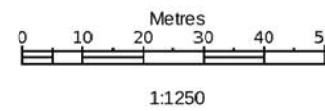




Produced 08 Feb 2015 from the Ordnance Survey National Geographic Database and incorporating surveyed revision available at this date. Reproduction in whole or part is prohibited without the prior permission of Ordnance Survey. © Crown Copyright 2015.



97, Belsize Ln, London  
NW3 5AU

Ordnance Survey and the OS Symbol are registered trademarks of Ordnance Survey, the national mapping agency of Great Britain.

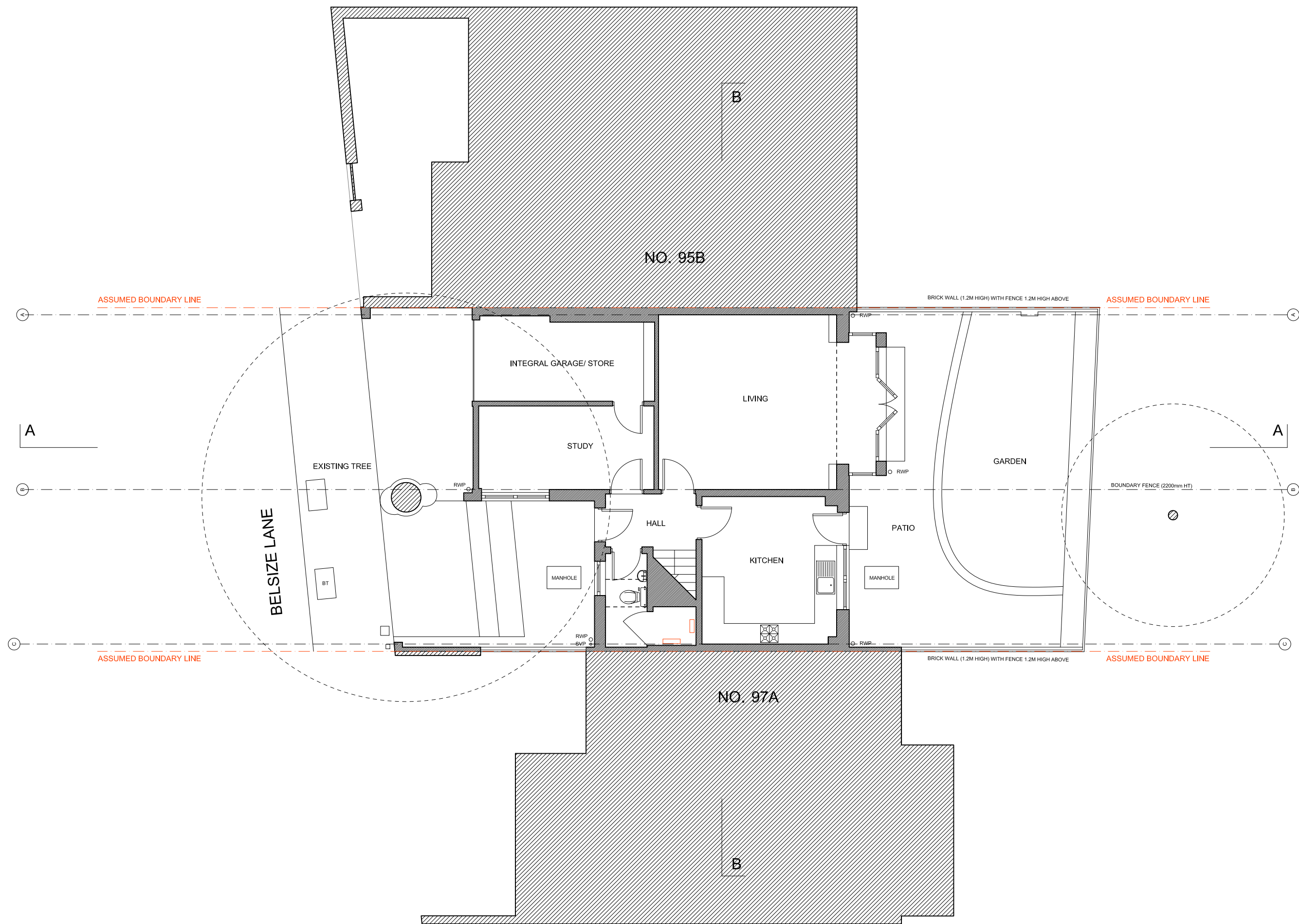
The representation of a road, track or path is no evidence of a right of way. The representation of features as lines is no evidence of a property boundary.

Supplied by: **Stanfords 08 Feb 2015**  
Stanfords Ordnance Survey Partner  
Licence: 100035409  
Order Licence Reference: O1814578  
Centre coordinates: 526646 184622

<b>REVISIONS</b> <small>REV DATE    AMENDMENT</small>	<b>REVISIONS</b> <small>REV DATE    AMENDMENT</small>	<b>KEY PLAN</b>	<b>SCALE BAR (METRES)</b>  <b>NOTES AND CLARIFICATIONS</b> <small>PLEASE READ DRAWING IN ACCORDANCE WITH CROSS-REFERENCED SPECIFICATION / SCOPE OF WORKS.          ©STAGG ARCHITECTS LIMITED, NO IMPLIED LICENCE EXISTS.          THIS DRAWING SHOULD NOT BE USED TO CALCULATE AREAS FOR THE PURPOSES OF VALUATION.          SUBJECT TO PLANNING PERMISSION, BUILDING REGULATIONS, STATUTORY UNDERTAKER SEARCHES AND DESIGN DEVELOPMENT.          DO NOT SCALE DRAWINGS. DIMENSIONS GOVERN. ALL DIMENSIONS TO BE VERIFIED ON SITE BY CONTRACTOR BEFORE PROCEEDING.          ARCHITECT SHALL BE NOTIFIED IN WRITING OF ANY DISCREPANCIES.</small>		<small>3rd FLOOR, 44-46 NEW INN YARD, LONDON EC2A 3EY          ben@staggarchitects.co.uk          www.staggarchitects.co.uk</small>	<b>DRAWING TITLE</b> <b>SITE LOCATION PLAN</b>  <table border="1"> <tr> <td><b>DATE</b> 25.02.15</td> <td><b>DRAWN</b> GS/BS</td> <td><b>A3 SCALE</b> 1:1250</td> </tr> <tr> <td colspan="2"><b>STATUS</b> PLANNING</td> <td><b>DRAWING NO</b> 51420-P01</td> </tr> <tr> <td colspan="2"></td> <td><b>REV</b> -</td> </tr> </table>	<b>DATE</b> 25.02.15	<b>DRAWN</b> GS/BS	<b>A3 SCALE</b> 1:1250	<b>STATUS</b> PLANNING		<b>DRAWING NO</b> 51420-P01			<b>REV</b> -
<b>DATE</b> 25.02.15	<b>DRAWN</b> GS/BS	<b>A3 SCALE</b> 1:1250													
<b>STATUS</b> PLANNING		<b>DRAWING NO</b> 51420-P01													
		<b>REV</b> -													



<p><b>REVISIONS</b></p> <table border="1"> <thead> <tr> <th>REV DATE</th> <th>AMENDMENT</th> </tr> </thead> <tbody> <tr> <td> </td> <td> </td> </tr> </tbody> </table>	REV DATE	AMENDMENT			<p><b>REVISIONS</b></p> <table border="1"> <thead> <tr> <th>REV DATE</th> <th>AMENDMENT</th> </tr> </thead> <tbody> <tr> <td> </td> <td> </td> </tr> </tbody> </table>	REV DATE	AMENDMENT			<p><b>KEY PLAN</b></p>	<p><b>SCALE BAR (METRES)</b></p> <p>1:200@A3 / 1:100@A1 0   2   4   6   8   10</p> <p><b>NOTES AND CLARIFICATIONS</b></p> <p>PLEASE READ DRAWING IN ACCORDANCE WITH CROSS-REFERENCED SPECIFICATION / SCOPE OF WORKS.          ©STAGG ARCHITECTS LIMITED, NO IMPLIED LICENCE EXISTS.          THIS DRAWING SHOULD NOT BE USED TO CALCULATE AREAS FOR THE PURPOSES OF VALUATION.          SUBJECT TO PLANNING PERMISSION, BUILDING REGULATIONS, STATUTORY UNDERTAKER SEARCHES AND DESIGN DEVELOPMENT.          DO NOT SCALE DRAWINGS. DIMENSIONS GOVERN. ALL DIMENSIONS TO BE VERIFIED ON SITE BY CONTRACTOR BEFORE PROCEEDING.          ARCHITECT SHALL BE NOTIFIED IN WRITING OF ANY DISCREPANCIES.</p>	<p><b>stagg architects</b></p> <p>3rd FLOOR, 44-46 NEW INN YARD, LONDON EC2A 3EY          ben@staggarchitects.co.uk          www.staggarchitects.co.uk</p> <p><b>CLIENT</b></p> <p>MR F BENHAMOU</p>	<p><b>PROJECT</b></p> <p>97 BELSIZE LANE          LONDON NW3 5AU</p>	<p><b>DRAWING TITLE</b></p> <p>SITE BLOCK PLAN SHOWING          PROPOSED ROOF PLAN</p> <table border="1"> <thead> <tr> <th>DATE</th> <th>DRAWN</th> <th>A1 SCALE</th> <th>A3 SCALE</th> </tr> </thead> <tbody> <tr> <td>27.03.15</td> <td>GS/BS</td> <td>1:100</td> <td>1:200</td> </tr> </tbody> </table> <table border="1"> <thead> <tr> <th>STATUS</th> <th>DRAWING NO</th> <th>REV</th> </tr> </thead> <tbody> <tr> <td>PLANNING</td> <td>51420-PA-02</td> <td>-</td> </tr> </tbody> </table>	DATE	DRAWN	A1 SCALE	A3 SCALE	27.03.15	GS/BS	1:100	1:200	STATUS	DRAWING NO	REV	PLANNING	51420-PA-02	-
REV DATE	AMENDMENT																											
REV DATE	AMENDMENT																											
DATE	DRAWN	A1 SCALE	A3 SCALE																									
27.03.15	GS/BS	1:100	1:200																									
STATUS	DRAWING NO	REV																										
PLANNING	51420-PA-02	-																										



