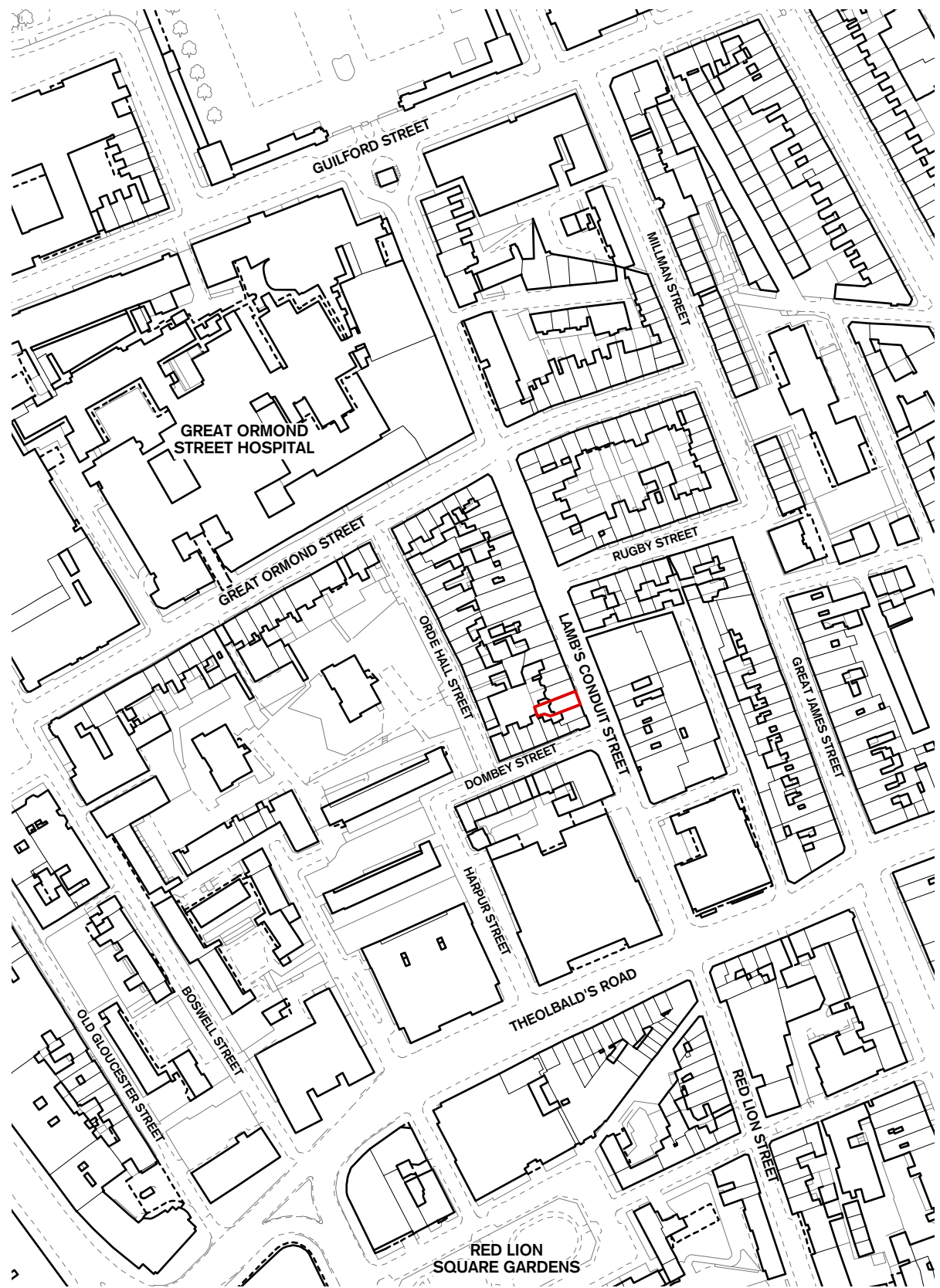


Planning Application Drawings:

(A3 reductions)

321.PL.001	Location Plan
321.PL.002	Block Plan
321.PL.004	Proposed : Lower Floor Plans
321.PL.005	Proposed : Upper Floor Plans
321.PL.006	Proposed : Section AA
321.PL.007	Proposed : Section BB
321.PL.008	Proposed : Front and Rear Elevations
321.PL.009	Proposed : Neighbouring Garden Elevations
321.PL.010	Existing : Lower Floor Plans
321.PL.011	Existing : Upper Floor Plans
321.PL.012	Existing : Section AA
321.PL.013	Existing : Section BB
321.PL.014	Existing : Front and Rear Elevations
321.PL.020	Proposed Joinery : Plan Detail
321.PL.021	Proposed Joinery : Section Detail
321.PL.022	Proposed Joinery : Elevation Detail
321.PL.023	Proposed Joinery : Detail



DRAWING: **LOCATION PLAN**

CLIENT: Connock & Lockie, Ltd.
PROJECT: 33/33a Lamb's Conduit Street

DRAWING NO: **321.PL.001**
SCALE: 1:1250@A1, 1:2500@A3
DATE: **June 2013**
DRAWING STATUS: **Planning**

