

Loft Conversion

Flat D - 45 Frognal, Hampstead, London NW3 6YA



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Applicant:

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Submission Date:

September 2014

Agent:

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Planning Authority:

London Borough of Camden

Note: The drawings in this document
are NOT to scale.

1.0 Introduction

1.1 Design & Access Statement

The purpose of this Design & Access Statement is to give details of the proposed development at Flat D - 45 Frognal, Hampstead, London NW3 6YA, located in the London Borough of Camden, the existing property is within walking distance of many local amenities in both Hampstead Village and Finchley Road. Towards the north, Hampstead Heath is again a short walk away and the existing building is close to both bus and tube public transport services.

This statement will give details on the design development rationale of the proposed, along with the positive contributions it will make to the area. The building sits within the conservation area, however it is not a listed building.

Main areas of work proposed:

The proposals seek permission to fully modernise the existing internal fabric and services of the current entrance level of the top floor flat and to make use of an existing attic space set within the mansard roof in order to provide a new bedroom and ensuite bathroom. In order to access the top floor flat without having to climb the stairs, a new lift is proposed.

New Lift and Lift Shaft (highlighted in purple in the design drawings)

The design incorporates a new external lift shaft which allows direct access to the top floor flat. The lift proposed is a 4 person lift with dimensions of 1350mm x 1395mm, which is modest in size and will enable the new structure to be added to the rear of the existing stair core without being visually intrusive from the main road.

Accommodation to be provided internally

The flat is to be remodelled to provide the following accommodation:

- 3 double bedrooms, one of which will be provided within the converted attic space incorporating a new dormer window and small external balcony
- an external terrace space at flat entrance level
- an open plan living, kitchen and dining area
- extra storage
- an extra bathroom

Impact on the existing building

The proposals are designed to be of minimal visual impact on the existing building and the majority of the main exterior alterations and additions are proposed on the rear of the existing building or in positions where it will not be possible to view them.

In conclusion, the proposed alterations and renovations will provide a fully modernised family apartment with little or no visual impact on the existing building and no loss of amenity to neighbouring buildings and will both enhance and preserve the character of the Conservation Area.

1.2 Crawford Partnership

Founded 19 years ago by Alan Crawford, the Crawford Partnership is a north London based architectural practice involved extensively with renovation and refurbishment of listed buildings and buildings set within conservation areas throughout London.

The practice has been featured in numerous publications and an increasing number of projects have achieved design recognition

Including:

- 'Best New Dwellings' in 2005 for a residential project in the London Borough of Camden.
- 'Best New Home' in 2012 for a residential project in the London Borough of Haringey Design Awards
- 'People's Choice Award' in 2013 for a residential project in the London Borough of Camden Design Awards

In 2009, Wallpaper* Magazine rated Crawford Partnership as one of the top 101 most exciting new architectural practices in the world.

2.0 Site & Context

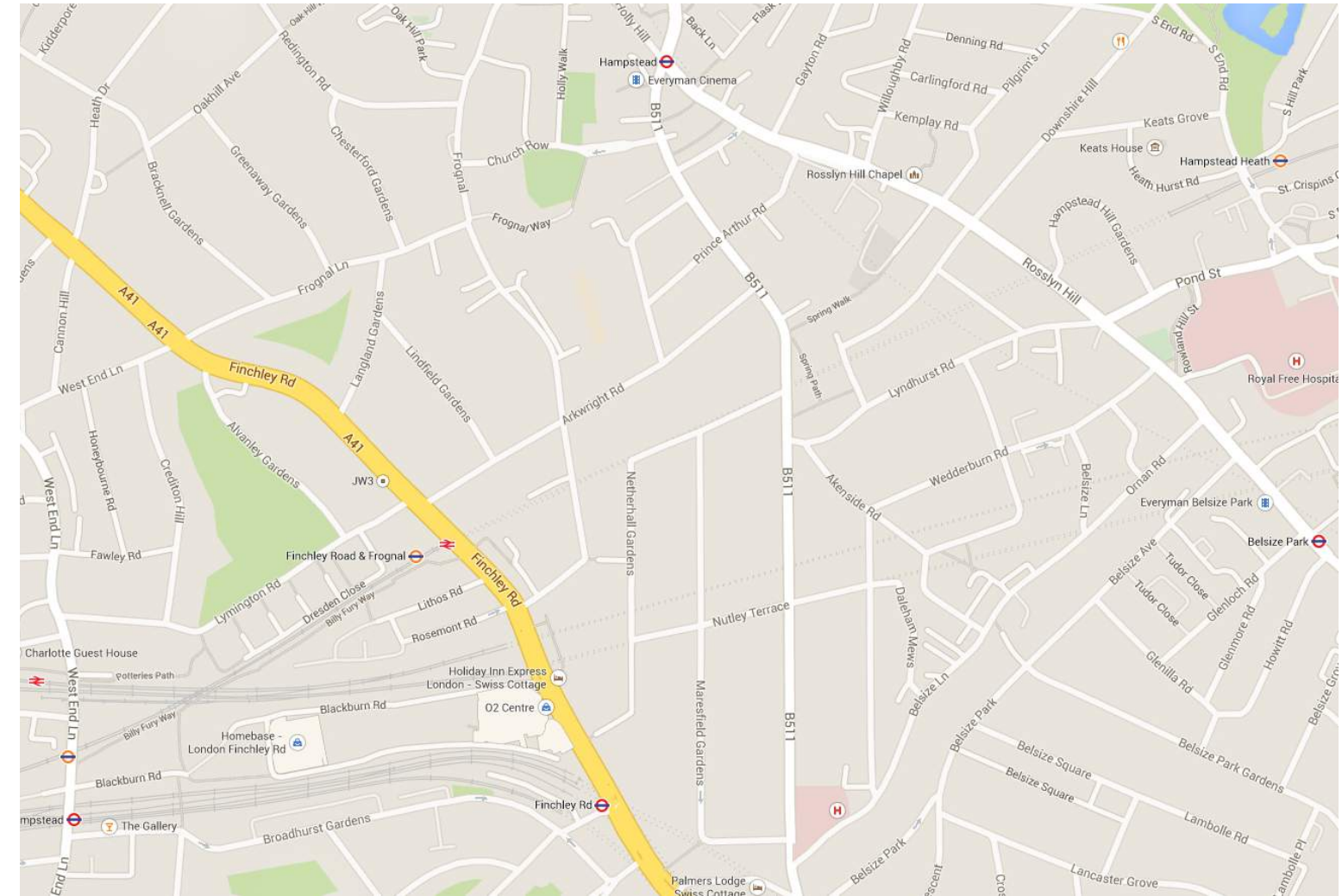
2.1 Location

Located in the London Borough of Camden, the existing property is within walking distance of many local amenities in both Hampstead Village and Finchley Road. Towards the north, Hampstead Heath is again a short walk.



