

NOTE:
Please refer to recently approved applications as follow:

6 Railey Mews:
2010/2249/P
Approval for Change of use from abandoned building to C3 Dwelling
2011/0557/P
Erection of mansard roof extension to abandoned mews building and insertion of new windows and doors to street facing façade.

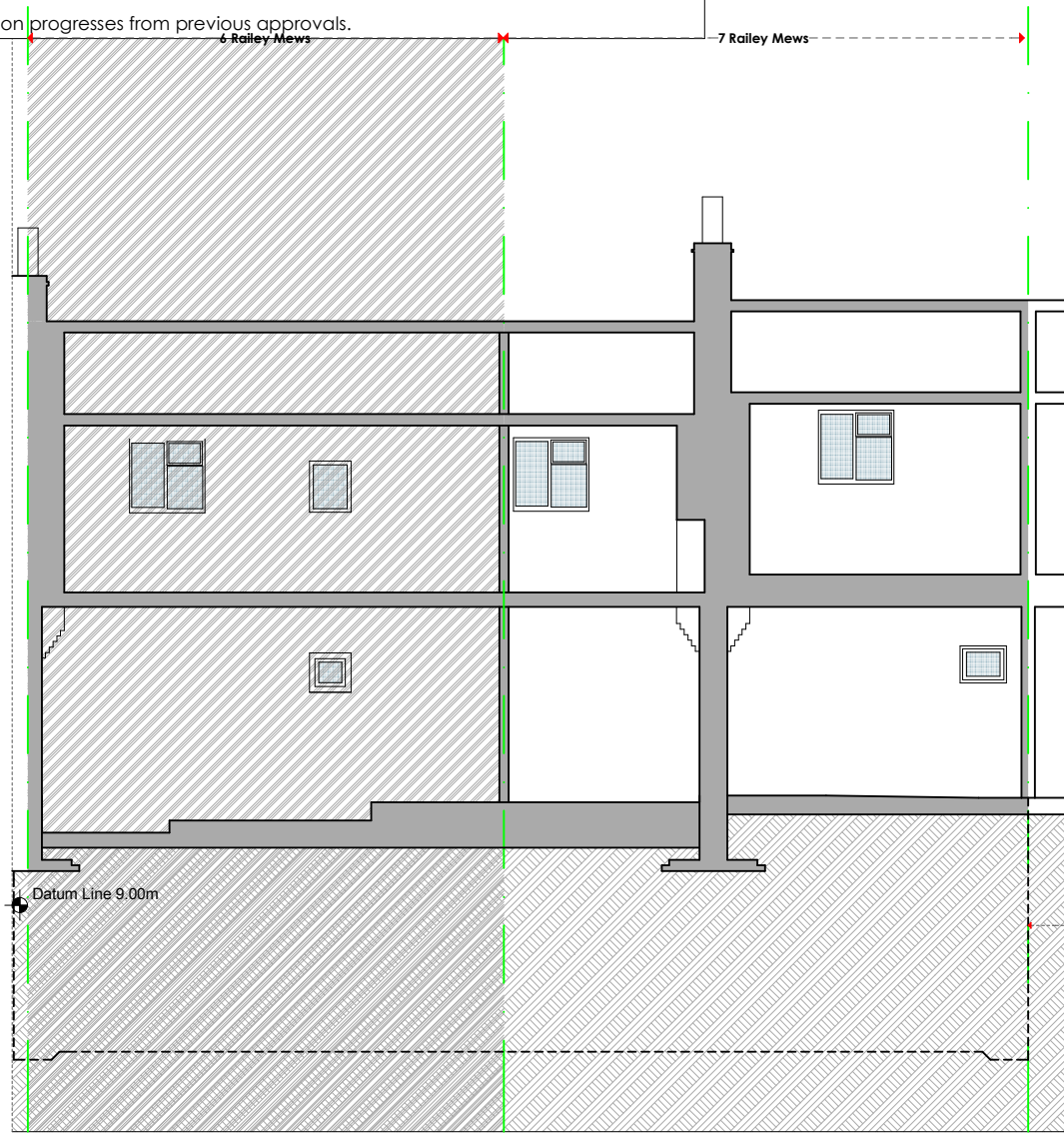
7 Railey Mews:
2009/5396/P
Approval of Certificate of Lawfulness for continued use as C3 Dwelling
2011/0564/P
Erection of mansard roof extension to existing dwelling house (Class C3)
2011/0760/P
Excavation of basement to provide additional accommodation for single dwellinghouse (Class C3).