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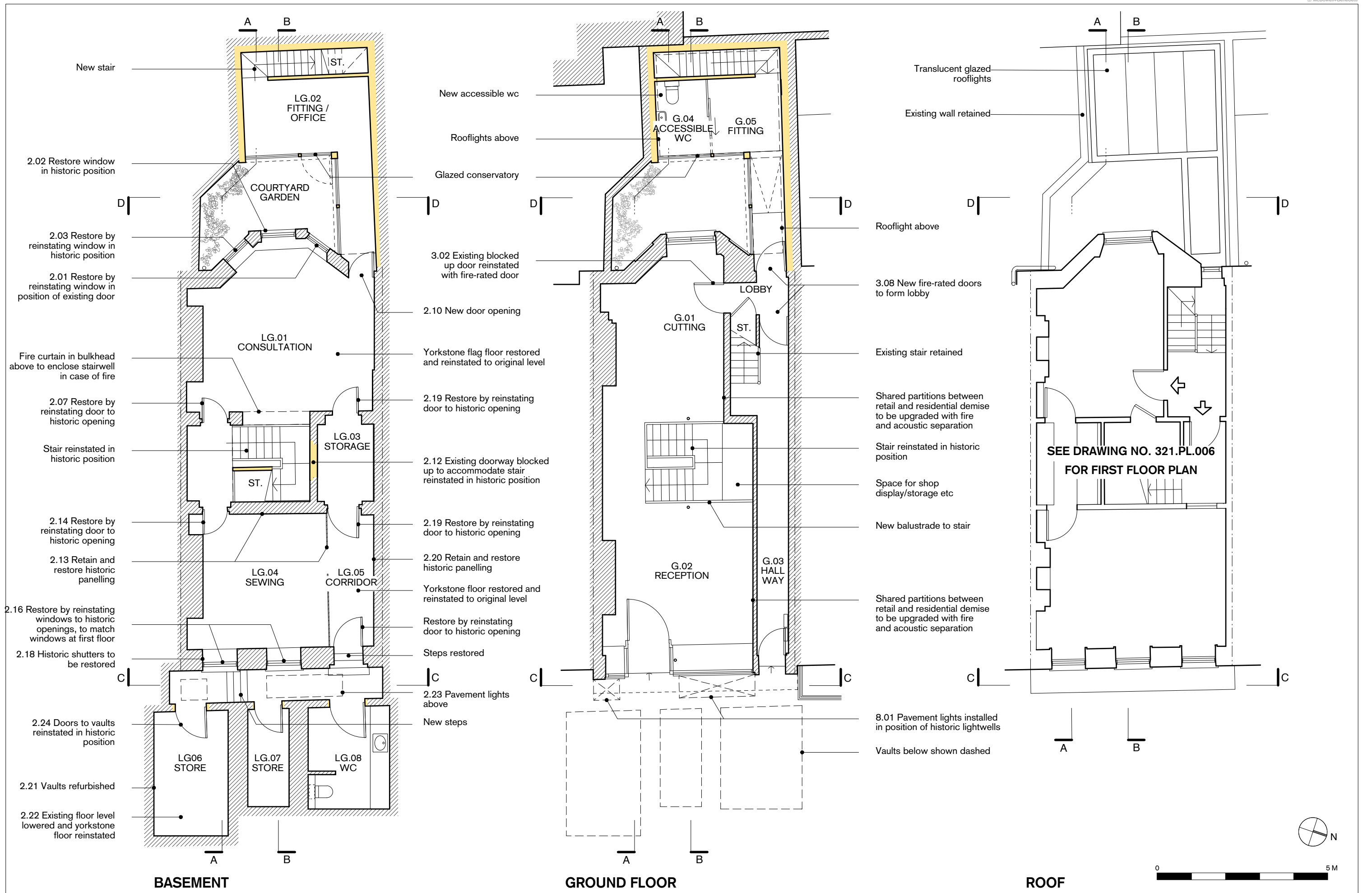
DRAWING: **BLOCK PLAN**

CLIENT: Connock & Lockie, Ltd.
PROJECT: 33/33a Lamb's Conduit Street

DRAWING NO: **321.PL.002**
SCALE: 1:250@A1, 1:500@A3
DATE: June 2013
DRAWING STATUS: Planning

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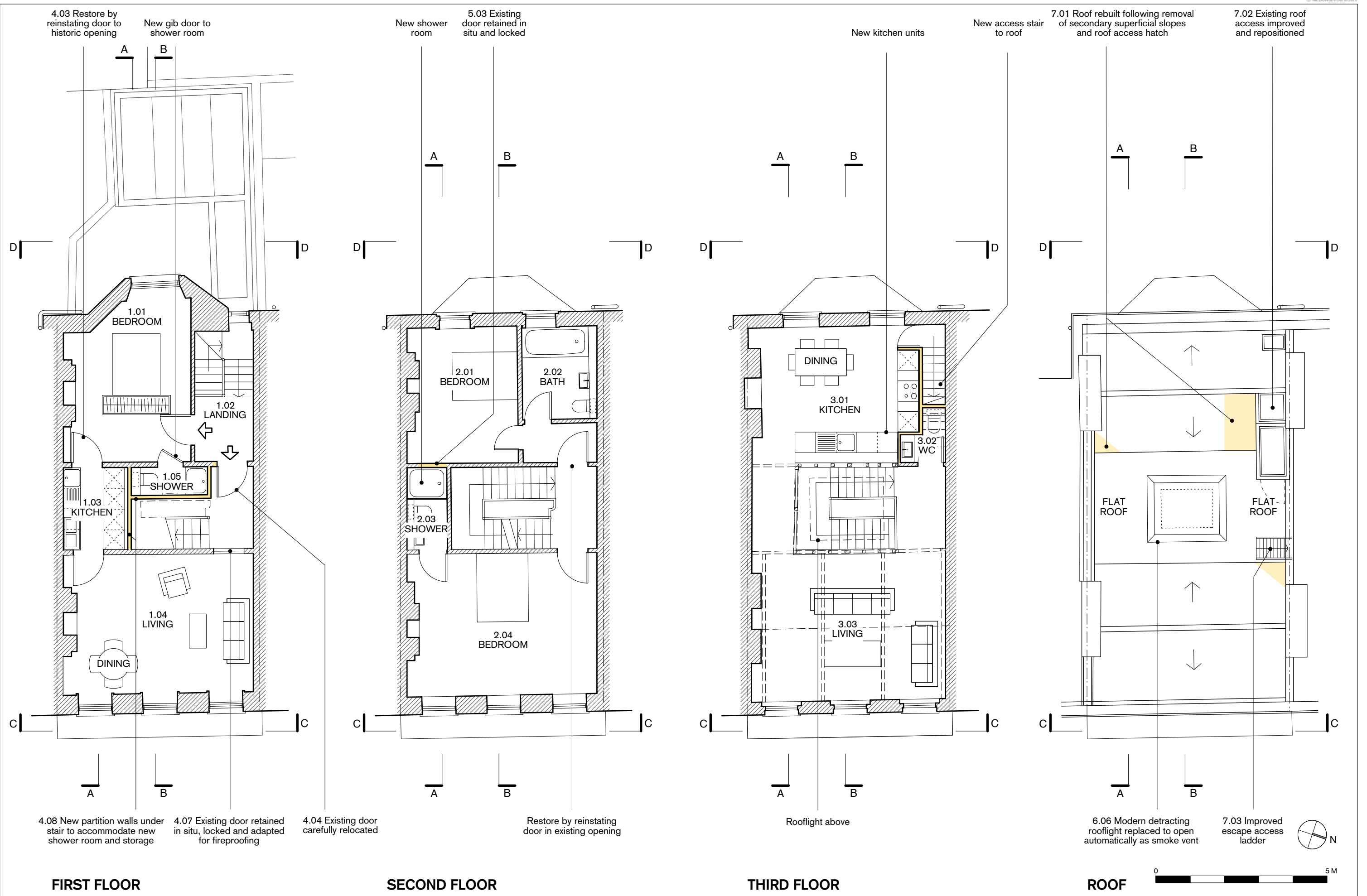
DRAWING: PROPOSED - LOWER FLOOR PLANS