2.2 Transport

The existing building is close to both bus and tube public transport services.





2.4 Bird's Eye Views



North West - Bird's eye view of the site, showing extent of site boundaries in red.



North East - Bird's eye view of the site, showing extent of site boundaries in red.



South West - Bird's eye view of the site, showing extent of site boundaries in red.



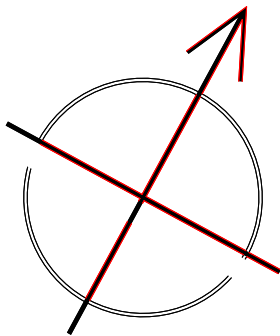
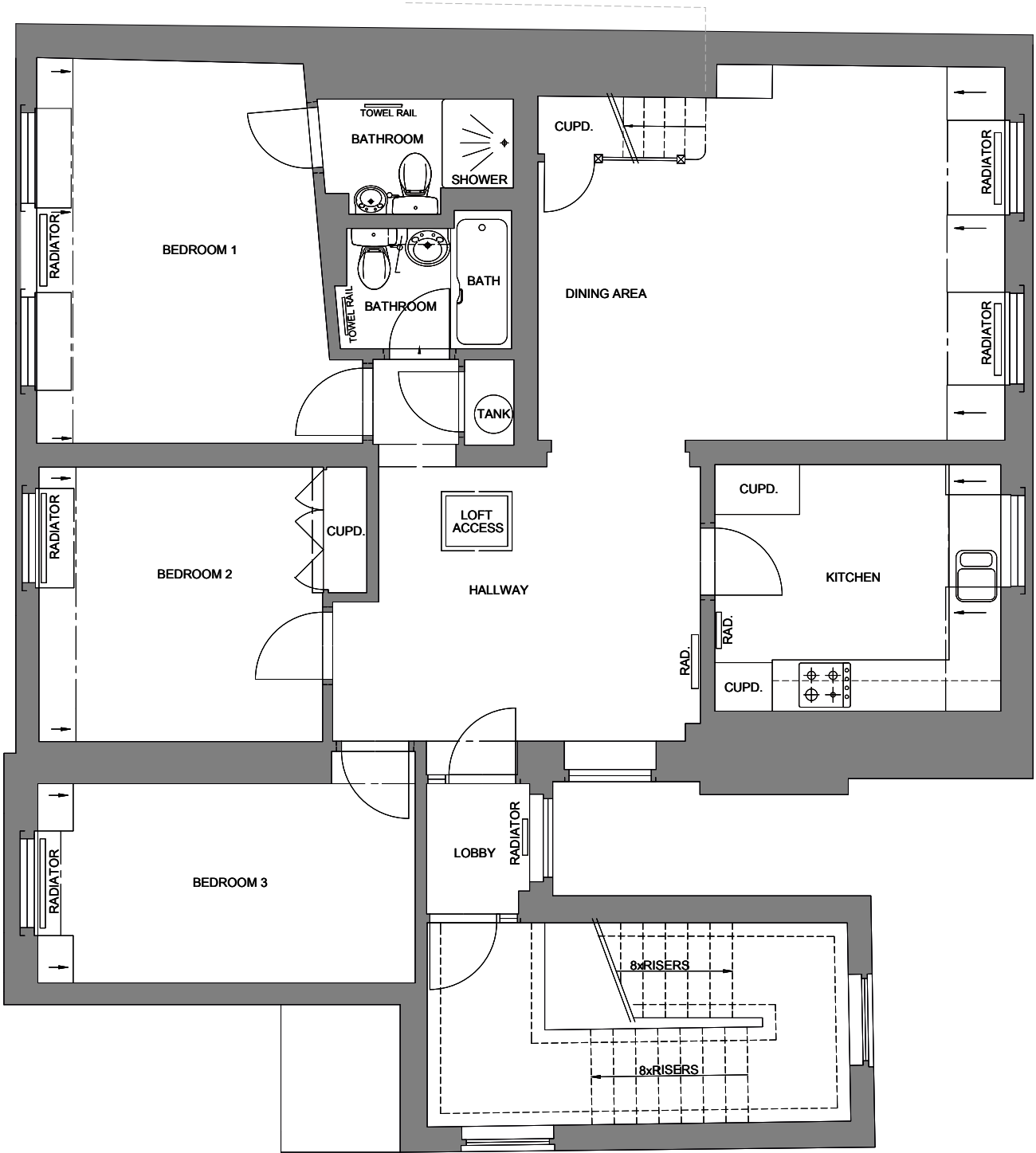
South East - Bird's eye view of the site, showing extent of site boundaries in red.

2.5 Site Photographs

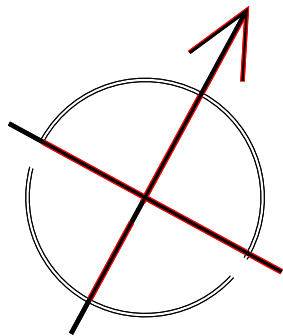
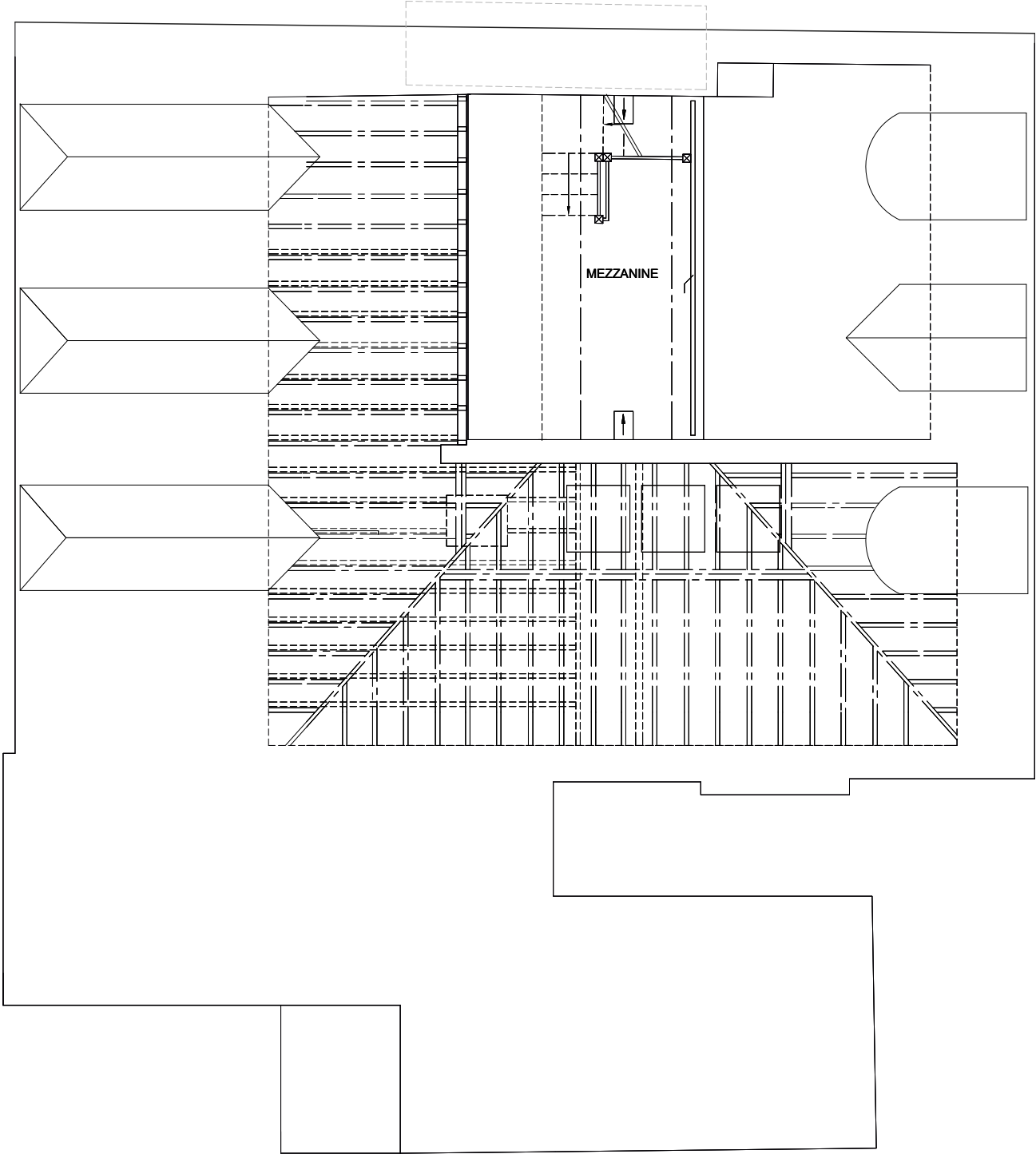