REVISIONS	
REV DATE	AMENDMENT

REVISIONS	
REV DATE	AMENDMENT

KEY PLAN

SCALE BAR (METRES)  
 1:100@A3 / 1:50@A1 0 1 2 3 4 5

NOTES AND CLARIFICATIONS  
 PLEASE READ DRAWING IN ACCORDANCE WITH CROSS-REFERENCED SPECIFICATION / SCOPE OF WORKS.  
 ©STAGG ARCHITECTS LIMITED, NO IMPLIED LICENCE EXISTS.  
 THIS DRAWING SHOULD NOT BE USED TO CALCULATE AREAS FOR THE PURPOSES OF VALUATION.  
 SUBJECT TO PLANNING PERMISSION, BUILDING REGULATIONS, STATUTORY UNDERTAKER SEARCHES AND DESIGN DEVELOPMENT.  
 DO NOT SCALE DRAWINGS. DIMENSIONS GOVERN. ALL DIMENSIONS TO BE VERIFIED ON SITE BY CONTRACTOR BEFORE PROCEEDING.  
 ARCHITECT SHALL BE NOTIFIED IN WRITING OF ANY DISCREPANCIES.

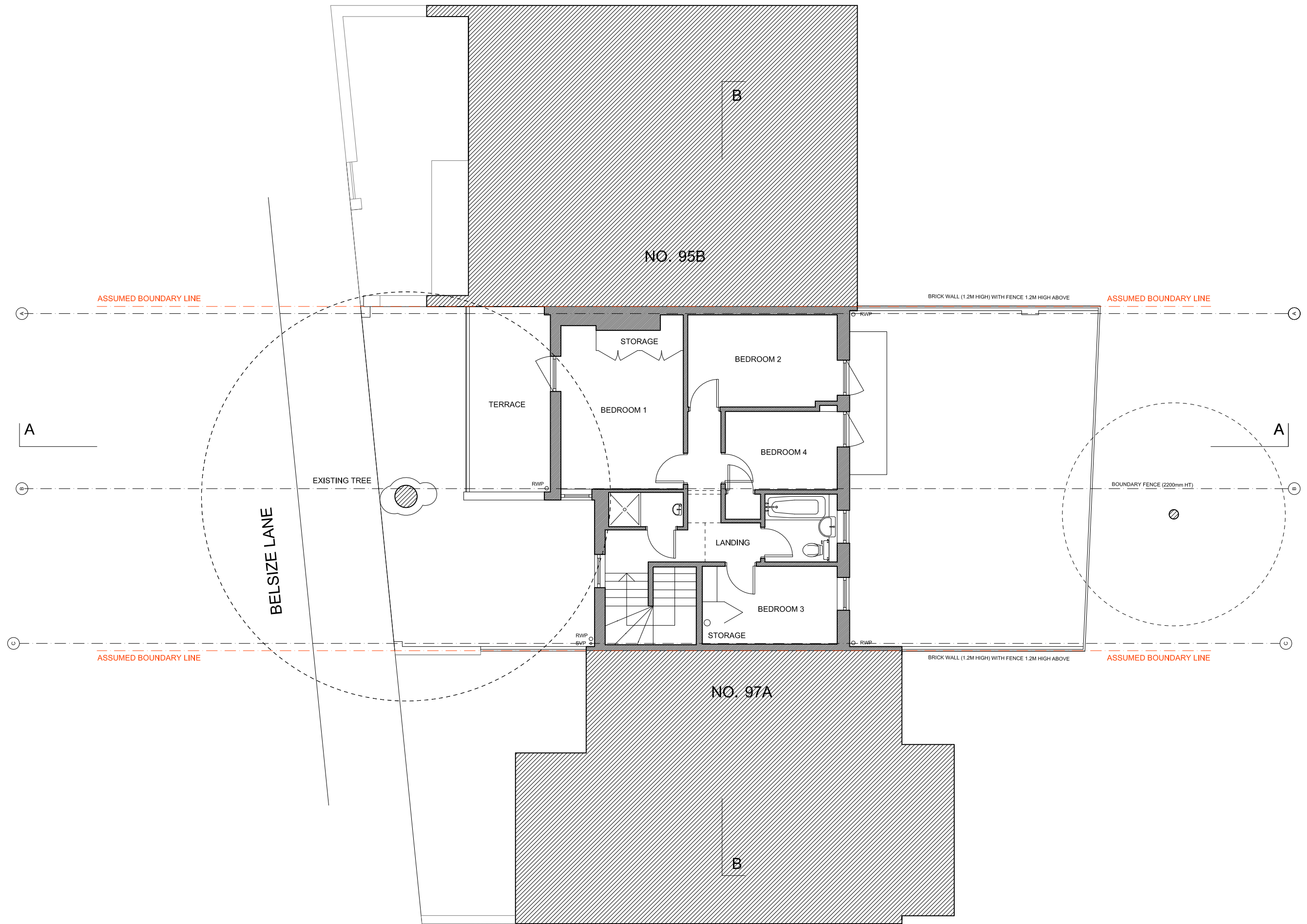
**stagg architects**

CLIENT  
 MR F BENHAMOU

3rd FLOOR, 44-46 NEW INN YARD, LONDON EC2A 3EY  
 ben@staggarchitects.co.uk  
 www.staggarchitects.co.uk

PROJECT  
 97 BELSIZE LANE  
 LONDON NW3 5AU

DRAWING TITLE			
EXISTING GROUND FLOOR PLAN			
DATE	DRAWN	A1 SCALE	A3 SCALE
27.03.15	GS/BS	1:50	1:100
STATUS		DRAWING NO	REV
PLANNING		51420-PA-10	-



REVISIONS		REVISIONS		KEY PLAN
REV DATE	AMENDMENT	REV DATE	AMENDMENT	

**SCALE BAR (METRES)**  
 1:100@A3 / 1:50@A1 0 | 1 | 2 | 3 | 4 | 5

**NOTES AND CLARIFICATIONS**  
 PLEASE READ DRAWING IN ACCORDANCE WITH CROSS-REFERENCED SPECIFICATION / SCOPE OF WORKS.  
 ©STAGG ARCHITECTS LIMITED, NO IMPLIED LICENCE EXISTS.  
 THIS DRAWING SHOULD NOT BE USED TO CALCULATE AREAS FOR THE PURPOSES OF VALUATION.  
 SUBJECT TO PLANNING PERMISSION, BUILDING REGULATIONS, STATUTORY UNDERTAKER SEARCHES AND DESIGN DEVELOPMENT.  
 DO NOT SCALE DRAWINGS. DIMENSIONS GOVERN. ALL DIMENSIONS TO BE VERIFIED ON SITE BY CONTRACTOR BEFORE PROCEEDING.  
 ARCHITECT SHALL BE NOTIFIED IN WRITING OF ANY DISCREPANCIES.