This application progresses from previous approvals.

Chimney stack made from re-used materials from site including chimney pots and bricks. Though not a functioning stack this will give a visual break between two properties.

NOTE: Mansard Roof previously approved for 7 Railey Mews as per application 2011/0564/P

Additional insulation to existing wall between 7 and 8 Railey Mews.



Existing chimney stack to be raised as necessary in materials to match existing. Existing pots retained and re-used.

Void between Ground Floor and Lower Ground Floor to allow for ventilation and light to Lower Ground Floor.

NOTE: This planning application is only required for creation of Lower Ground Floor at 6 Railey Mews floor due to an anomaly within the planning system: Permitted Development rights cannot be utilised for No.6 Railey Mews until the property has been made habitable. Permission has been granted for Lower Ground Floor to No.7 Railey Mews already as per 2011/0760/P. Should this new application be refused our client will be forced to build No.6 Railey Mews as approved to make the property habitable and then implement his Permitted Development rights to create the Lower Ground Floor. This would mean additional site works and disturbance to neighbouring properties and also great additional expense to our client and to his daughter who is to move into this property once works are concluded.



FIT MARK B

Void between Ground Floor and Lower Ground Floor to allow for ventilation and light to Lower Ground Floor.

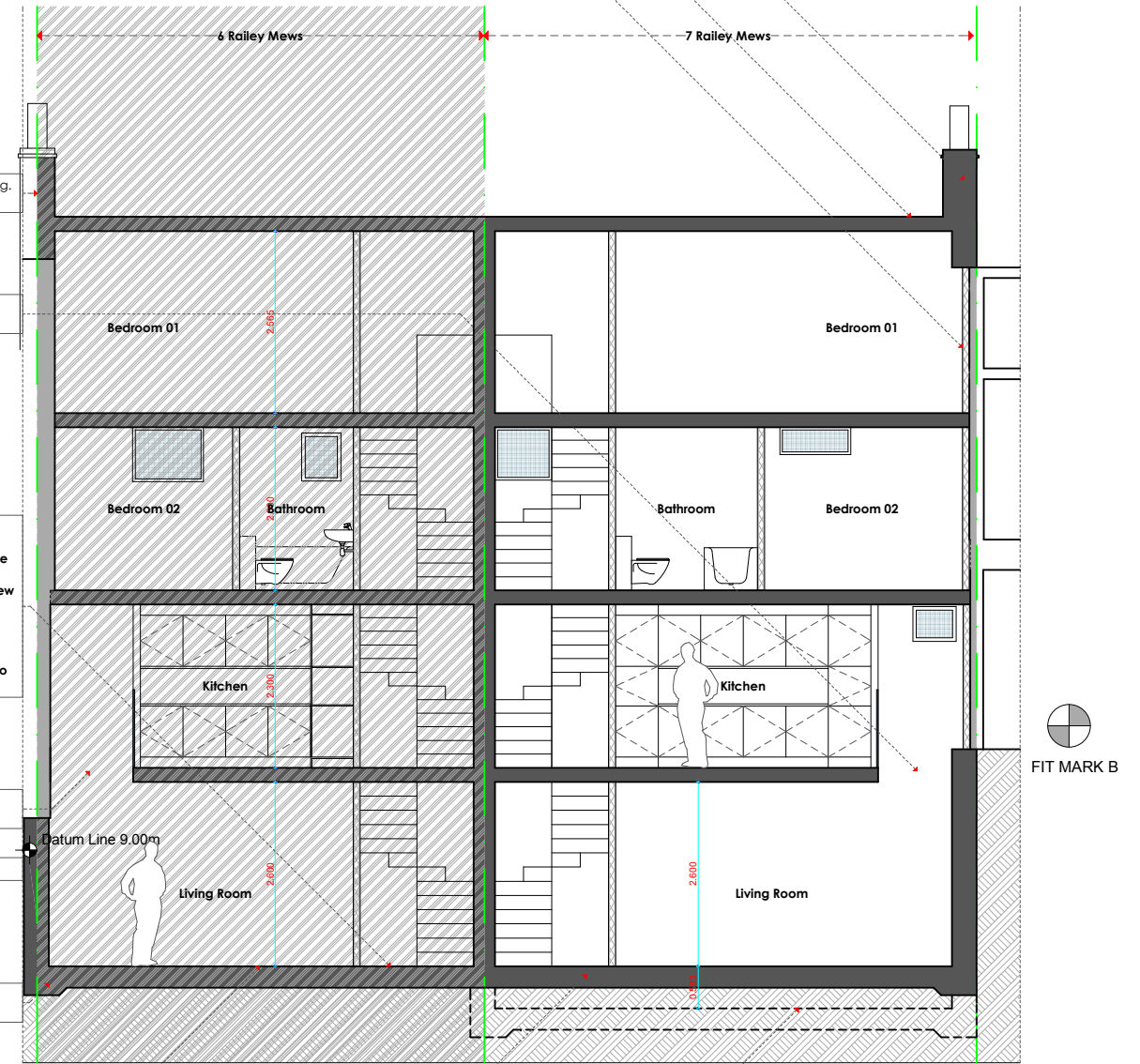
Extent of excavation to form Lower Ground Floor.