3.0 Existing Drawings

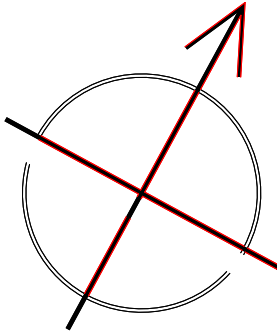
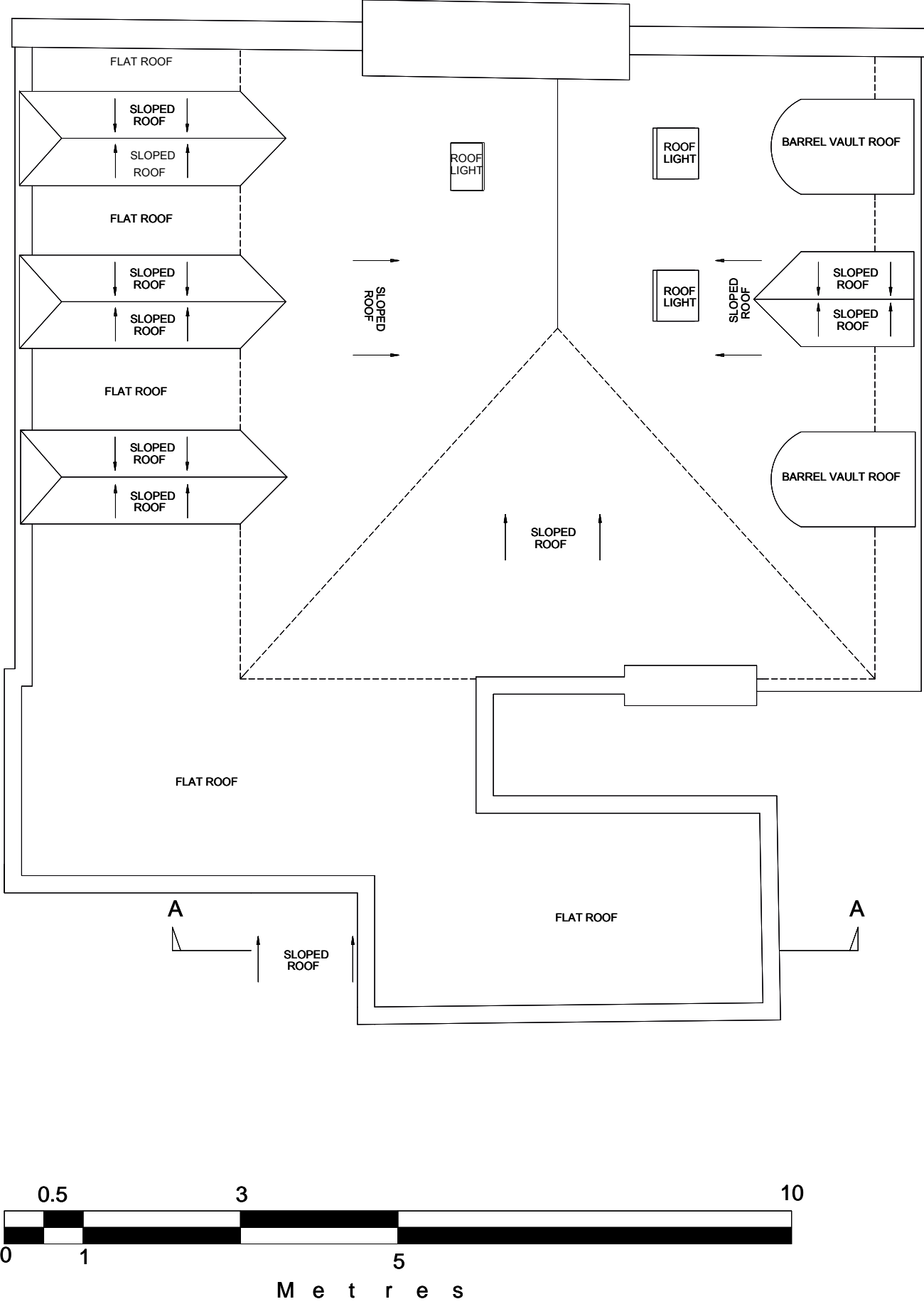
Second Floor Plan