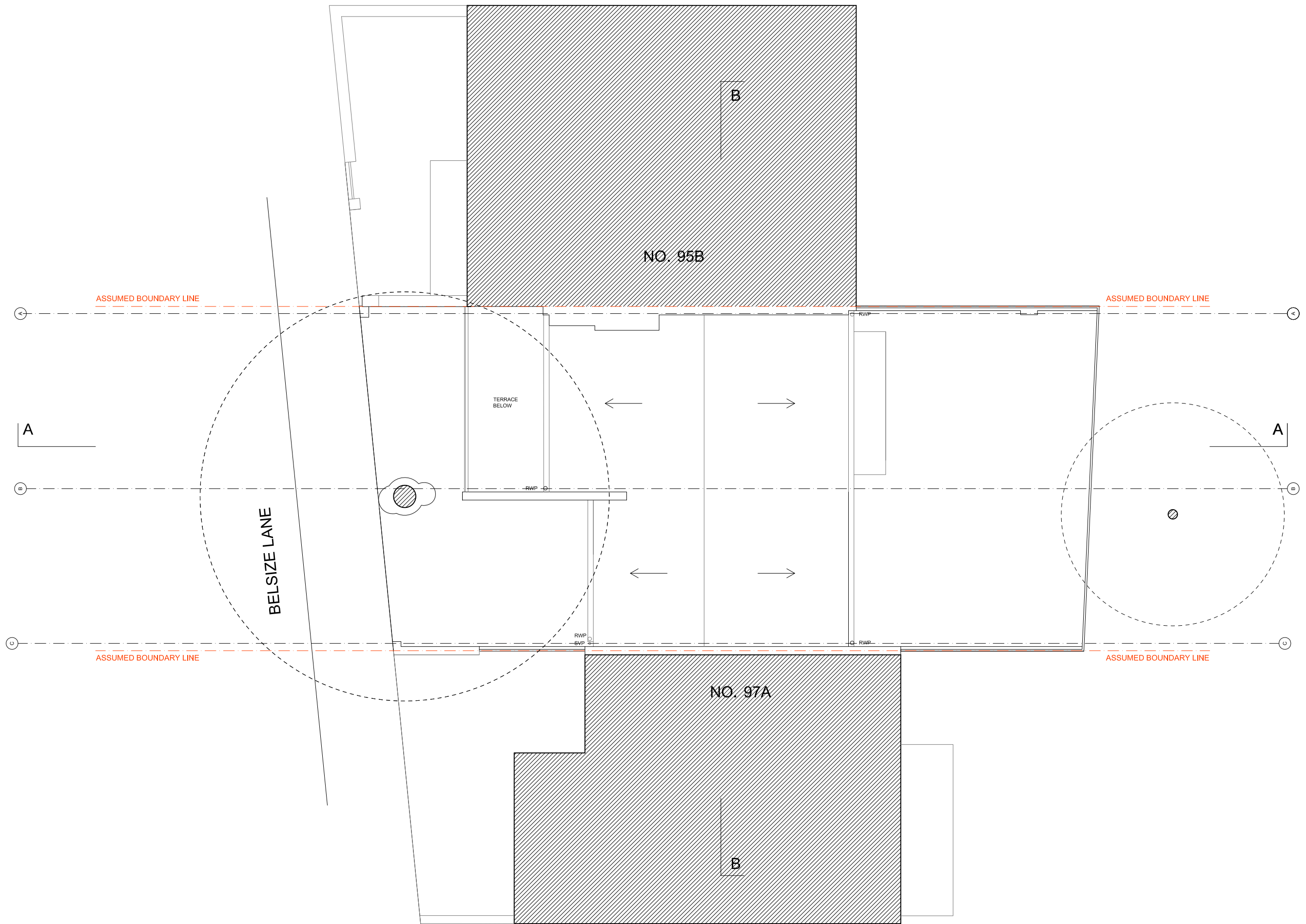
**stagg architects**

3rd FLOOR, 44-46 NEW INN YARD, LONDON EC2A 3EY  
 ben@staggarchitects.co.uk  
 www.staggarchitects.co.uk

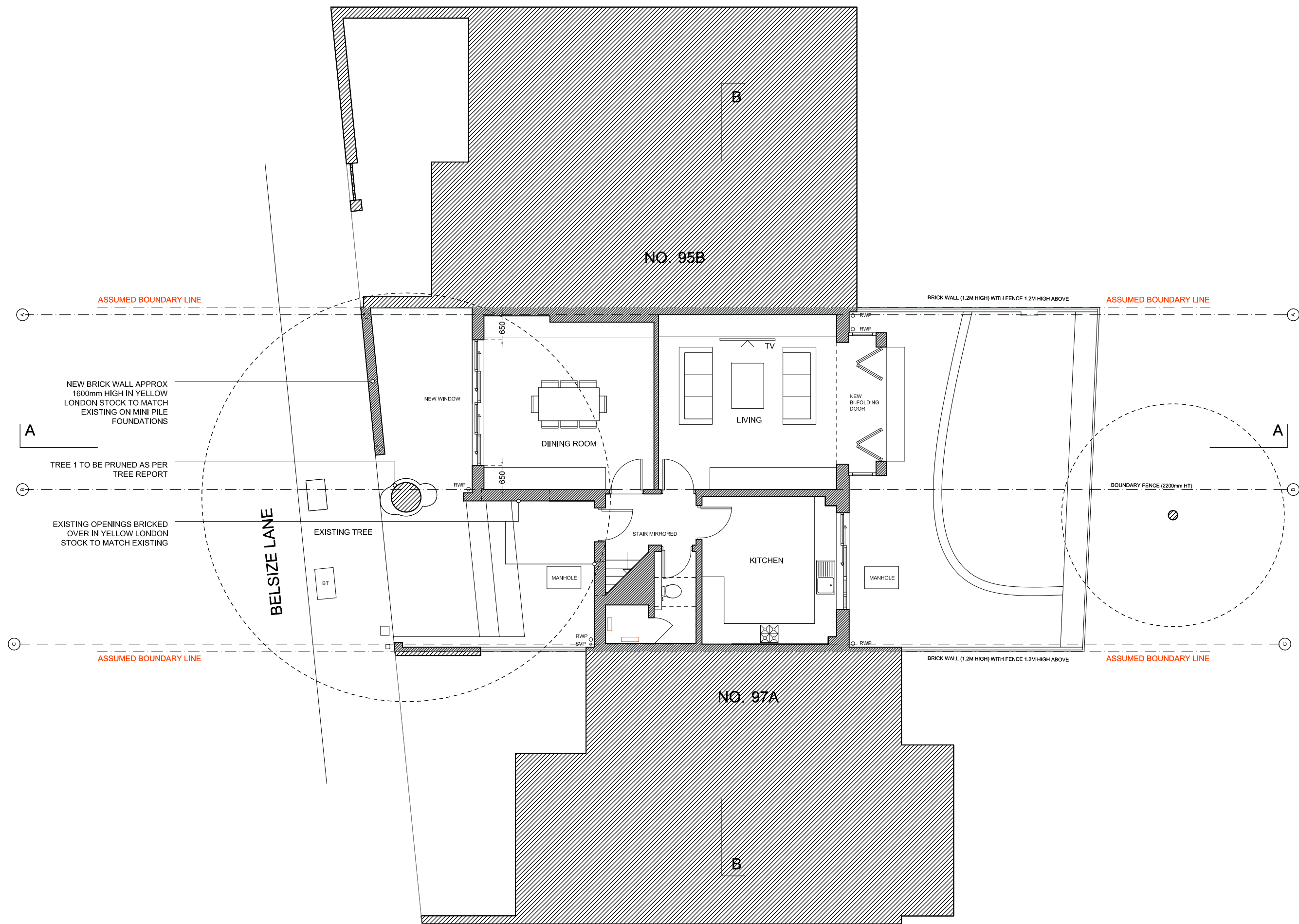
**CLIENT**  
 MR F BENHAMOU

**PROJECT**  
 97 BELSIZE LANE  
 LONDON NW3 5AU

DRAWING TITLE				
EXISTING FIRST FLOOR PLAN				
DATE	DRAWN	A1 SCALE	A3 SCALE	
27.03.15	GS/BS	1:50	1:100	
STATUS		DRAWING NO	REV	
PLANNING		51420-PA-11	-	



<p><b>REVISIONS</b></p> <table border="1"> <thead> <tr> <th>REV DATE</th> <th>AMENDMENT</th> </tr> </thead> <tbody> <tr> <td> </td> <td> </td> </tr> </tbody> </table>	REV DATE	AMENDMENT			<p><b>REVISIONS</b></p> <table border="1"> <thead> <tr> <th>REV DATE</th> <th>AMENDMENT</th> </tr> </thead> <tbody> <tr> <td> </td> <td> </td> </tr> </tbody> </table>	REV DATE	AMENDMENT			<p><b>KEY PLAN</b></p>	<p><b>SCALE BAR (METRES)</b></p> <p>1:100@A3 / 1:50@A1</p> <p><b>NOTES AND CLARIFICATIONS</b></p> <p>PLEASE READ DRAWING IN ACCORDANCE WITH CROSS-REFERENCED SPECIFICATION / SCOPE OF WORKS.          ©STAGG ARCHITECTS LIMITED, NO IMPLIED LICENCE EXISTS.          THIS DRAWING SHOULD NOT BE USED TO CALCULATE AREAS FOR THE PURPOSES OF VALUATION.          SUBJECT TO PLANNING PERMISSION, BUILDING REGULATIONS, STATUTORY UNDERTAKER SEARCHES AND DESIGN DEVELOPMENT.          DO NOT SCALE DRAWINGS. DIMENSIONS GOVERN. ALL DIMENSIONS TO BE VERIFIED ON SITE BY CONTRACTOR BEFORE PROCEEDING.          ARCHITECT SHALL BE NOTIFIED IN WRITING OF ANY DISCREPANCIES.</p>	<p><b>stagg architects</b></p> <p>CLIENT MR F BENHAMOU</p>	<p>3rd FLOOR, 44-46 NEW INN YARD, LONDON EC2A 3EY          ben@staggarchitects.co.uk          www.staggarchitects.co.uk</p> <p>PROJECT 97 BELSIZE LANE LONDON NW3 5AU</p>	<p><b>DRAWING TITLE</b> EXISTING ROOF PLAN</p> <table border="1"> <tr> <td>DATE 27.03.15</td> <td>DRAWN GS/BS</td> <td>A1 SCALE 1:50</td> <td>A3 SCALE 1:100</td> </tr> <tr> <td colspan="2">STATUS PLANNING</td> <td>DRAWING NO 51420-PA-12</td> <td>REV -</td> </tr> </table>	DATE 27.03.15	DRAWN GS/BS	A1 SCALE 1:50	A3 SCALE 1:100	STATUS PLANNING		DRAWING NO 51420-PA-12	REV -
REV DATE	AMENDMENT																					
REV DATE	AMENDMENT																					
DATE 27.03.15	DRAWN GS/BS	A1 SCALE 1:50	A3 SCALE 1:100																			
STATUS PLANNING		DRAWING NO 51420-PA-12	REV -																			