Walls forming Lower Ground Floor to be built on party wall line to provide balanced support to existing structure.

Lower Ground Floor to 6 Railey Mews. Note that this would be classed as Permitted Development should our client determine to construct previously approved works and then undertake formation of Lower Ground Floor.

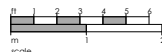
Lower Ground Floor walls to be constructed in re-inforced concrete laid in sequence to underpin existing property. Internal membrane by Newton, Delta or equivalent allow for internal drainage of wall to proposed waste route. All works in compliance with GPDO as contained within footprint of existing property - no external lightwells required.

NOTE: Lower Ground Floor extension already approved for 7 Railey Mews under application 2011/0760/P is 593mm DEEPER than is being proposed with this application.



FIT MARK B

Notes:
Figured Dimensions take precedence over scaling.
Check all measurements against scale below.
All dimensions to be checked and verified on site prior to being put in hand.
Better to ask once than build twice; if in doubt ASK.



Rev.	Date	Dwn.	Description
-	18.04.11	GMH	Issued to Camden Development Control as part of Planning Application

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CLIENT

morganharrisarchitects

t 020 3015 1147
f 08719 184 469
m 07813 810 230
e mail@morganharrisarchitects.com
w www.morganharrisarchitects.com

The Studio
12a May Road
Twickenham
TW2 6QP

private: contact via mha

PURPOSE OF ISSUE

- Information
- Comment
- Consents
- Building Control
- Tender
- Contract
- Construction