Existing Attic Plan



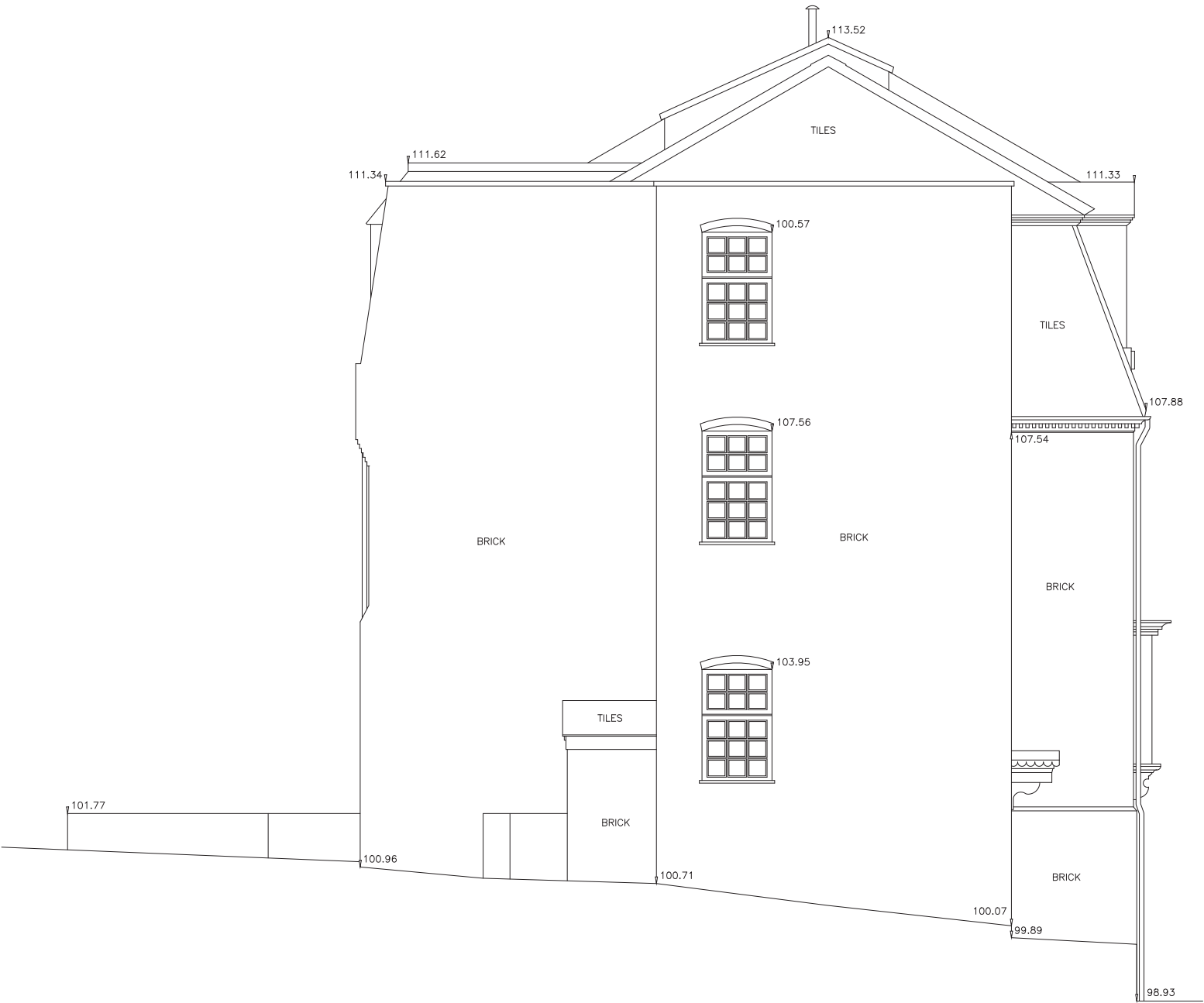
Existing Roof Plan



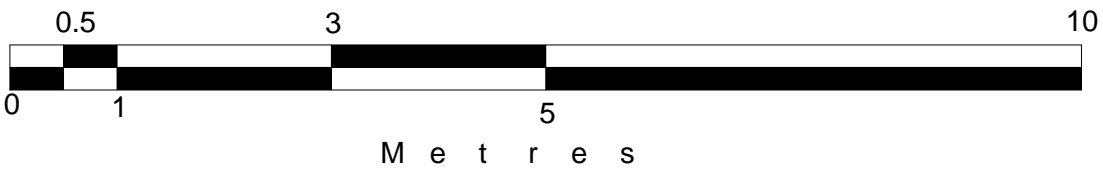
Existing North East Elevation & South East Elevation