REVISIONS	
REV DATE	AMENDMENT

REVISIONS	
REV DATE	AMENDMENT

KEY PLAN

SCALE BAR (METRES)  
1:100@A3 / 1:50@A1 0 1 2 3 4 5

NOTES AND CLARIFICATIONS  
PLEASE READ DRAWING IN ACCORDANCE WITH CROSS-REFERENCED SPECIFICATION / SCOPE OF WORKS.  
©STAGG ARCHITECTS LIMITED, NO IMPLIED LICENCE EXISTS.  
THIS DRAWING SHOULD NOT BE USED TO CALCULATE AREAS FOR THE PURPOSES OF VALUATION.  
SUBJECT TO PLANNING PERMISSION, BUILDING REGULATIONS, STATUTORY UNDERTAKER SEARCHES AND DESIGN DEVELOPMENT.  
DO NOT SCALE DRAWINGS. DIMENSIONS GOVERN. ALL DIMENSIONS TO BE VERIFIED ON SITE BY CONTRACTOR BEFORE PROCEEDING.  
ARCHITECT SHALL BE NOTIFIED IN WRITING OF ANY DISCREPANCIES.

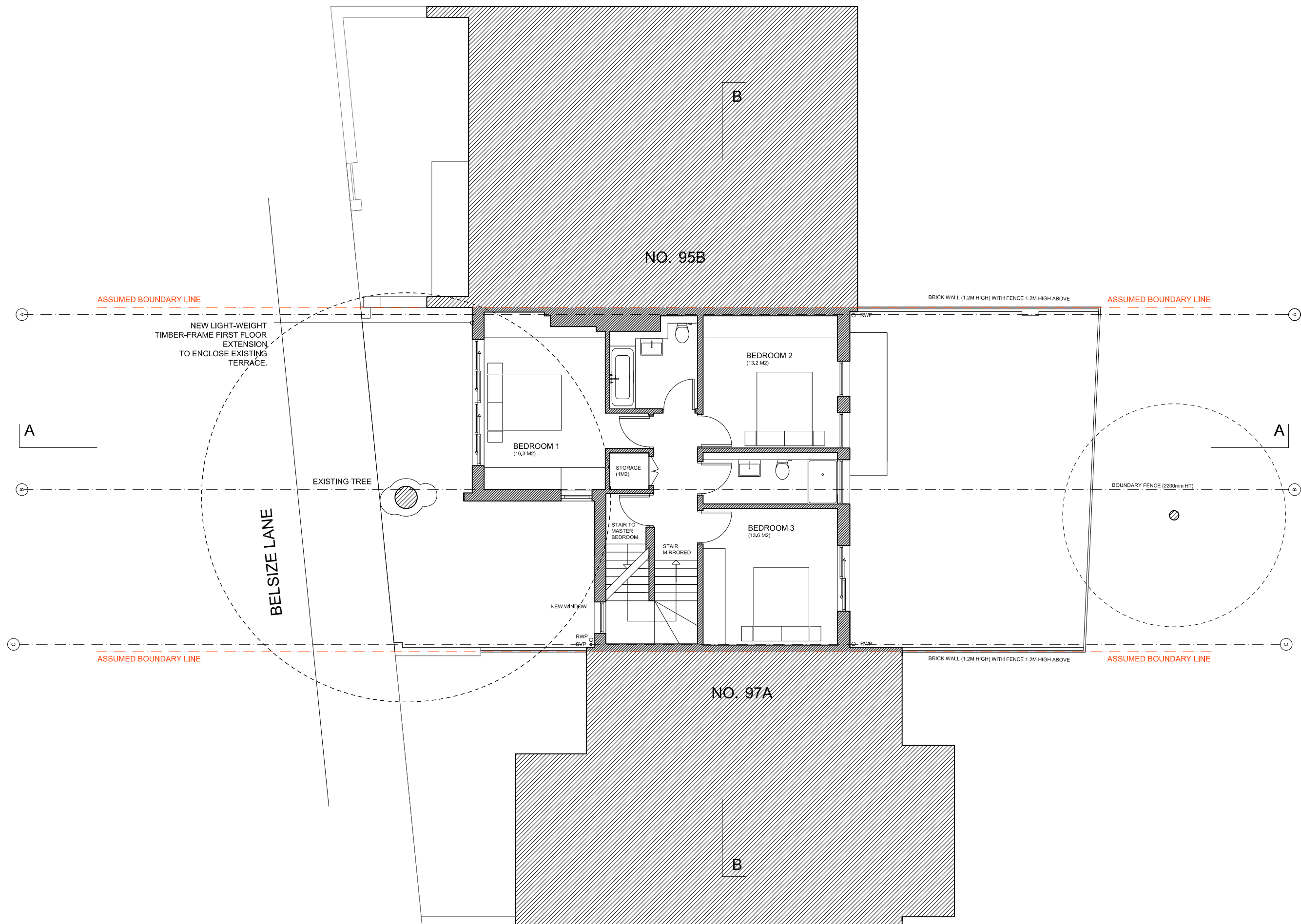
**stagg architects**

CLIENT  
MR F BENHAMOU

3rd FLOOR, 44-46 NEW INN YARD, LONDON EC2A 3EY  
ben@staggarchitects.co.uk  
www.staggarchitects.co.uk

PROJECT  
97 BELSIZE LANE  
LONDON NW3 5AU

DRAWING TITLE PROPOSED GROUND FLOOR PLAN			
DATE	DRAWN	A1 SCALE	A3 SCALE
27.03.15	GS/BS	1:50	1:100
STATUS PLANNING		DRAWING NO	REV
		51420-PA-20	-



REVISIONS	
REV DATE	AMENDMENT

REVISIONS	
REV DATE	AMENDMENT

KEY PLAN

SCALE BAR (METRES)  
 1:100@A3 / 1:50@A1 0 | 1 | 2 | 3 | 4 | 5



**stagg architects**

3rd FLOOR, 44-46 NEW INN YARD, LONDON EC2A 3EY  
 ben@staggarchitects.co.uk  
 www.staggarchitects.co.uk