CLIENT: Connock & Lockie, Ltd.
PROJECT: 33/33a Lamb's Conduit Street

DRAWING NO: 321.PL.004
SCALE: 1:50@A1, 1:100@A3
DATE: June 2013
DRAWING STATUS: Planning

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DRAWING: PROPOSED - UPPER FLOOR PLANS

CLIENT: Connock & Lockie, Ltd.
PROJECT: 33/33a Lamb's Conduit Street

FLAT 1 - 44sqm
FLAT 2 - 104 sqm

DRAWING NO: 321.PL.005
SCALE: 1:50@A1, 1:100@A3
DATE: June 2013
DRAWING STATUS: Planning

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DRAWING: **PROPOSED - SECTION AA**

CLIENT: Connock & Lockie, Ltd.
 PROJECT: 33/33a Lamb's Conduit Street

DRAWING NO: **321.PL.006**
 SCALE: 1:50@A1, 1:100@A3
 DATE: June 2013
 DRAWING STATUS: Planning

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DRAWING: **PROPOSED - SECTION BB**

CLIENT: **Connock & Lockie, Ltd.**

PROJECT: **33/33a Lamb's Conduit Street**

DRAWING NO: **321.PL.007**

SCALE: **1:50@A1, 1:100@A3**

DATE: **June 2013**

DRAWING STATUS: **Planning**

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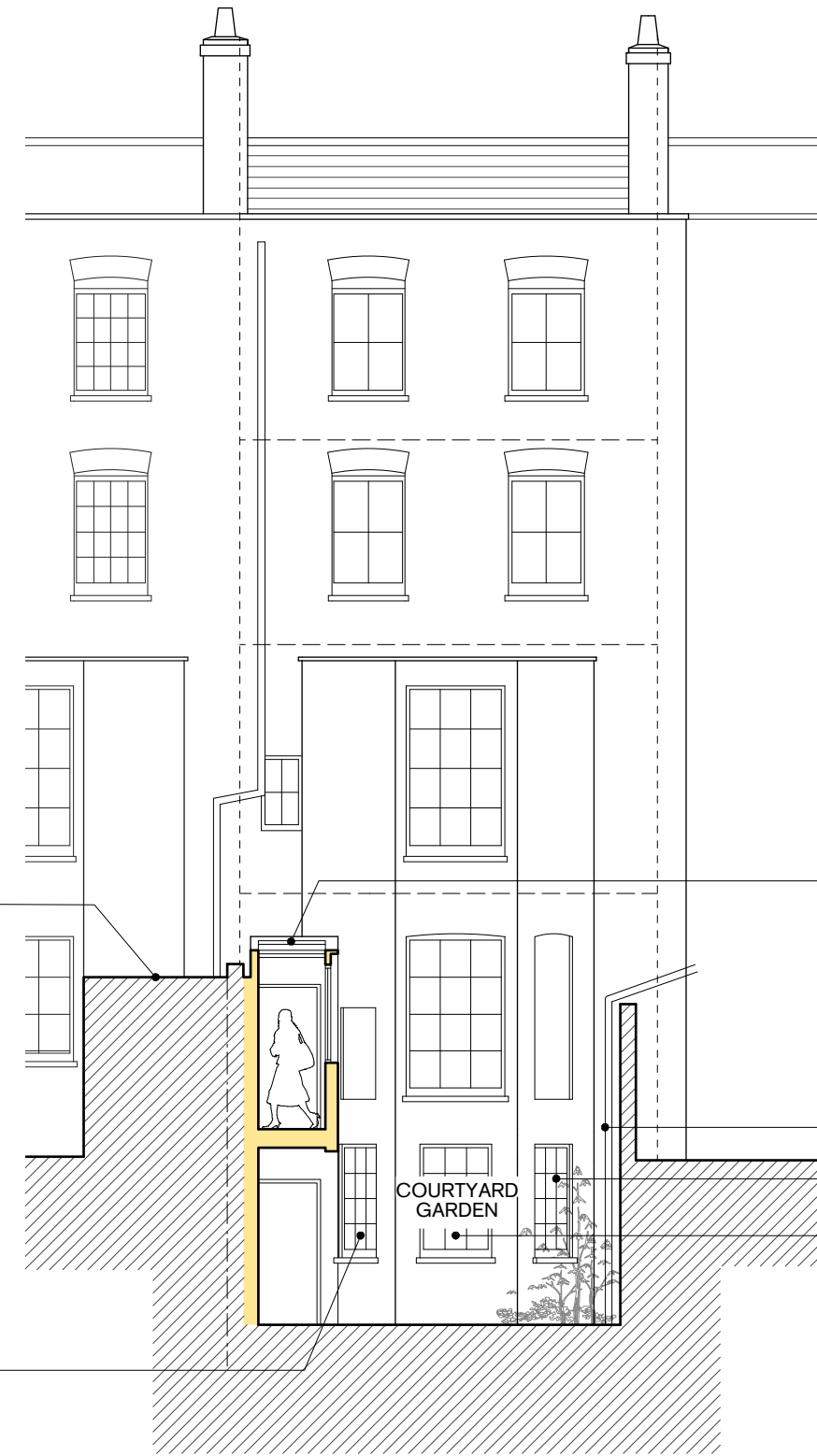