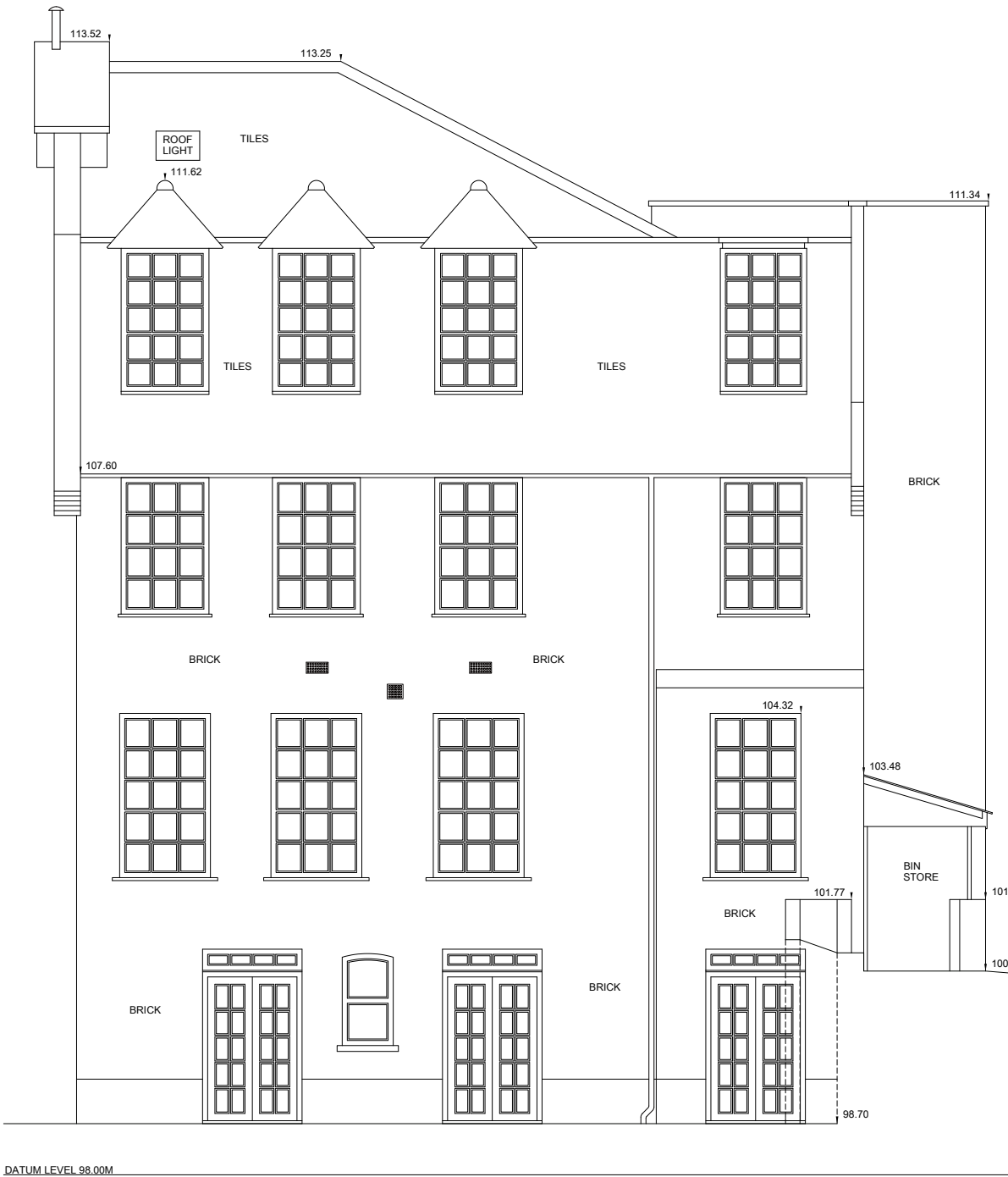
North East Elevation



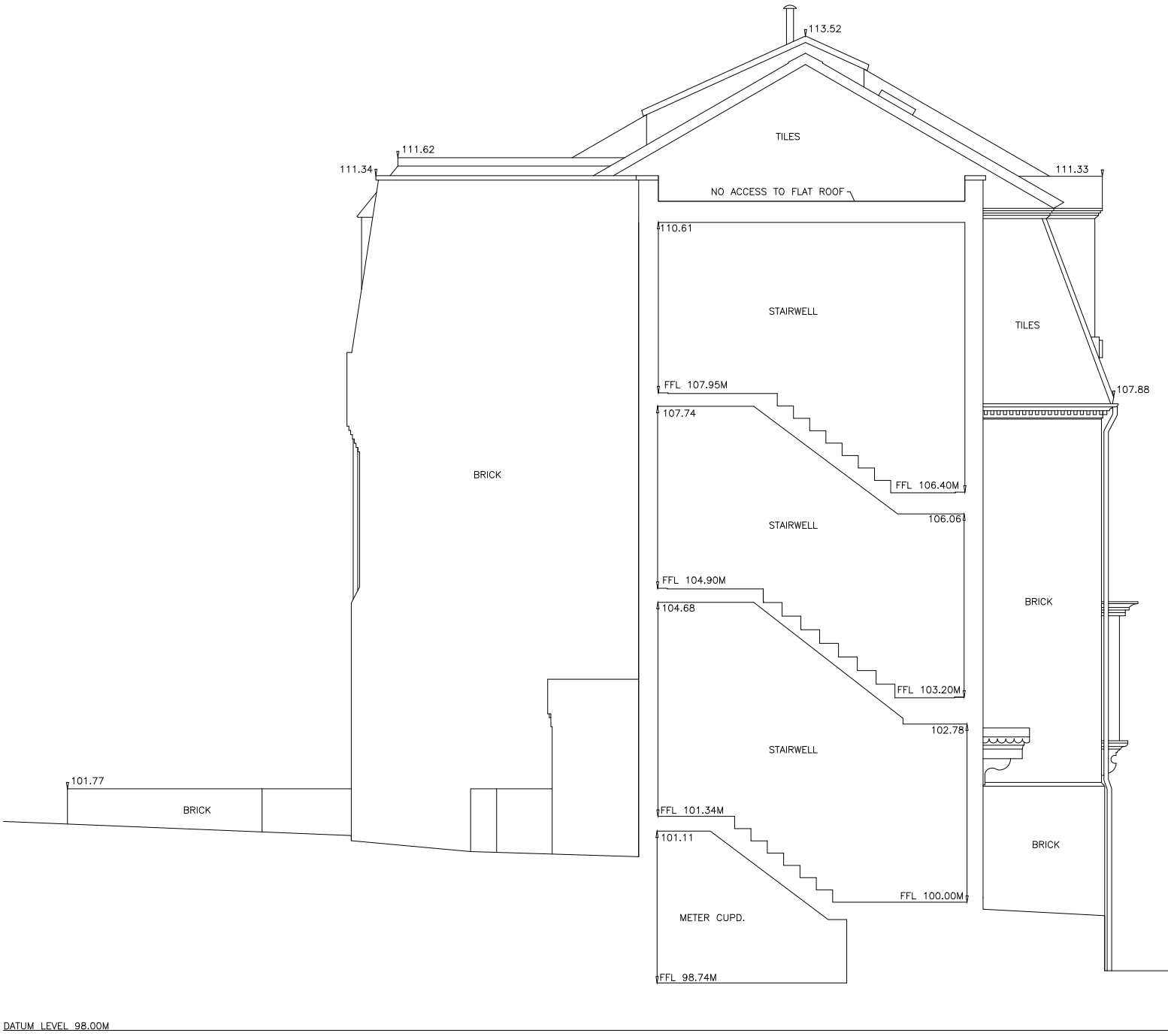
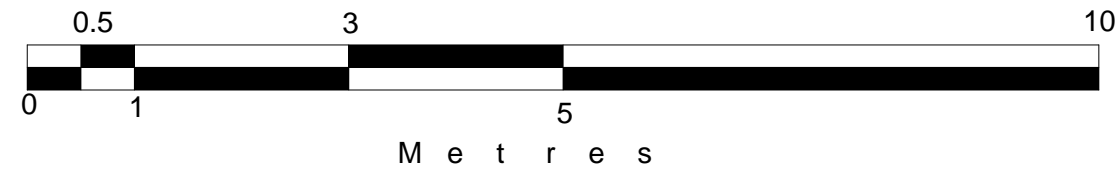
South East Elevation



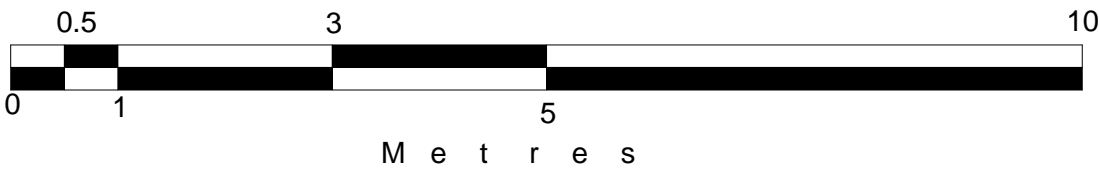
Existing South West Elevation & Section A-A