7 Railey Mews

Existing & Proposed:
Section A

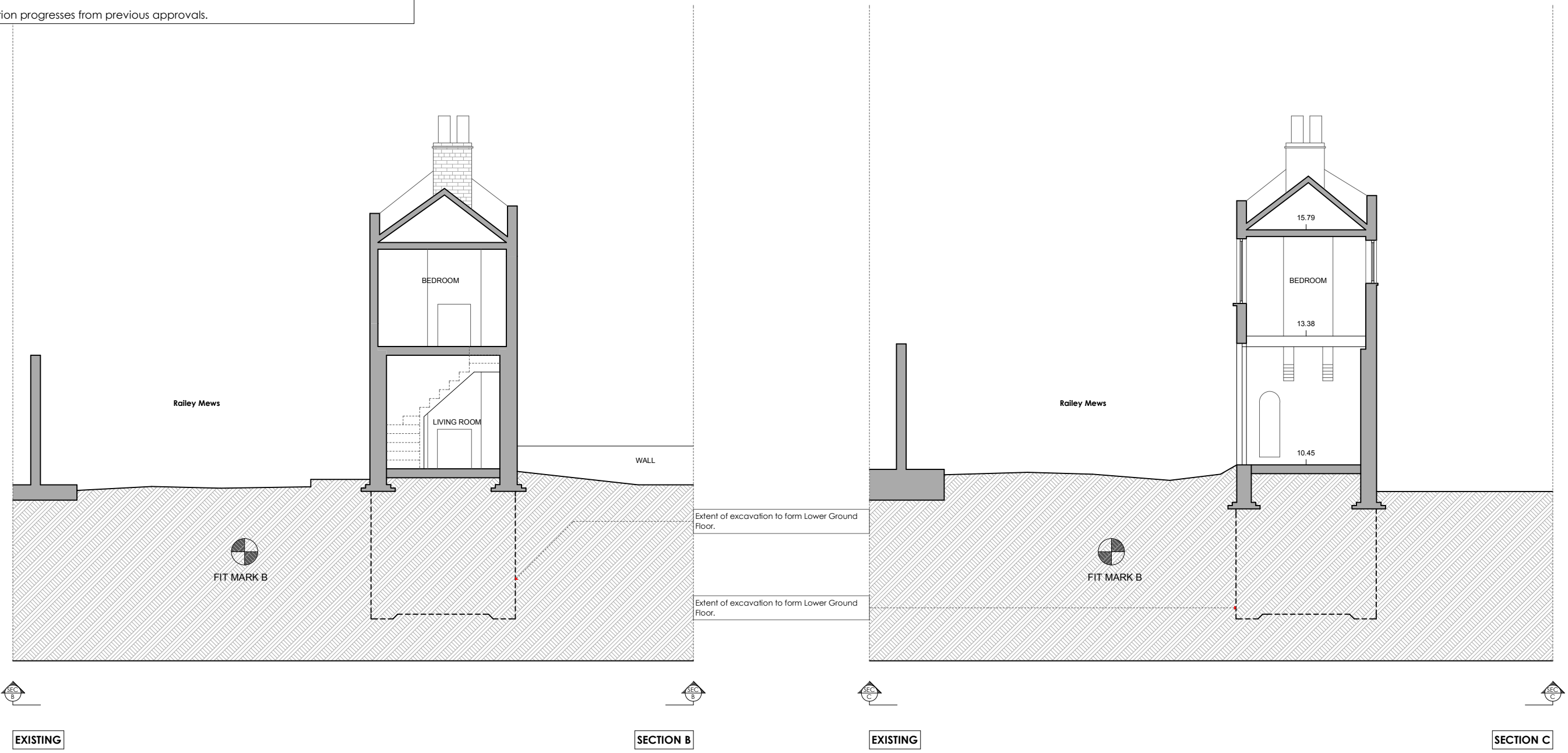
Scale(s)	Date	Dwn. by:	Chd. by:
1:50 @ A1	12.04.11	GMH	GMH
1:100 @ A3			
Project No.:	Drawing No.:		Rev.:
AG150e	030		(-)

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Railey Mews

Existing:
Sections B & C

Scale(s):	Date:	Dwn. by:	Chd. by:
1:50 @ A1	12.04.11	GMH	GMH
1:100 @ A3			
Project No.:	Drawing No.:		Rev.:
AG150e	031-01		(-)

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NOTE: Mansard Roof previously approved for 7 Railey Mews as per application 2011/0564/P

Tiles to be either re-used from site or natural slate replacement (if necessary).

Existing chimney stack to be raised as necessary in materials to match existing. Existing pots retained and re-used.

Existing chimney stack to be raised as necessary in materials to match existing. Existing pots retained and re-used.

Brickwork and parapet raised to match existing adjacent parapet level and to accommodate mansard roof structure.

Chimney stack made from re-used materials from site including chimney pots and bricks. Though not a functioning stack this will give a visual break between two properties.

Double glazed timber framed sash windows within lead clad dormers. All glass to be obscured to prevent views to rear of Leverton Street. Lower sash fixed in place to prevent opening. Upper sash opening for ventilation only.

Brickwork and parapet raised to match existing adjacent parapet level and to accommodate mansard roof structure.

Proposed double glazed timber framed traditional sash windows.

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Proposed double glazed timber framed traditional sash windows.

Extent of excavation to form Lower Ground Floor. No deeper than 4000mm below existing floor level.

Lower Ground Floor walls to be constructed in re-inforced concrete laid in sequence to underpin existing property. Internal membrane by Newton Delta or equivalent allow for internal drainage of wall to proposed waste route. All works in compliance with GPDO as contained within footprint of existing property - no external lightwells required.