2.16 Restore by reinstating windows to historic openings, to match windows at first floor

Vaults behind shown dashed

2.22 Existing floor level lowered and yorkstone floor reinstated

FRONT ELEVATION / SECTION CC



Approximate position of adjacent extension to 35 Lamb's Conduit Street

8.01 Pavement lights installed in position of historic lightwells

Restore by reinstating door to historic opening

2.01 Restore by reinstating window in position of existing door

Steps restored

Glazed link to conservatory

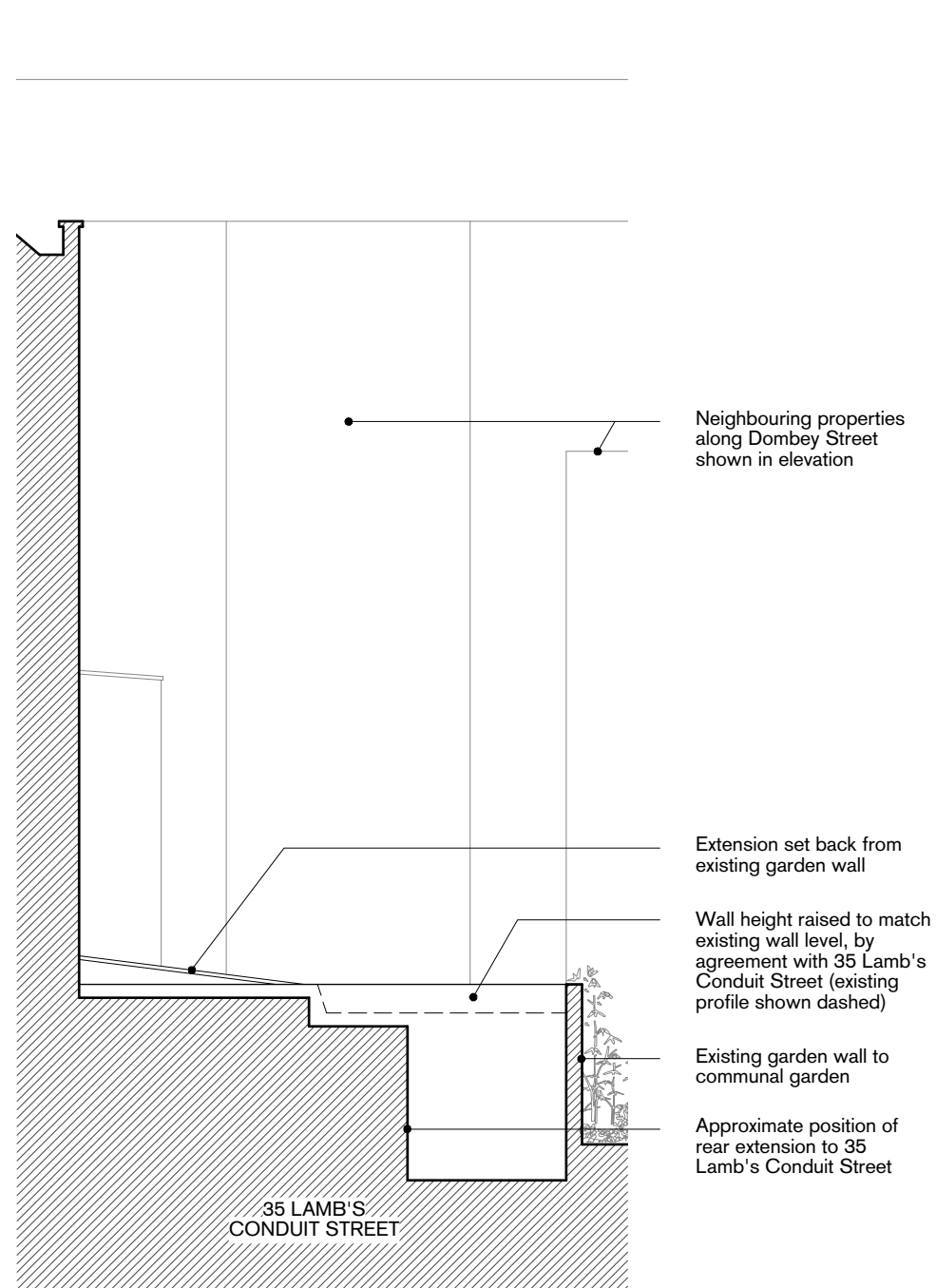
Rainwater pipe simplified

2.03 Restore by reinstating new window in historic position

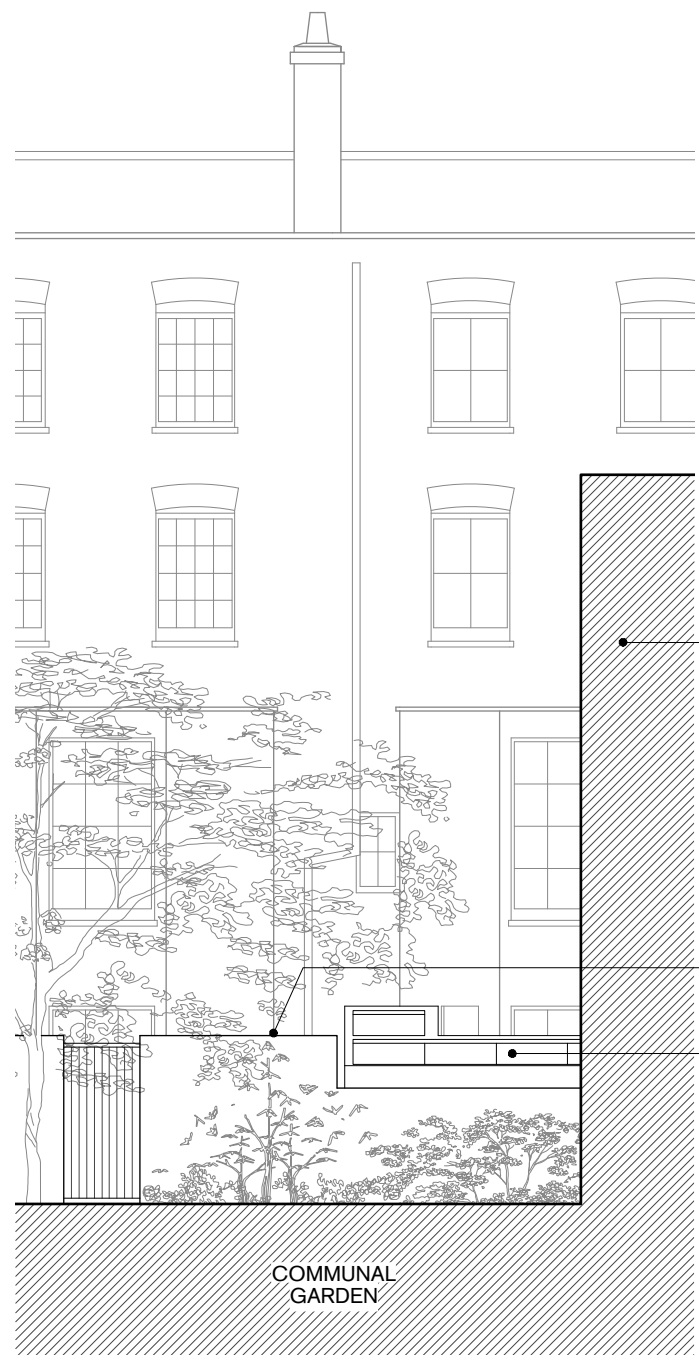
2.02 Restore window in historic position