South West Elevation

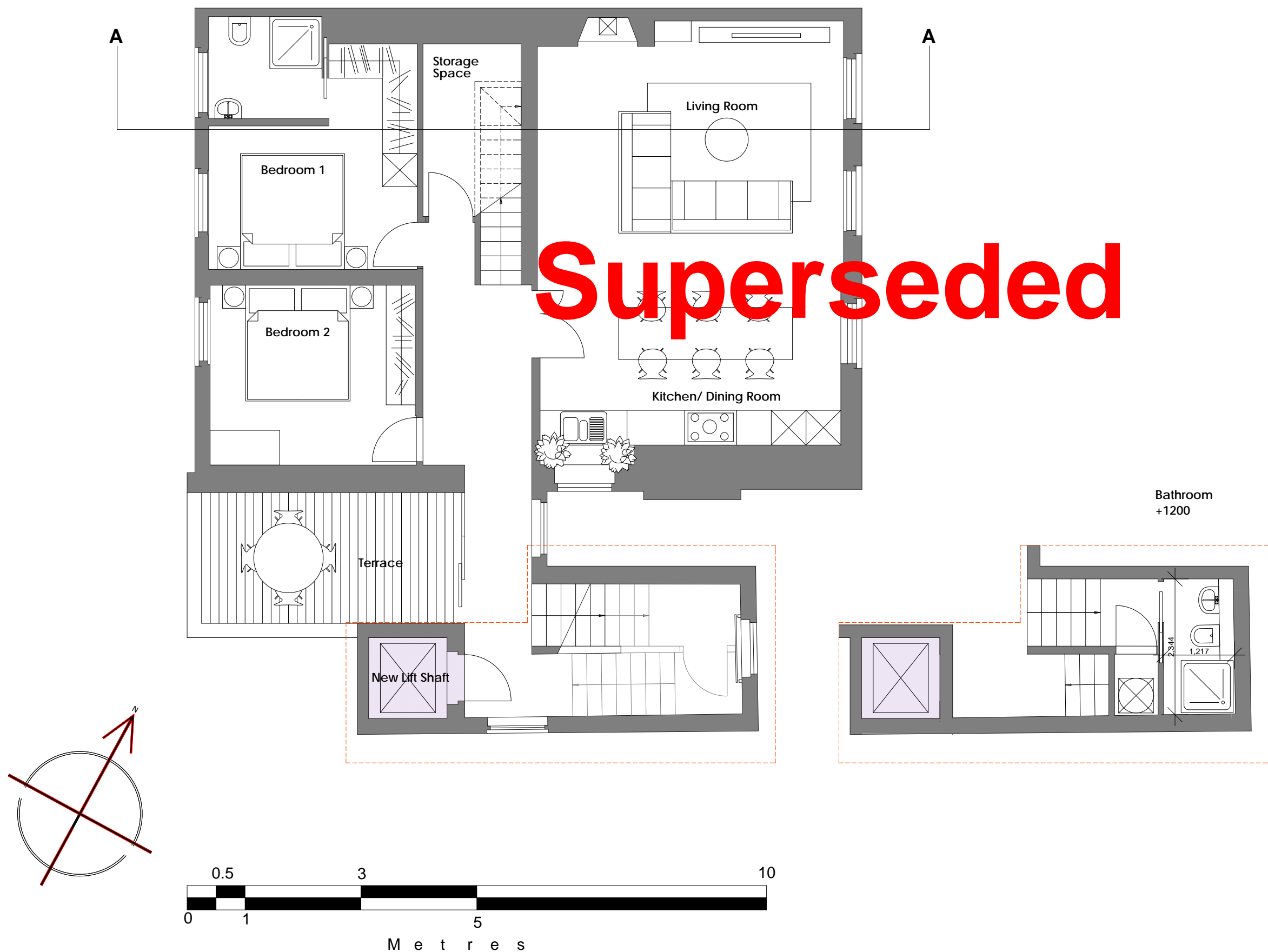


Section A-A

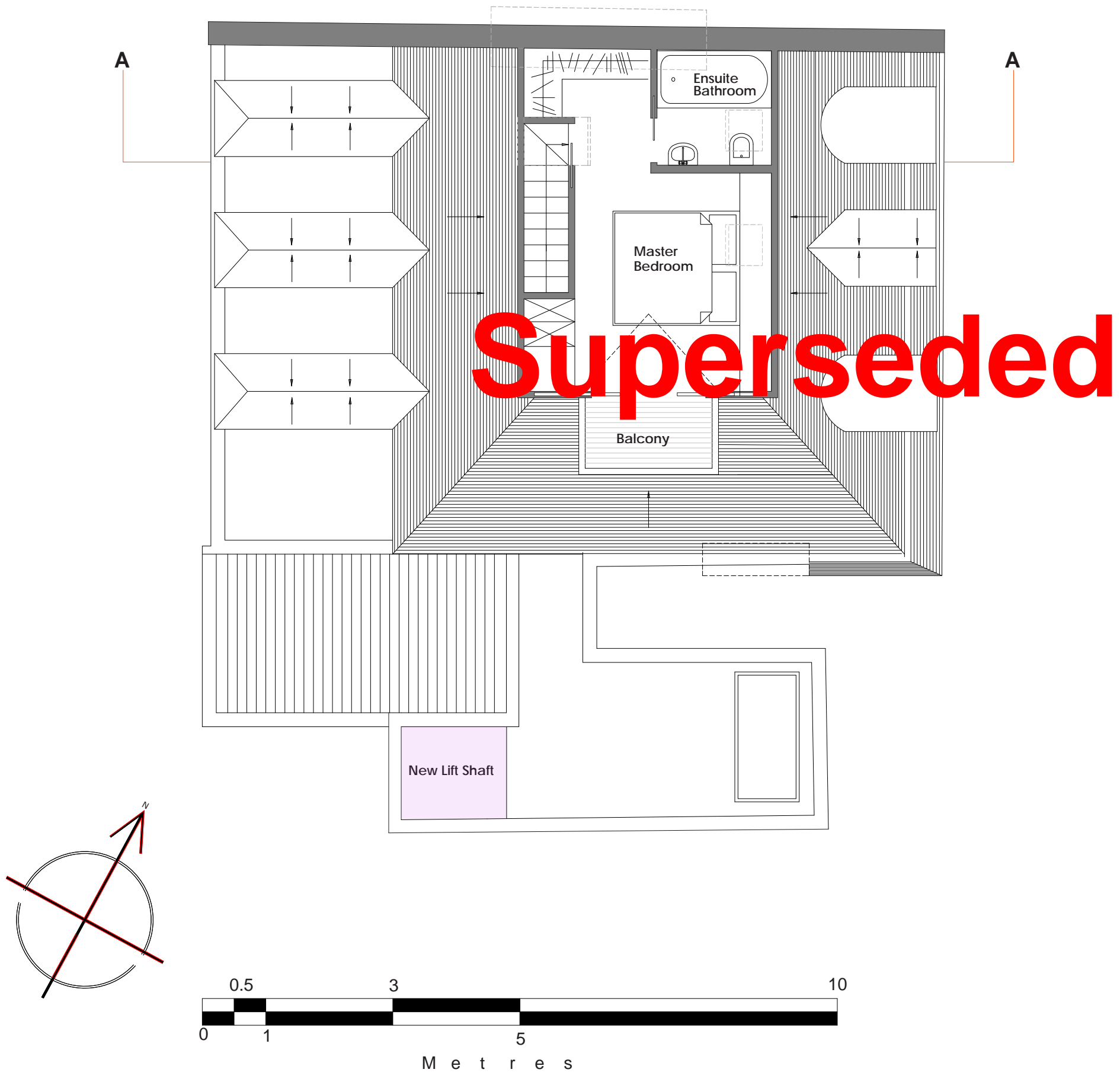


4.0 Proposed Drawings

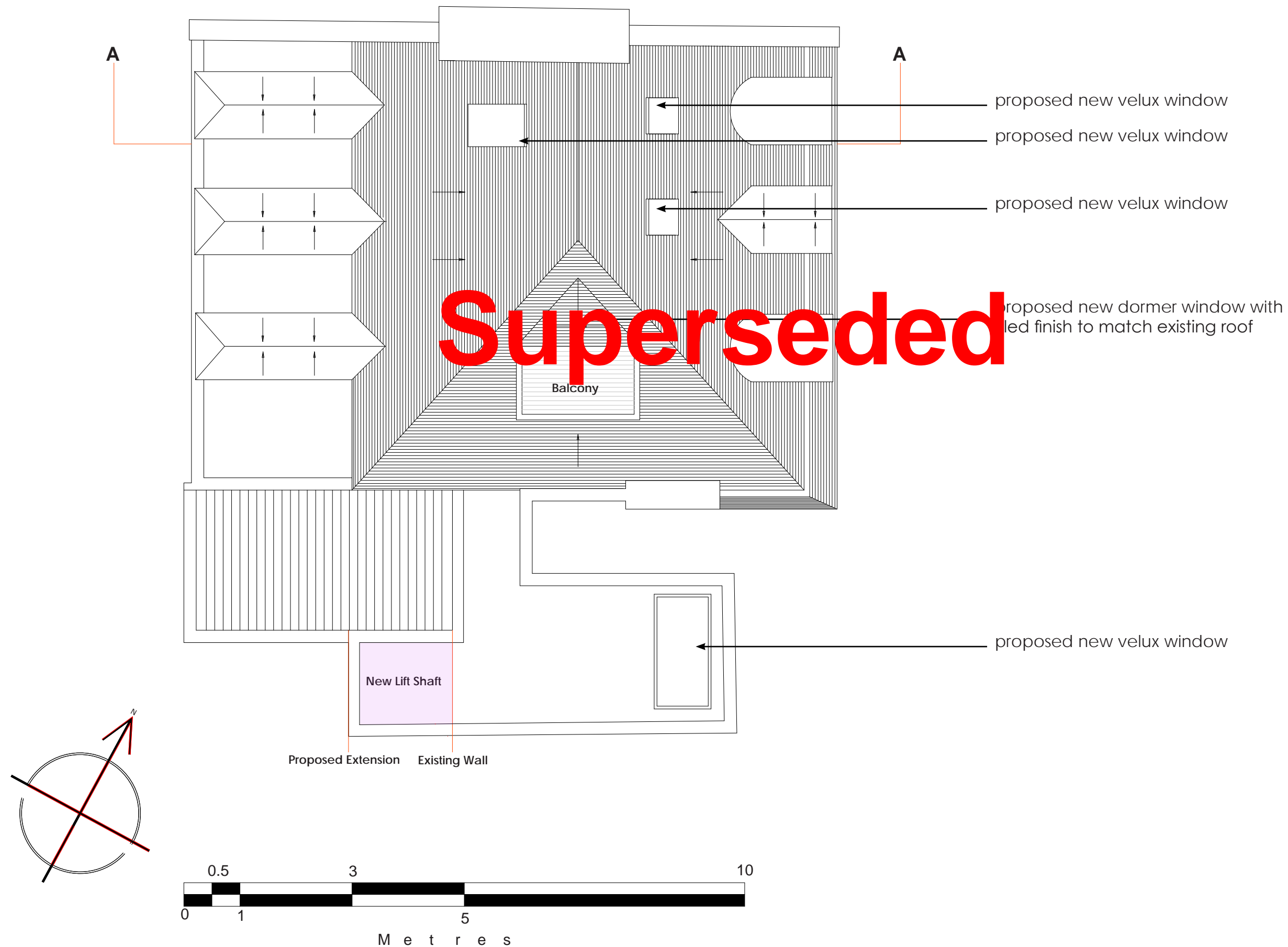
Second Floor Plan



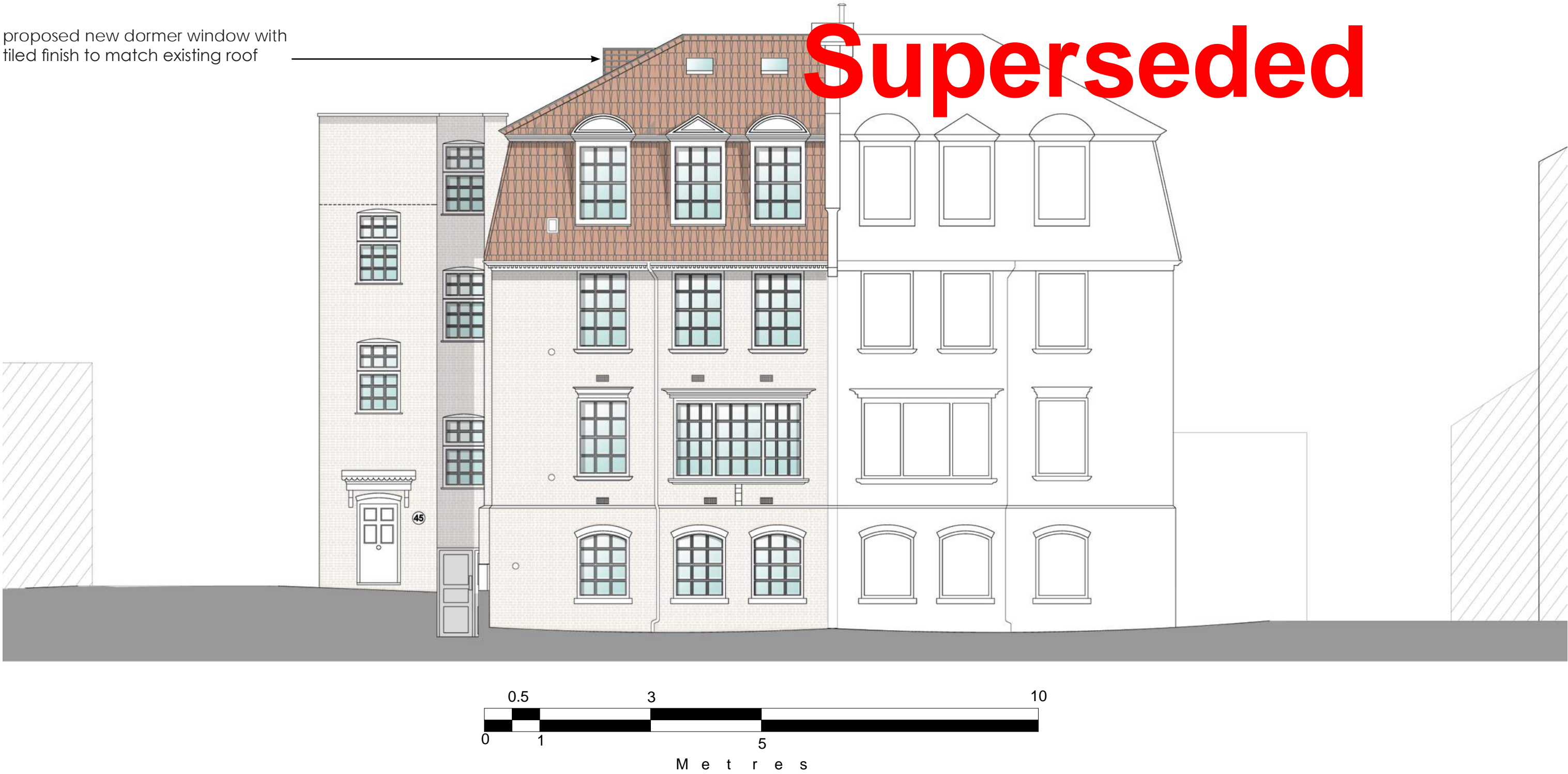
Attic Plan



Roof Plan



North East Elevation

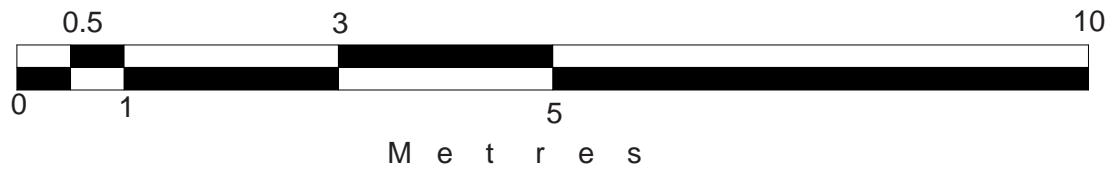


South East Elevation

proposed new dormer window with
tiled finish to match existing roof

New Lift Shaft built in brick to match
existing external walls

Superseded



South West Elevation



Crawford Partnership Projects

Loft Conversions





05

New Dwellings
Winner

Crown Place, NW5

Builder:
Architect:
Owner:
Nominator:

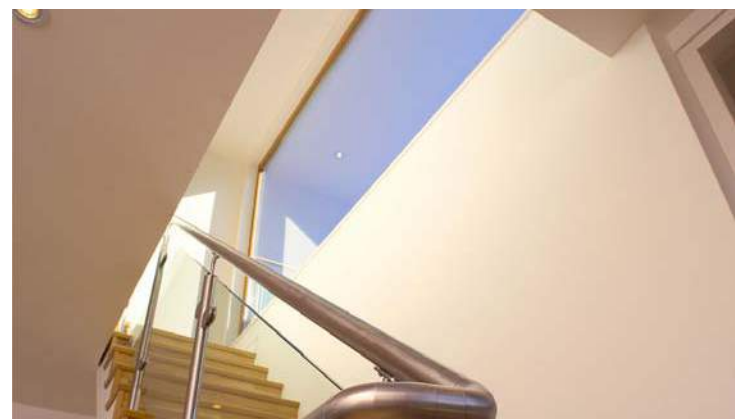
Mark It Build Ltd
The Crawford Partnership
Forest Walk Developments Ltd
Adam Thompson



The demolition of garages and the erection of a three-storey terraces, comprising four town houses each with integral garage space and roof terrace.

These new mews houses have been tastefully designed and built within a confined space. Design and construction techniques have been used to maximise space and light. The open plan houses are spacious and bright. The houses have been designed and constructed with families in mind. Durable quality materials have been used throughout to create modern family homes.

Paul Finch, who presented the award as head of the Haringey Design Panel complemented the house for 'creating something from nothing, and in doing so providing a family home within a unique and challenging site that despite being only occupied for a short time, already felt like a home'.