DRAWING TITLE  
**PROPOSED FIRST FLOOR PLAN**

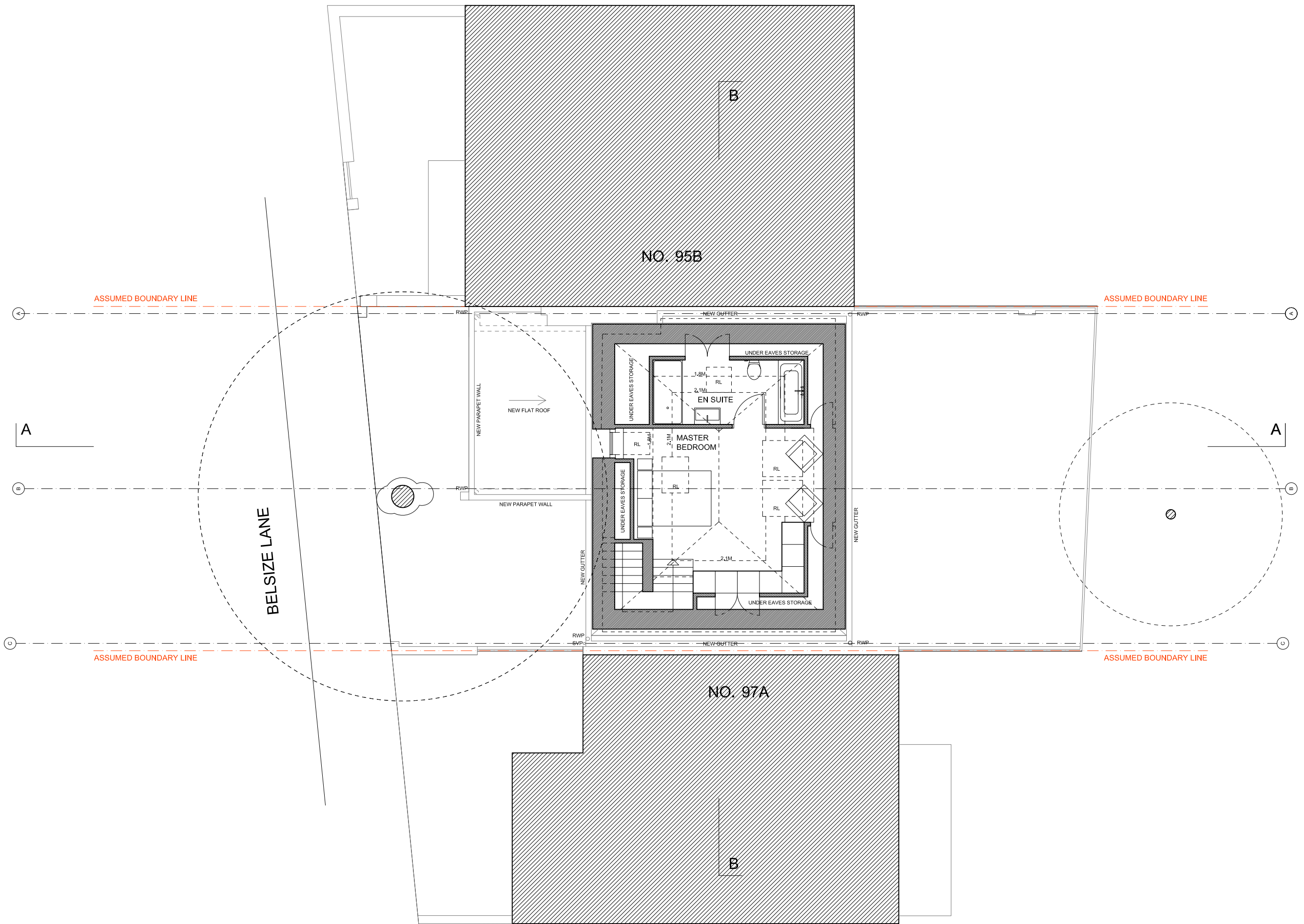
DATE	DRAWN	A1 SCALE	A3 SCALE
27.03.15	GS/BS	1:50	1:100

STATUS	DRAWING NO	REV
PLANNING	51420-PA-21	-

NOTES AND CLARIFICATIONS  
 PLEASE READ DRAWING IN ACCORDANCE WITH CROSS-REFERENCED SPECIFICATION / SCOPE OF WORKS.  
 ©STAGG ARCHITECTS LIMITED, NO IMPLIED LICENCE EXISTS.  
 THIS DRAWING SHOULD NOT BE USED TO CALCULATE AREAS FOR THE PURPOSES OF VALUATION.  
 SUBJECT TO PLANNING PERMISSION, BUILDING REGULATIONS, STATUTORY UNDERTAKER SEARCHES AND DESIGN DEVELOPMENT.  
 DO NOT SCALE DRAWINGS. DIMENSIONS GOVERN. ALL DIMENSIONS TO BE VERIFIED ON SITE BY CONTRACTOR BEFORE PROCEEDING.  
 ARCHITECT SHALL BE NOTIFIED IN WRITING OF ANY DISCREPANCIES.

CLIENT  
 MR F BENHAMOU

PROJECT  
 97 BELSIZE LANE  
 LONDON NW3 5AU



REVISIONS	
REV DATE	AMENDMENT
A 16/03/15	ACCESS TO ROOF TERRACE

REVISIONS	
REV DATE	AMENDMENT

KEY PLAN

SCALE BAR (METRES)  
1:100@A3 / 1:50@A1

NOTES AND CLARIFICATIONS  
PLEASE READ DRAWING IN ACCORDANCE WITH CROSS-REFERENCED SPECIFICATION / SCOPE OF WORKS.  
©STAGG ARCHITECTS LIMITED, NO IMPLIED LICENCE EXISTS.  
THIS DRAWING SHOULD NOT BE USED TO CALCULATE AREAS FOR THE PURPOSES OF VALUATION.  
SUBJECT TO PLANNING PERMISSION, BUILDING REGULATIONS, STATUTORY UNDERTAKER SEARCHES AND DESIGN DEVELOPMENT.  
DO NOT SCALE DRAWINGS. DIMENSIONS GOVERN. ALL DIMENSIONS TO BE VERIFIED ON SITE BY CONTRACTOR BEFORE PROCEEDING.  
ARCHITECT SHALL BE NOTIFIED IN WRITING OF ANY DISCREPANCIES.

**stagg architects**

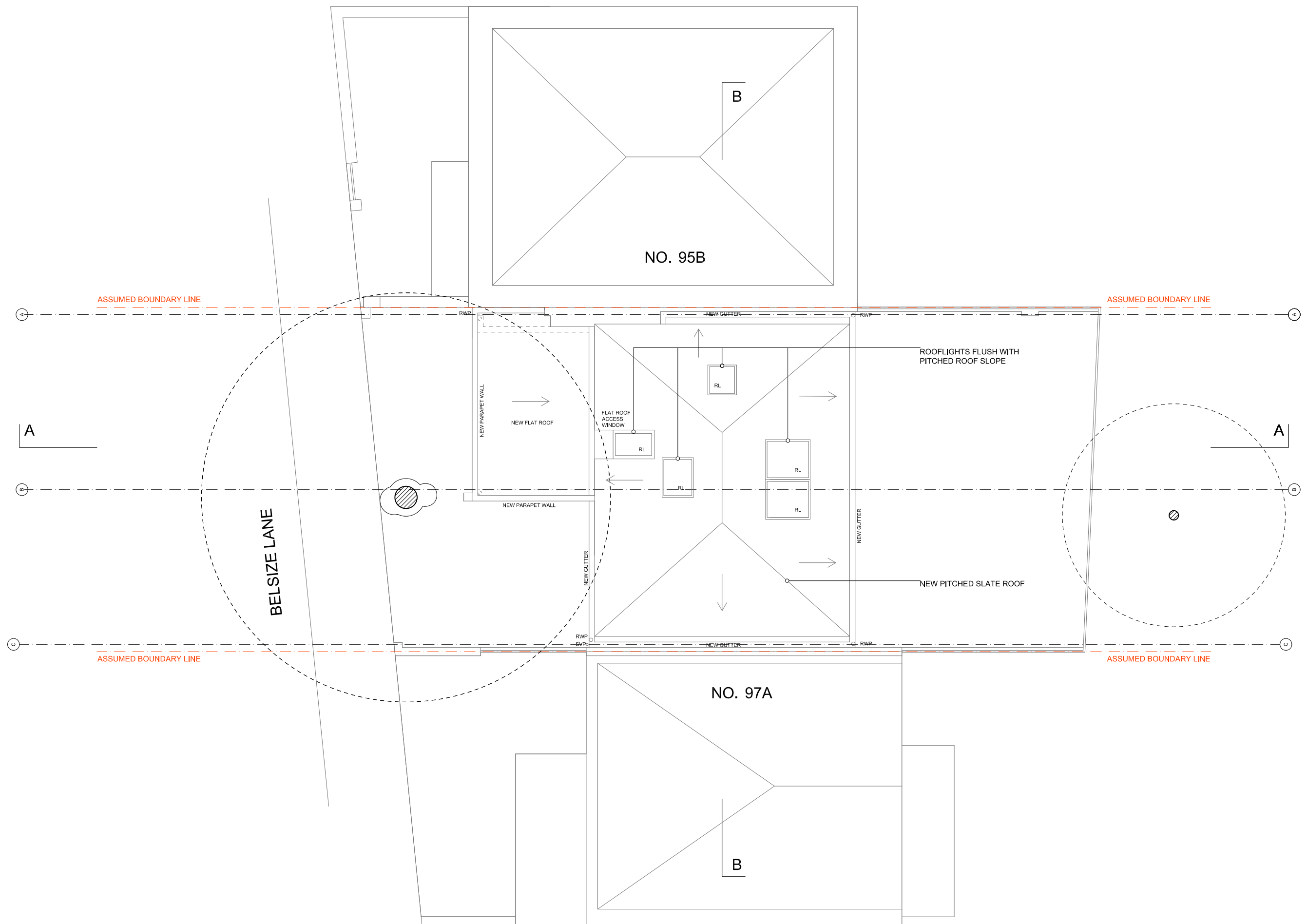
CLIENT  
MR F BENHAMOU

3rd FLOOR, 44-46 NEW INN YARD, LONDON EC2A 3EY  
ben@staggarchitects.co.uk  
www.staggarchitects.co.uk

PROJECT  
97 BELSIZE LANE  
LONDON NW3 5AU

DRAWING TITLE PROPOSED ATTIC PLAN			
DATE	DRAWN	A1 SCALE	A3 SCALE
27.03.15	GS/BS	1:50	1:100
STATUS PLANNING		DRAWING NO	REV
		51420-PA-22	-





REVISIONS	
REV DATE	AMENDMENT
A 16/03/15	ACCESS TO ROOF TERRACE

REVISIONS	
REV DATE	AMENDMENT

KEY PLAN

SCALE BAR (METRES)  
1:100@A3 / 1:50@A1

NOTES AND CLARIFICATIONS  
PLEASE READ DRAWING IN ACCORDANCE WITH CROSS-REFERENCED SPECIFICATION / SCOPE OF WORKS.  
©STAGG ARCHITECTS LIMITED, NO IMPLIED LICENCE EXISTS.  
THIS DRAWING SHOULD NOT BE USED TO CALCULATE AREAS FOR THE PURPOSES OF VALUATION.  
SUBJECT TO PLANNING PERMISSION, BUILDING REGULATIONS, STATUTORY UNDERTAKER SEARCHES AND DESIGN DEVELOPMENT.  
DO NOT SCALE DRAWINGS. DIMENSIONS GOVERN. ALL DIMENSIONS TO BE VERIFIED ON SITE BY CONTRACTOR BEFORE PROCEEDING.  
ARCHITECT SHALL BE NOTIFIED IN WRITING OF ANY DISCREPANCIES.