REAR ELEVATION / SECTION DD

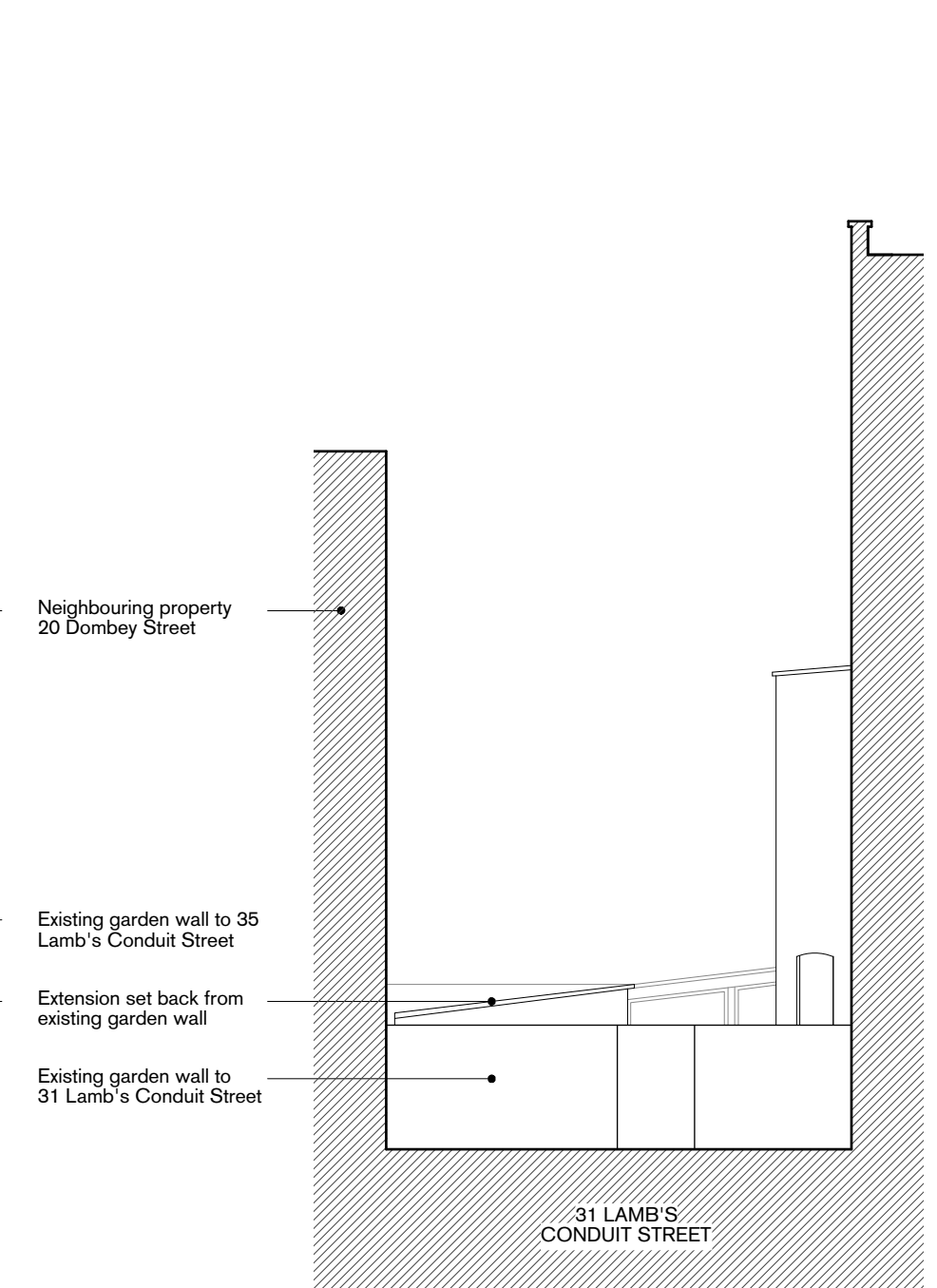




NORTH ELEVATION



WEST ELEVATION



SOUTH ELEVATION

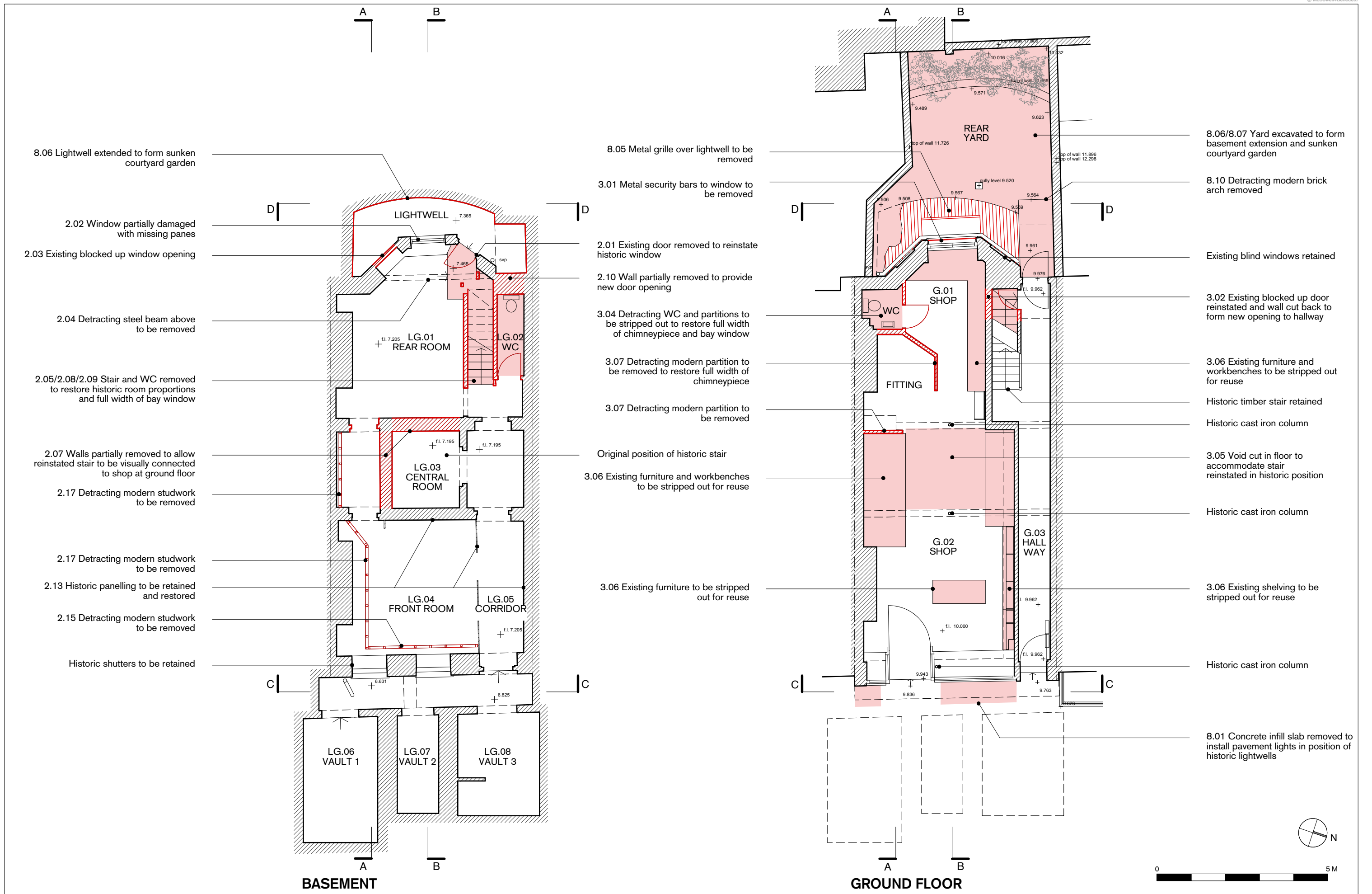


DRAWING: **PROPOSED** - NEIGHBOURING GARDEN ELEVATIONS

CLIENT: Connock & Lockie, Ltd.
PROJECT: 33/33a Lamb's Conduit Street

DRAWING NO: **321.PL.009**
SCALE: 1:50@A1, 1:100@A3
DATE: June 2013
DRAWING STATUS: Planning

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8.06 Lightwell extended to form sunken courtyard garden

2.02 Window partially damaged with missing panes

2.03 Existing blocked up window opening

2.04 Detracting steel beam above to be removed

2.05/2.08/2.09 Stair and WC removed to restore historic room proportions and full width of bay window

2.07 Walls partially removed to allow reinstated stair to be visually connected to shop at ground floor

2.17 Detracting modern studwork to be removed

2.17 Detracting modern studwork to be removed

2.13 Historic panelling to be retained and restored

2.15 Detracting modern studwork to be removed

Historic shutters to be retained

8.05 Metal grille over lightwell to be removed

3.01 Metal security bars to window to be removed

2.01 Existing door removed to reinstate historic window

2.10 Wall partially removed to provide new door opening

3.04 Detracting WC and partitions to be stripped out to restore full width of chimneypiece and bay window

3.07 Detracting modern partition to be removed to restore full width of chimneypiece

3.07 Detracting modern partition to be removed