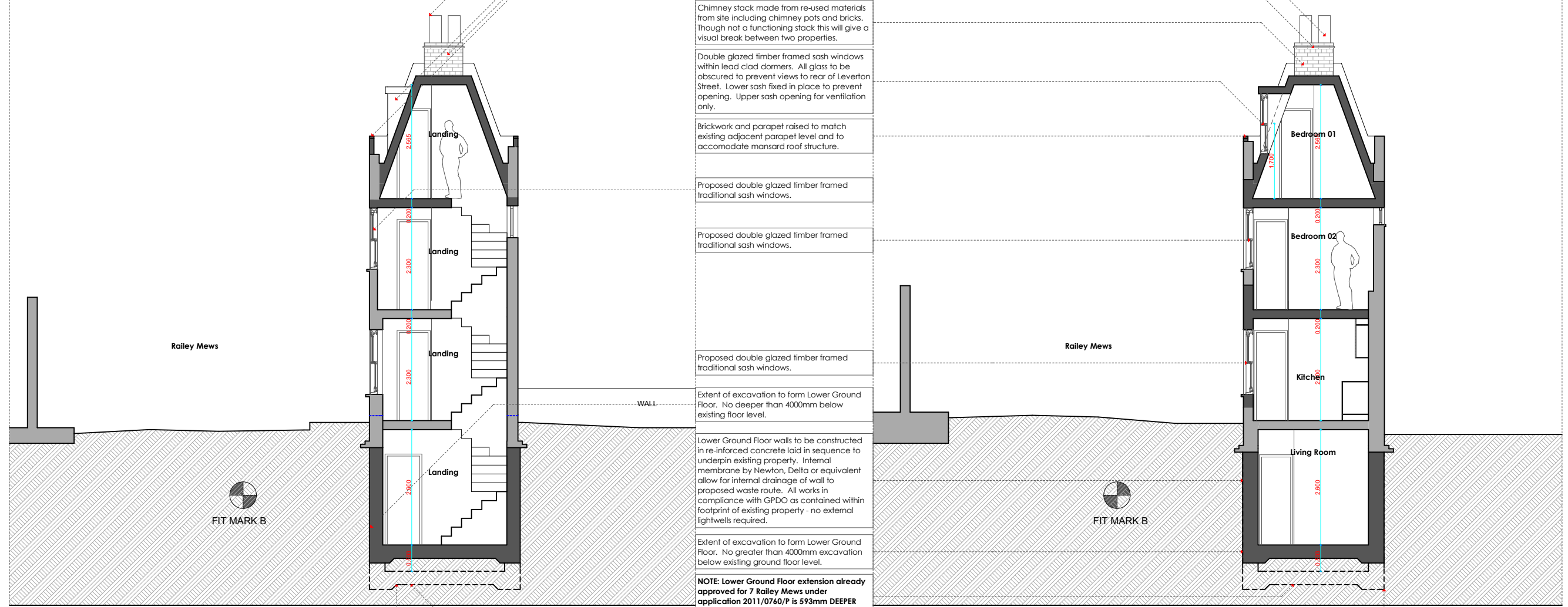
Extent of excavation to form Lower Ground Floor. No greater than 4000mm excavation below existing ground floor level.

NOTE: Lower Ground Floor extension already approved for 7 Railey Mews under application 2011/0760/P is 593mm DEEPER than is being proposed with this application.

NOTE: This planning application is only required for creation of Lower Ground Floor at 6 Railey Mews floor to an anomaly within the planning system: Permitted Development rights cannot be utilised for No.6 Railey Mews until the property has been made habitable. Permission has been granted for Lower Ground Floor to No.7 Railey Mews already as per 2011/0760/P. Should this new application be refused our client will be forced to build No.6 Railey Mews as approved to make the property habitable and then implement his Permitted Development rights to create the Lower Ground Floor. This would mean additional site works and disturbance to neighbouring properties and also great additional expense to our client and to his daughter who is to move into this property once works are concluded.

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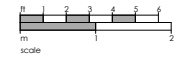
PROPOSED

SECTION B

PROPOSED

SECTION C

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