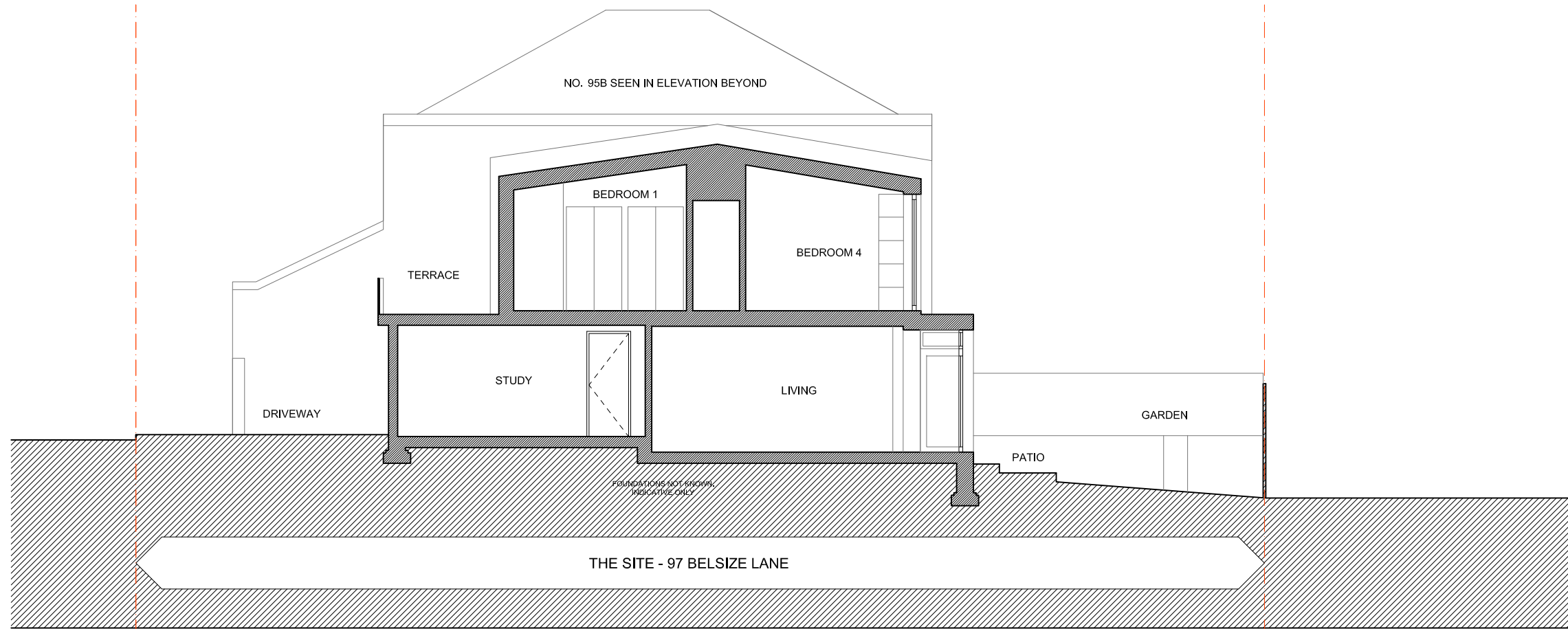
**stagg architects**

CLIENT  
MR F BENHAMOU

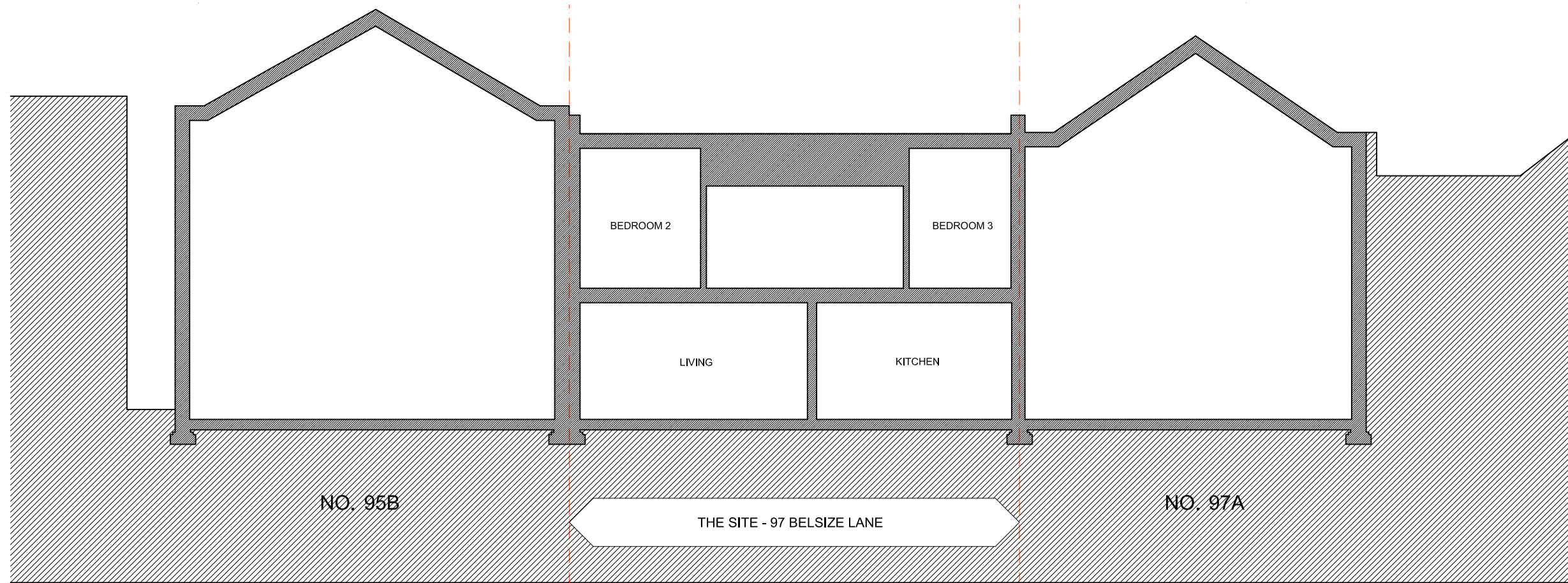
3rd FLOOR, 44-46 NEW INN YARD, LONDON EC2A 3EY  
ben@staggarchitects.co.uk  
www.staggarchitects.co.uk

PROJECT  
97 BELSIZE LANE  
LONDON NW3 5AU

DRAWING TITLE PROPOSED ROOF PLAN			
DATE	DRAWN	A1 SCALE	A3 SCALE
27.03.15	GS/BS	1:50	1:100
STATUS PLANNING		DRAWING NO	REV
		51420-PA-23	-