Original position of historic stair

3.06 Existing furniture and workbenches to be stripped out for reuse

3.06 Existing furniture to be stripped out for reuse

8.06/8.07 Yard excavated to form basement extension and sunken courtyard garden

8.10 Detracting modern brick arch removed

Existing blind windows retained

3.02 Existing blocked up door reinstated and wall cut back to form new opening to hallway

3.06 Existing furniture and workbenches to be stripped out for reuse

Historic timber stair retained

Historic cast iron column

3.05 Void cut in floor to accommodate stair reinstated in historic position

Historic cast iron column

3.06 Existing shelving to be stripped out for reuse

Historic cast iron column

8.01 Concrete infill slab removed to install pavement lights in position of historic lightwells

BASEMENT

GROUND FLOOR



DRAWING: **EXISTING - LOWER FLOOR PLANS**

CLIENT: Connock & Lockie, Ltd.
PROJECT: 33/33a Lamb's Conduit Street

DRAWING NO: **321.PL.010**
SCALE: 1:50@A1, 1:100@A3
DATE: June 2013
DRAWING STATUS: Planning

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4.01/4.02 Detracting WC enclosure and cupboards removed to restore full width of chimneypiece

8.09 Detracting rear extension potentially removed to restore full width of bay window

5.02 Detracting modern cupboards removed

8.09 Detracting rear extension potentially removed to restore full width of bay window

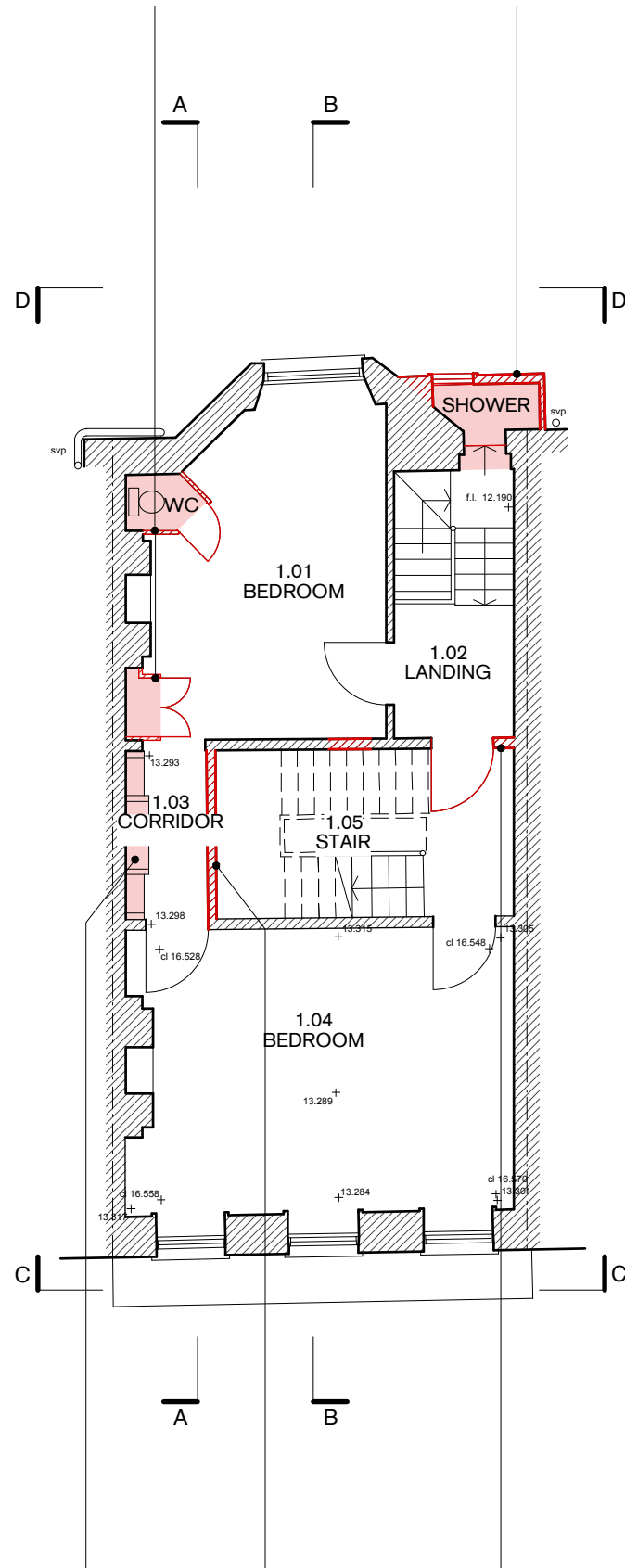
6.01/6.02 Detracting kitchen units removed to reveal full width of chimneypiece