'Last night, one of our recently completed new build 'signature' houses, aptly named The Light House, won the top accolade in The Haringey Design Awards 2012 'Best Home' category. Leading design critic and architectural journalist, Paul Finch, who presented the award as head of the Haringey Design Panel complemented the house for 'creating something from nothing, and in doing so providing a family home within a unique and challenging site that despite being only occupied for a short time, already felt like a home'. Congratulations are in order to the whole design and construction team, and in particular Alex Pickard from Crawford Partnership, who was project Architect and coordinated construction of the works on site. Special thanks also to our clients, Miki and Miriam, for their motivation and belief throughout that we could transform the derelict garages into a much loved family home.'

- Alan Crawford, July 2012

Our award winning designs are driven by a clear and concise philosophy that is concerned with maximising opportunities to create interesting spaces and forms, that combine dramatic use of space, materials and light and address issues of sustainability and energy efficiency.

We have an established and growing reputation in creating unique designs for new houses on difficult Brownfield and urban infill sites in London. By weaving new dwellings within the existing urban fabric, adding amenity and substance that helps regenerate derelict and run down land or buildings, we can provide much needed new homes that enhance the lives of our clients.

Our work in Haringey is established, and In 2012, Crawford Partnership received an award of 'Best Home' in the Haringey Design Awards, and in April 2013, were successful in gaining planning consent for 4 new build contemporary style homes on a similar derelict lock up garage site.





Crawford Partnership has just won the acclaimed Camden Design Awards 2013: People's Choice Award. The site is a typical backlands space leftover between the rear gardens of terraced houses and was formerly used as a builder's yard. Accessed from the main road, a gated undercroft leads to the 10 wide parcel of derelict land, which was enclosed on all 4 sides by existing residential properties.

This client wanted to redevelop this urban 'brownfield' site for residential use with a small 'Mews' of terraced houses, similar in style to an earlier development completed by us at Crown Place Mews in Kentish Town.

Our designs provide a discreet and compact terrace of 3 storey houses within the new Mews environment with individual houses configured to maintain the amenity and privacy of neighbouring dwellings.

Each house is designed internally to create a bright and open plan feel, belying the compact space occupied and this is reinforced by the introduction of white walls and natural wood floors to maximise the light available.



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interior design

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