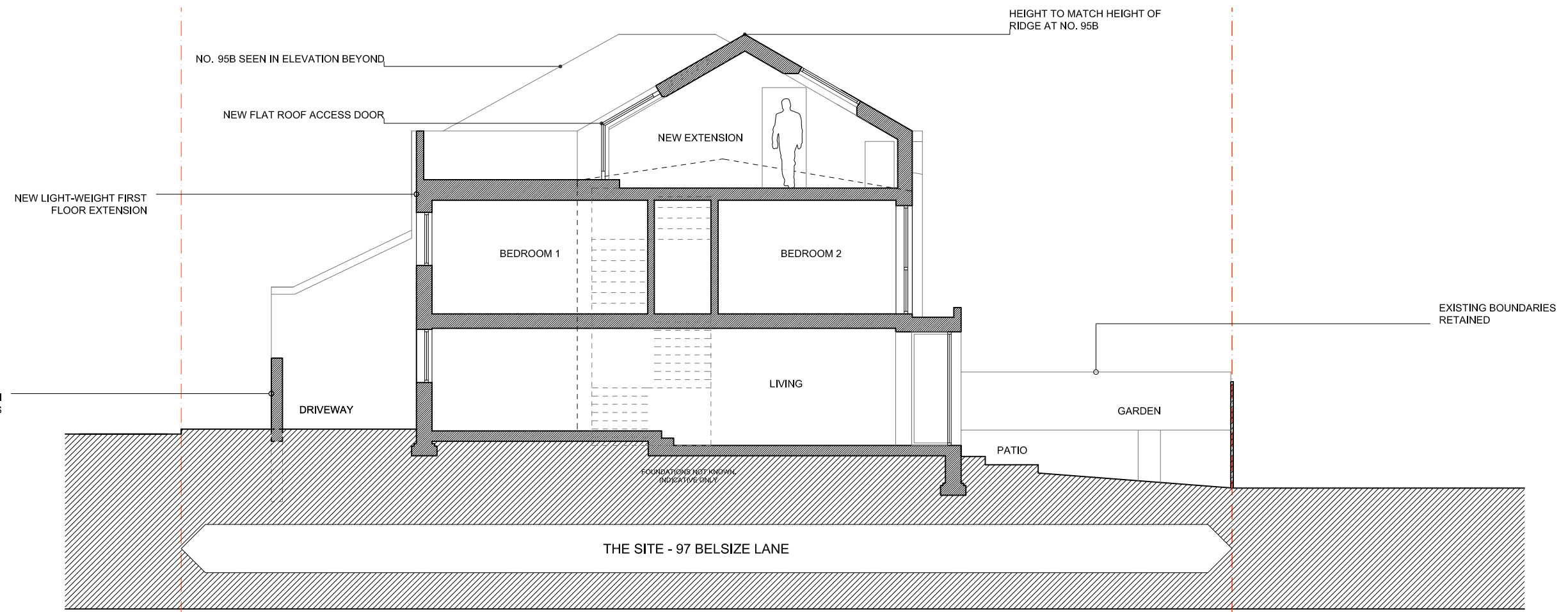


SECTION A-A

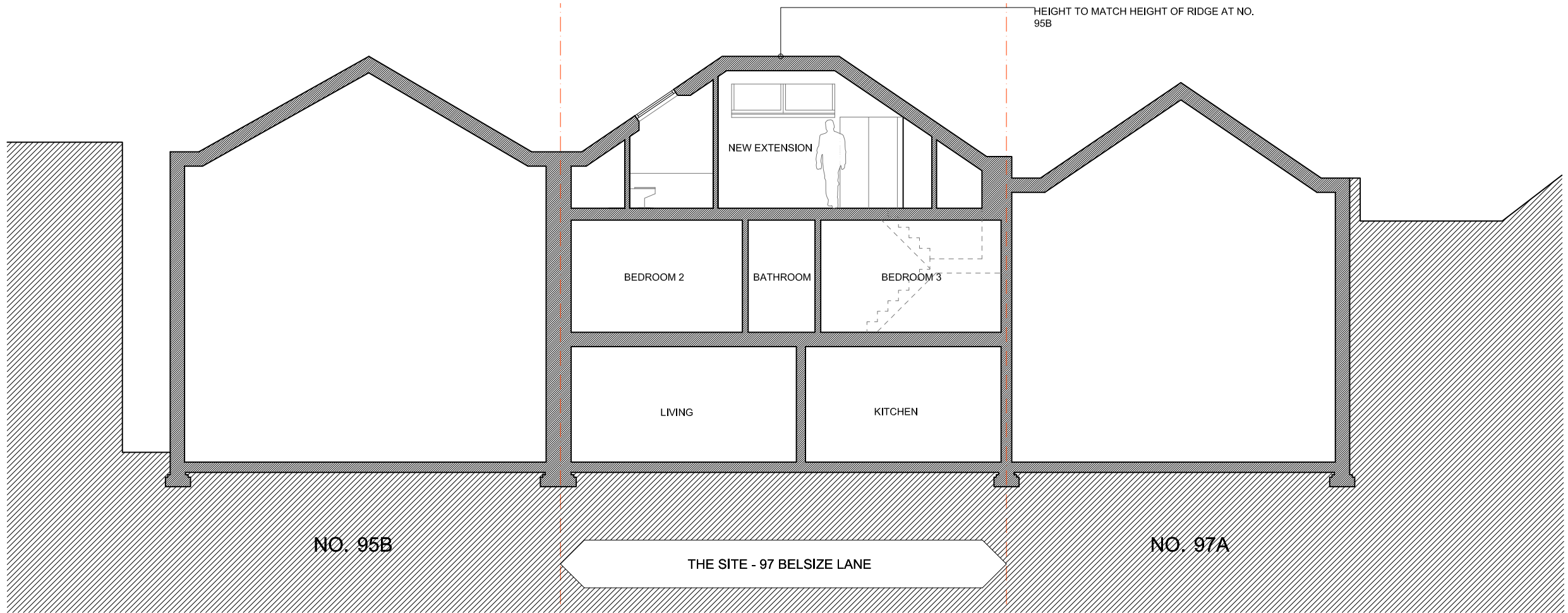


SECTION B-B

<p>REVISIONS</p> <table border="1"> <thead> <tr> <th>REV DATE</th> <th>AMENDMENT</th> </tr> </thead> <tbody> <tr> <td> </td> <td> </td> </tr> </tbody> </table>	REV DATE	AMENDMENT			<p>REVISIONS</p> <table border="1"> <thead> <tr> <th>REV DATE</th> <th>AMENDMENT</th> </tr> </thead> <tbody> <tr> <td> </td> <td> </td> </tr> </tbody> </table>	REV DATE	AMENDMENT			<p>KEY PLAN</p>	<p>SCALE BAR (METRES)</p> <p>1:100@A3 / 1:50@A1</p> <p>NOTES AND CLARIFICATIONS</p> <p>PLEASE READ DRAWING IN ACCORDANCE WITH CROSS-REFERENCED SPECIFICATION / SCOPE OF WORKS.          ©STAGG ARCHITECTS LIMITED, NO IMPLIED LICENCE EXISTS.          THIS DRAWING SHOULD NOT BE USED TO CALCULATE AREAS FOR THE PURPOSES OF VALUATION.          SUBJECT TO PLANNING PERMISSION, BUILDING REGULATIONS, STATUTORY UNDERTAKER SEARCHES AND DESIGN DEVELOPMENT.          DO NOT SCALE DRAWINGS. DIMENSIONS GOVERN. ALL DIMENSIONS TO BE VERIFIED ON SITE BY CONTRACTOR BEFORE PROCEEDING.          ARCHITECT SHALL BE NOTIFIED IN WRITING OF ANY DISCREPANCIES.</p>	<p><b>stagg architects</b></p> <p>CLIENT MR F BENHAMOU</p>	<p>3rd FLOOR, 44-46 NEW INN YARD, LONDON EC2A 3EY          ben@staggarchitects.co.uk          www.staggarchitects.co.uk</p> <p>PROJECT 97 BELSIZE LANE LONDON NW3 5AU</p>	<p>DRAWING TITLE EXISTING SECTIONS</p> <table border="1"> <thead> <tr> <th>DATE</th> <th>DRAWN</th> <th>A1 SCALE</th> <th>A3 SCALE</th> </tr> </thead> <tbody> <tr> <td>27.03.15</td> <td>GS/BS</td> <td>1:50</td> <td>1:100</td> </tr> </tbody> </table> <table border="1"> <thead> <tr> <th>STATUS</th> <th>DRAWING NO</th> <th>REV</th> </tr> </thead> <tbody> <tr> <td>PLANNING</td> <td>51420-PA-30</td> <td>-</td> </tr> </tbody> </table>	DATE	DRAWN	A1 SCALE	A3 SCALE	27.03.15	GS/BS	1:50	1:100	STATUS	DRAWING NO	REV	PLANNING	51420-PA-30	-
REV DATE	AMENDMENT																											
REV DATE	AMENDMENT																											
DATE	DRAWN	A1 SCALE	A3 SCALE																									
27.03.15	GS/BS	1:50	1:100																									
STATUS	DRAWING NO	REV																										
PLANNING	51420-PA-30	-																										



SECTION A-A



SECTION B-B

REVISIONS	
REV DATE	AMENDMENT
A 16/03/15	ACCESS TO ROOF TERRACE

REVISIONS	
REV DATE	AMENDMENT

KEY PLAN

SCALE BAR (METRES)
1:100@A3 / 1:50@A1 0 1 2 3 4 5
<p>NOTES AND CLARIFICATIONS</p> <p>PLEASE READ DRAWING IN ACCORDANCE WITH CROSS-REFERENCED SPECIFICATION / SCOPE OF WORKS.            ©STAGG ARCHITECTS LIMITED, NO IMPLIED LICENCE EXISTS.            THIS DRAWING SHOULD NOT BE USED TO CALCULATE AREAS FOR THE PURPOSES OF VALUATION.            SUBJECT TO PLANNING PERMISSION, BUILDING REGULATIONS, STATUTORY UNDERTAKER SEARCHES AND DESIGN DEVELOPMENT.            DO NOT SCALE DRAWINGS. DIMENSIONS GOVERN. ALL DIMENSIONS TO BE VERIFIED ON SITE BY CONTRACTOR BEFORE PROCEEDING.            ARCHITECT SHALL BE NOTIFIED IN WRITING OF ANY DISCREPANCIES.</p>