6.03 Detracting modern cupboards removed

7.01 Existing secondary superficial sloped roof removed

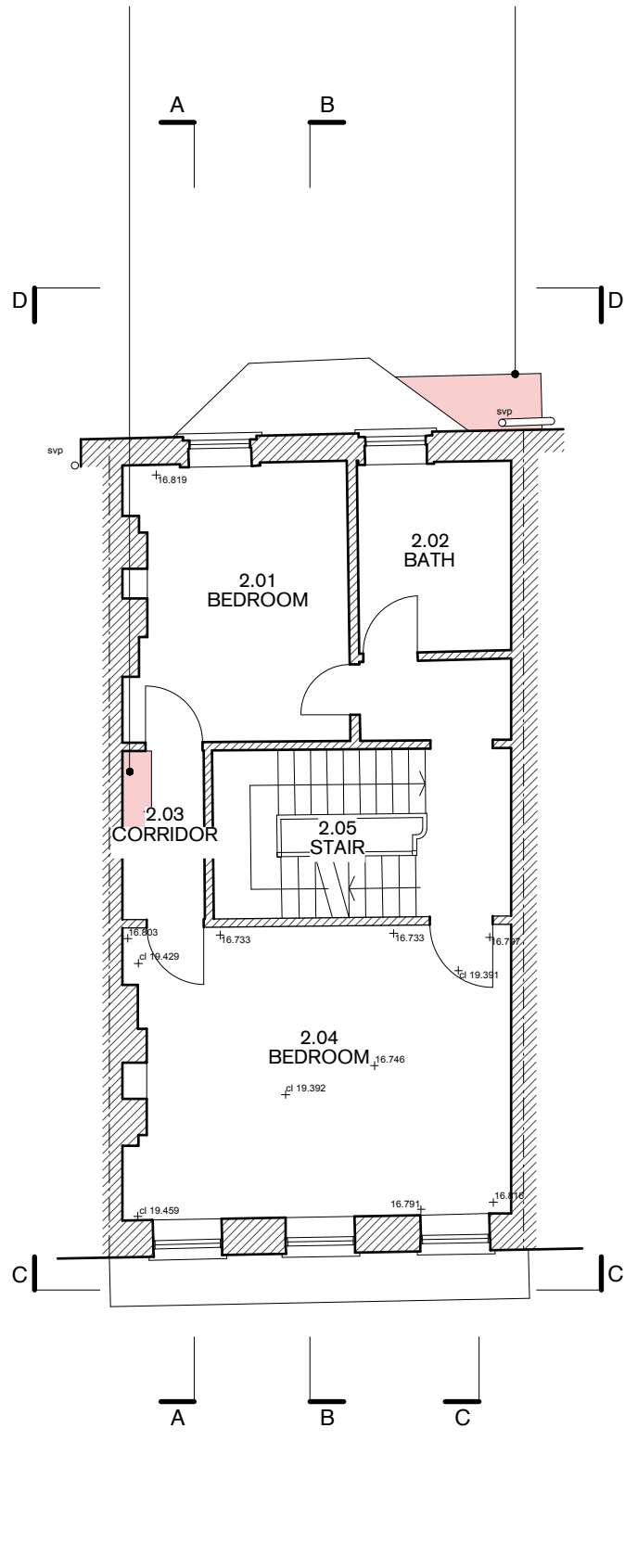
7.02 Existing roof access improved and repositioned

7.01 Existing secondary superficial sloped roof removed

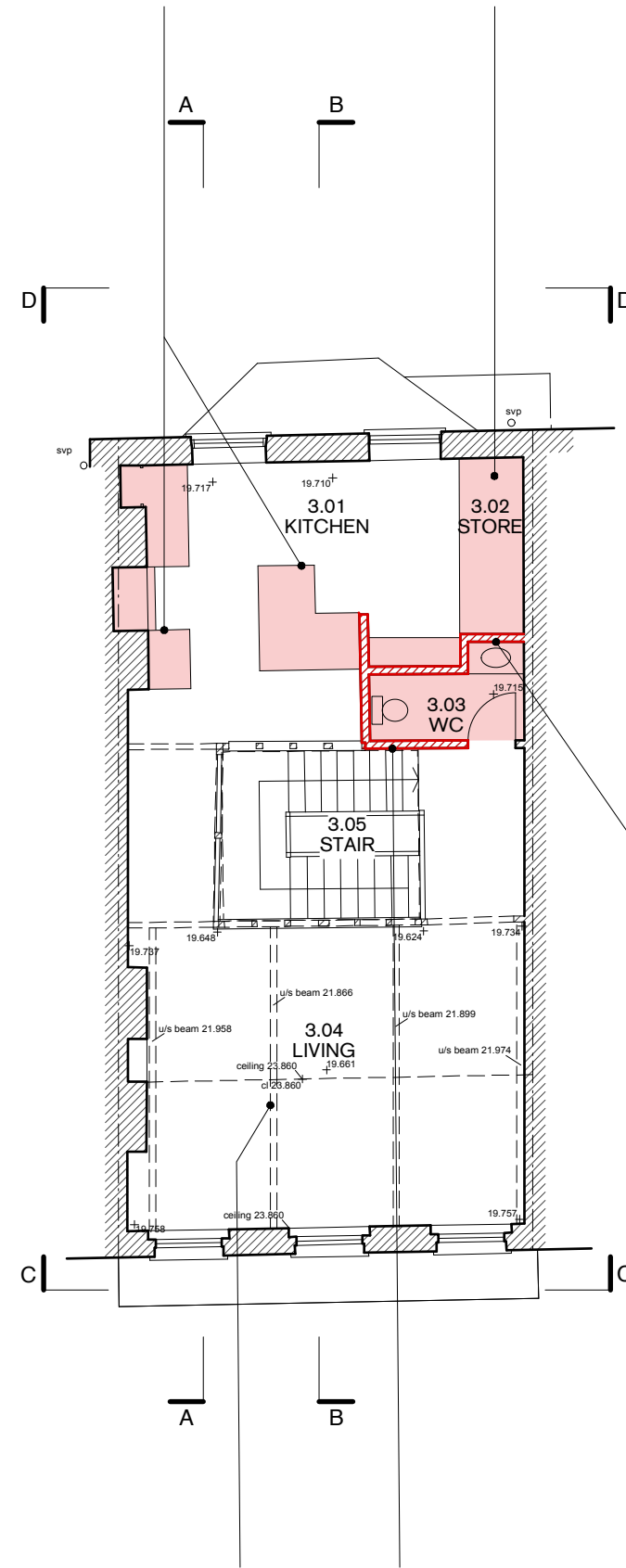


4.06 Detracting modern cupboards removed
 4.05 Historic partition wall partially removed at low level, to provide storage
 4.04 Existing door carefully repositioned

