of the application. Specific design guidance for shopfronts is provided through CPG1, Part 7 (Shopfronts).

3.3 The proposed shopfront is considered to be of an acceptable design, and be complimentary to the host building, the streetscene of Neal Street and the character of the Seven Dials Conservation Area for the following reasons:

- a) The materials used would be traditional (timber and glass), and would not introduce contemporary materials;
- b) The design details are consistent and cohesive, particularly between the door and shopfront;
- c) The shopfront is of acceptable proportions; and
- d) The design has been revised in accordance with the advice of one of Council's Design and Conservation Officers, to provide a transom at the upper level, breaking up the original single pane design (thus further improving the design and CPG1 and Seven Dials Renaissance Study compliance).

3.4 The internal changes are not considered to have a negative impact on the host building. As shown in the supporting images, the current non-original layout of a basement, mezzanine and ground floor is considered to cause constraint within the property. The removal of the (non-original) mezzanine and minor associated alterations are therefore considered to improve the building.

3.5 Following the revisions, the proposal is not considered to harm the special interest of the listed building and preserves the character and appearance of the Conservation Area.

4. Recommendation

4.1 Grant Planning Permission.

4.2 Grant Listed Building Consent.

DISCLAIMER

Decision route to be decided by nominated members on 13th April 2015. For further information please go to www.camden.gov.uk and search for 'members briefing'

Mr Rupert Litherland
Rolfe Judd Planning
Old Church Court
Claylands Road
London
SW8 1NZ

Application Ref: **2015/0508/P**
Please ask for: **Simon Vivers**
Telephone: 020 7974 **4206**

8 April 2015

DRAFT

Dear Sir/Madam

DECISION

Town and Country Planning Act 1990 (as amended)

Full Planning Permission Granted

Address:
29 Neal Street
London
WC2H 9PR

DECISION

Proposal: Replacement of existing shopfront with new timber shopfront with glazing and lead finishing.

Drawing Nos: 22489-E01, 22489-E02, 22489-PO1 Rev A, 22489-PO2 Rev A, 22489-PO3 Rev A, 22489-PO4, Design and Access Statement (prepared by Rolfe Judd Planning), Cover Letter and Heritage Statement (prepared by Rolfe Judd Planning)

The Council has considered your application and decided to grant permission subject to the following condition(s):

Condition(s) and Reason(s):

- 1 The development hereby permitted must be begun not later than the end of three years from the date of this permission.

Reason: In order to comply with the provisions of Section 91 of the Town and Country Planning Act 1990 (as amended).



- 2 All new external work shall be carried out in materials that resemble, as closely as possible, in colour and texture those of the existing building, unless otherwise specified in the approved application.

Reason: To safeguard the appearance of the premises and the character of the immediate area in accordance with the requirements of policy CS14 of the London Borough of Camden Local Development Framework Core Strategy and policies DP24 and DP25 of the London Borough of Camden Local Development Framework Development Policies.

- 3 The development hereby permitted shall be carried out in accordance with the following approved plans and documents: 22489-E01, 22489-E02, 22489-PO1 Rev A, 22489-PO2 Rev A, 22489-PO3 Rev A, 22489-PO4, Design and Access Statement (prepared by Rolfe Judd Planning), Cover Letter and Heritage Statement (prepared by Rolfe Judd Planning).

Reason: For the avoidance of doubt and in the interest of proper planning.

Informative(s):

- 1 Your proposals may be subject to control under the Building Regulations and/or the London Buildings Acts which cover aspects including fire and emergency escape, access and facilities for people with disabilities and sound insulation between dwellings. You are advised to consult the Council's Building Control Service, Camden Town Hall, Argyle Street WC1H 8EQ, (tel: 020-7974 6941).
- 2 Noise from demolition and construction works is subject to control under the Control of Pollution Act 1974. You must carry out any building works that can be heard at the boundary of the site only between 08.00 and 18.00 hours Monday to Friday and 08.00 to 13.00 on Saturday and not at all on Sundays and Public Holidays. You are advised to consult the Council's Compliance and Enforcement team [Regulatory Services], Camden Town Hall, Argyle Street, WC1H 8EQ (Tel. No. 020 7974 4444 or on the website <http://www.camden.gov.uk/ccm/content/contacts/council-contacts/environment/contact-the-environmental-health-team.en> or seek prior approval under Section 61 of the Act if you anticipate any difficulty in carrying out construction other than within the hours stated above.

In dealing with the application, the Council has sought to work with the applicant in a positive and proactive way in accordance with paragraphs 186 and 187 of the National Planning Policy Framework.

You can find advice about your rights of appeal at:

<http://www.planningportal.gov.uk/planning/appeals/guidance/guidancecontent>

Yours faithfully

Director of Culture & Environment

Rolf Judd Planning
Old Church Court
Claylands Road
London
SW8 1NZApplication Ref: **2015/0865/L**
Please ask for: **Simon Vivers**
Telephone: 020 7974 4206

8 April 2015

DRAFT

Dear Sir/Madam

DECISION

Planning (Listed Building and Conservation Areas) Act 1990

Listed Building Consent GrantedAddress:
**29 Neal Street
London
WC2H 9PR****DECISION**

Proposal: Relocation of existing internal stairs, removal of existing mezzanine floor and minor internal walls at basement level with associated internal refurbishment works and replacement of existing shopfront with new timber shopfront with glazing and lead finishing

Drawing Nos: 22489-E01, 22489-E02, 22489-PO1 Rev A, 22489-PO2 Rev A, 22489-PO3 Rev A, 22489-PO4, Design and Access Statement (prepared by Rolf Judd Planning), Cover Letter and Heritage Statement (prepared by Rolf Judd Planning)

The Council has considered your application and decided to grant subject to the following condition(s):

Conditions And Reasons:

- 1 The works hereby permitted shall be begun not later than the end of three years from the date of this consent.

Reason: In order to comply with the provisions of Section 18 of the Planning (Listed Buildings and Conservation Areas) Act 1990.



- 2 All new external work shall be carried out in materials that resemble, as closely as possible, in colour and texture those of the existing building, unless otherwise specified in the approved application.

Reason: To safeguard the appearance of the premises and the character of the immediate area in accordance with the requirements of policy CS14 of the London Borough of Camden Local Development Framework Core Strategy and policies DP24 and DP25 of the London Borough of Camden Local Development Framework Development Policies.

- 3 The works hereby approved are only those specifically indicated on the drawings referred to above.

Reason: In order to safeguard the special architectural and historic interest of the building in accordance with the requirements of policy CS14 of the London Borough of Camden Local Development Framework Core Strategy and policy DP25 of the London Borough of Camden Local Development Framework Development Policies.

You can find advice about your rights of appeal at:

<http://www.planningportal.gov.uk/planning/appeals/guidance/guidancecontent>

Yours faithfully

Director of Culture & Environment

DECISION