<p><b>stagg architects</b></p> <p>CLIENT MR F BENHAMOU</p>
--

<p>3rd FLOOR, 44-46 NEW INN YARD, LONDON EC2A 3EY            ben@staggarchitects.co.uk            www.staggarchitects.co.uk</p> <p>PROJECT 97 BELSIZE LANE LONDON NW3 5AU</p>
---

DRAWING TITLE PROPOSED SECTIONS			
DATE 27.03.15	DRAWN GS/BS	A1 SCALE 1:50	A3 SCALE 1:100
STATUS PLANNING		DRAWING NO 51420-PA-40	REV -



NORTH ELEVATION

ADJACENT BUILDINGS NOT SURVEYED

ADJACENT BUILDINGS NOT SURVEYED



SOUTH ELEVATION

ADJACENT BUILDINGS NOT SURVEYED

ADJACENT BUILDINGS NOT SURVEYED

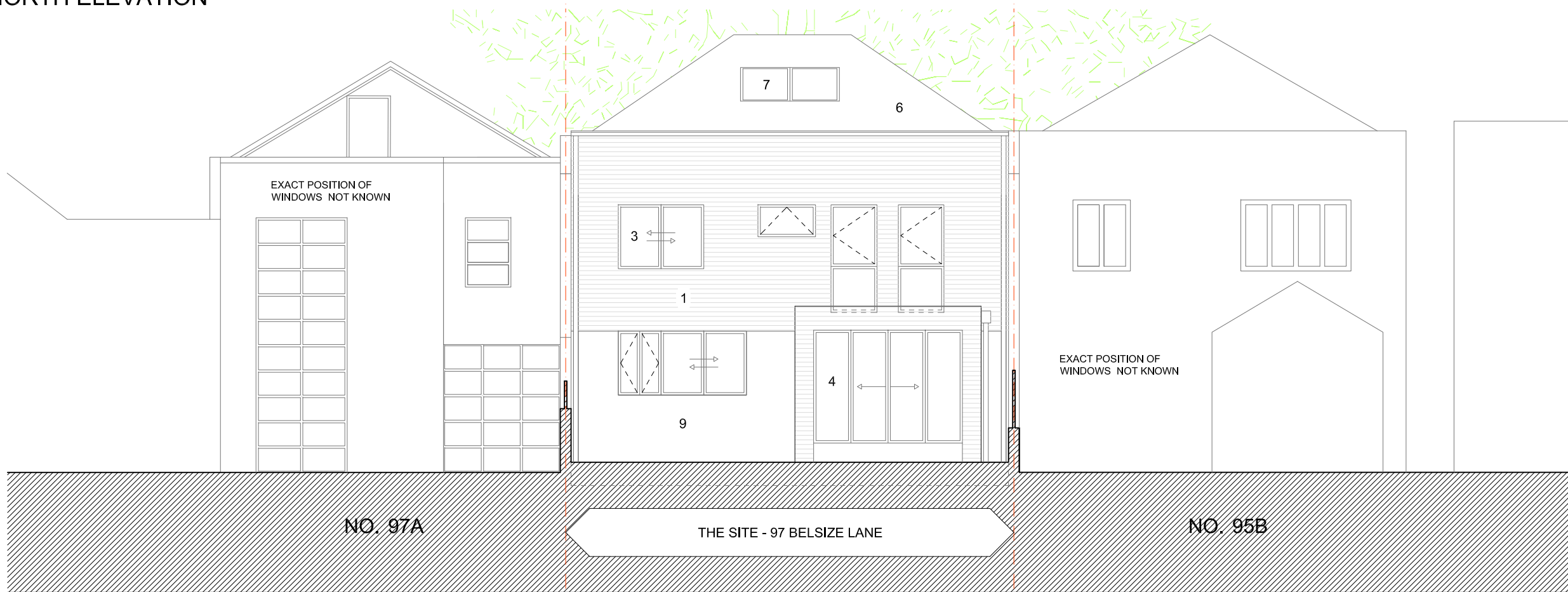
<b>REVISIONS</b> REV DATE    AMENDMENT		<b>REVISIONS</b> REV DATE    AMENDMENT		<b>KEY PLAN</b>		<b>SCALE BAR (METRES)</b> 1:100@A3 / 1:50@A1    0   1   2   3   4   5				3rd FLOOR, 44-46 NEW INN YARD, LONDON EC2A 3EY ben@staggarchitects.co.uk www.staggarchitects.co.uk		<b>DRAWING TITLE</b> EXISTING ELEVATIONS			
						<b>NOTES AND CLARIFICATIONS</b> <small>PLEASE READ DRAWING IN ACCORDANCE WITH CROSS-REFERENCED SPECIFICATION / SCOPE OF WORKS.          ©STAGG ARCHITECTS LIMITED, NO IMPLIED LICENCE EXISTS.          THIS DRAWING SHOULD NOT BE USED TO CALCULATE AREAS FOR THE PURPOSES OF VALUATION.          SUBJECT TO PLANNING PERMISSION, BUILDING REGULATIONS, STATUTORY UNDERTAKER SEARCHES AND DESIGN DEVELOPMENT.          DO NOT SCALE DRAWINGS. DIMENSIONS GOVERN. ALL DIMENSIONS TO BE VERIFIED ON SITE BY CONTRACTOR BEFORE PROCEEDING.          ARCHITECT SHALL BE NOTIFIED IN WRITING OF ANY DISCREPANCIES.</small>		<b>CLIENT</b> MR F BENHAMOU		<b>PROJECT</b> 97 BELSIZE LANE LONDON NW3 5AU		<b>DATE</b> 27.03.15	<b>DRAWN</b> GS/BS	<b>A1 SCALE</b> 1:50	<b>A3 SCALE</b> 1:100
										<b>STATUS</b> PLANNING		<b>DRAWING NO</b> 51420-PA-50	<b>REV</b> -		



**NORTH ELEVATION**

ADJACENT BUILDINGS NOT SURVEYED

ADJACENT BUILDINGS NOT SURVEYED



**SOUTH ELEVATION**

ADJACENT BUILDINGS NOT SURVEYED

ADJACENT BUILDINGS NOT SURVEYED

KEY	
1	BLACK STAINED VERTICAL TIMBER CLADDING
2	YELLOW LONDON STOCK BRICKWORK TO MATCH EXISTING
3	NEW CHARCOAL POWDER-COATED ALUMINIUM FRAMED DOUBLE GLAZING (ALL NEW WINDOWS)
4	NEW CHARCOAL POWDER-COATED ALUMINIUM FRAMED DOUBLE GLAZED BI-FOLDING DOOR
5	EXISTING YELLOW LONDON STOCK BRICKWORK RETAINED
6	NEW SLATE ROOF TO MATCH SLATE ROOF AT NO. 97A
7	NEW CHARCOAL POWDER-COATED ALUMINIUM FRAMED FLUSH ROOF LIGHTS
8	NEW CHARCOAL POWDER COATED ALUMINIUM FLAT ROOF ACCESS DOOR
9	EXISTING WHITE RENDER

REVISIONS	
REV DATE	AMENDMENT
A 16/03/15	ACCESS TO ROOF TERRACE

REVISIONS	
REV DATE	AMENDMENT

KEY PLAN

SCALE BAR (METRES)
1:100@A3 / 1:50@A1 0   1   2   3   4   5
<p><b>NOTES AND CLARIFICATIONS</b></p> <p>PLEASE READ DRAWING IN ACCORDANCE WITH CROSS-REFERENCED SPECIFICATION / SCOPE OF WORKS. ©STAGG ARCHITECTS LIMITED, NO IMPLIED LICENCE EXISTS. THIS DRAWING SHOULD NOT BE USED TO CALCULATE AREAS FOR THE PURPOSES OF VALUATION. SUBJECT TO PLANNING PERMISSION, BUILDING REGULATIONS, STATUTORY UNDERTAKER SEARCHES AND DESIGN DEVELOPMENT. DO NOT SCALE DRAWINGS. DIMENSIONS GOVERN. ALL DIMENSIONS TO BE VERIFIED ON SITE BY CONTRACTOR BEFORE PROCEEDING. ARCHITECT SHALL BE NOTIFIED IN WRITING OF ANY DISCREPANCIES.</p>

<p><b>stagg architects</b></p> <p>3rd FLOOR, 44-46 NEW INN YARD, LONDON EC2A 3EY ben@staggarchitects.co.uk www.staggarchitects.co.uk</p>	<p>CLIENT MR F BENHAMOU</p>	<p>PROJECT 97 BELSIZE LANE LONDON NW3 5AU</p>
--	---------------------------------	---

DRAWING TITLE			
PROPOSED ELEVATIONS			
DATE	DRAWN	A1 SCALE	A3 SCALE
27.03.15	GS/BS	1:50	1:100
STATUS		DRAWING NO	REV
PLANNING		51420-PA-60	-