FIRST FLOOR

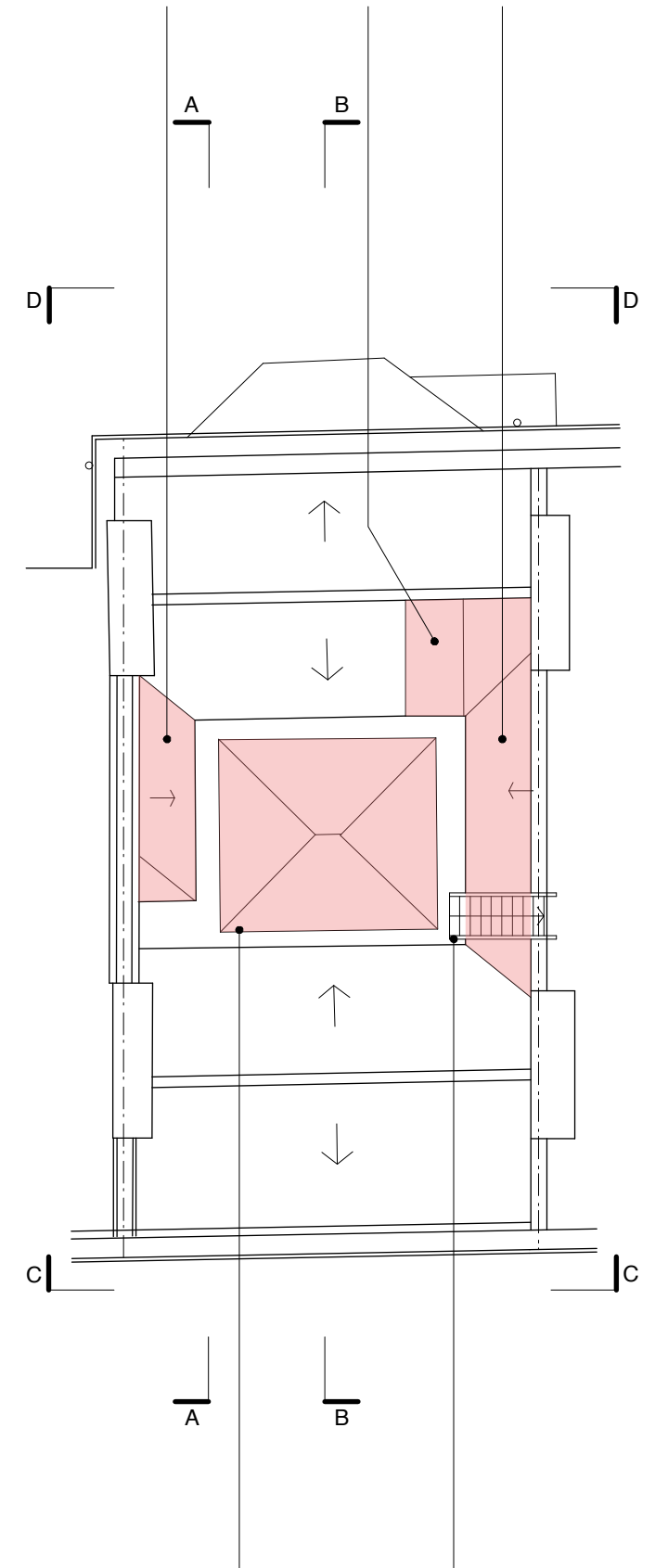


SECOND FLOOR



Exposed roof truss above retained
 6.05 Modern plasterboard removed from historic structure
 6.04 Detracting modern partitioning removed

THIRD FLOOR



6.06 Detracting modern rooflight replaced
 7.03 Ladder access over wall replaced to provide safer means of escape

ROOF



DRAWING: EXISTING - UPPER FLOOR PLANS

CLIENT: Connock & Lockie, Ltd.
PROJECT: 33/33a Lamb's Conduit Street

DRAWING NO: 321.PL.011
 SCALE: 1:50@A1, 1:100@A3
 DATE: June 2013
 DRAWING STATUS: Planning

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7.01 Existing secondary superficial sloped roof to be removed

Exposed roof truss retained

5.02 Detracting modern cupboards removed

4.06 Detracting modern cupboards removed

3.06 Existing furniture and workbenches to be stripped out for reuse

2.17 Modern detracting studwork to be removed



6.01/6.02 Detracting kitchen units removed to reveal full width of chimneypiece

4.01 Detracting WC enclosure removed to restore full width of chimneypiece

4.02 Detracting cupboards removed to restore full width of chimneypiece

3.07 Detracting partition walls to be removed to restore full width of chimneypiece

3.04 Detracting WC and partitions to be stripped out to restore full width of chimneypiece

8.05 Metal grille over lightwell to be removed

8.06/8.07 Yard excavated and lightwell extended to form basement extension and sunken courtyard



DRAWING: **EXISTING - SECTION AA**

CLIENT: Connock & Lockie, Ltd.
PROJECT: 33/33a Lamb's Conduit Street

DRAWING NO: **321.PL.012**
SCALE: 1:50@A1, 1:100@A3
DATE: June 2013
DRAWING STATUS: Planning

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6.06 Detracting modern
rooflight replaced

7.02 Existing roof access
improved and repositioned

Historic timber studwork retained

7.01 Existing secondary
superficial sloped roof removed

Exposed roof truss retained



3.01 Metal security bars to
window to be removed

8.05 Metal grille over
lightwell to be removed

2.04 Detracting steel beam
to be removed

8.06/8.07 Yard excavated and
lightwell extended to form
basement extension and sunken
courtyard

Original position of historic stair

3.06 Existing furniture and
workbenches to be stripped
out for reuse

2.13 Historic panelling to
be retained and restored

2.15 Detracting modern
studwork to be removed



DRAWING: **EXISTING - SECTION BB**

CLIENT: Connock & Lockie, Ltd.
PROJECT: 33/33a Lamb's Conduit Street

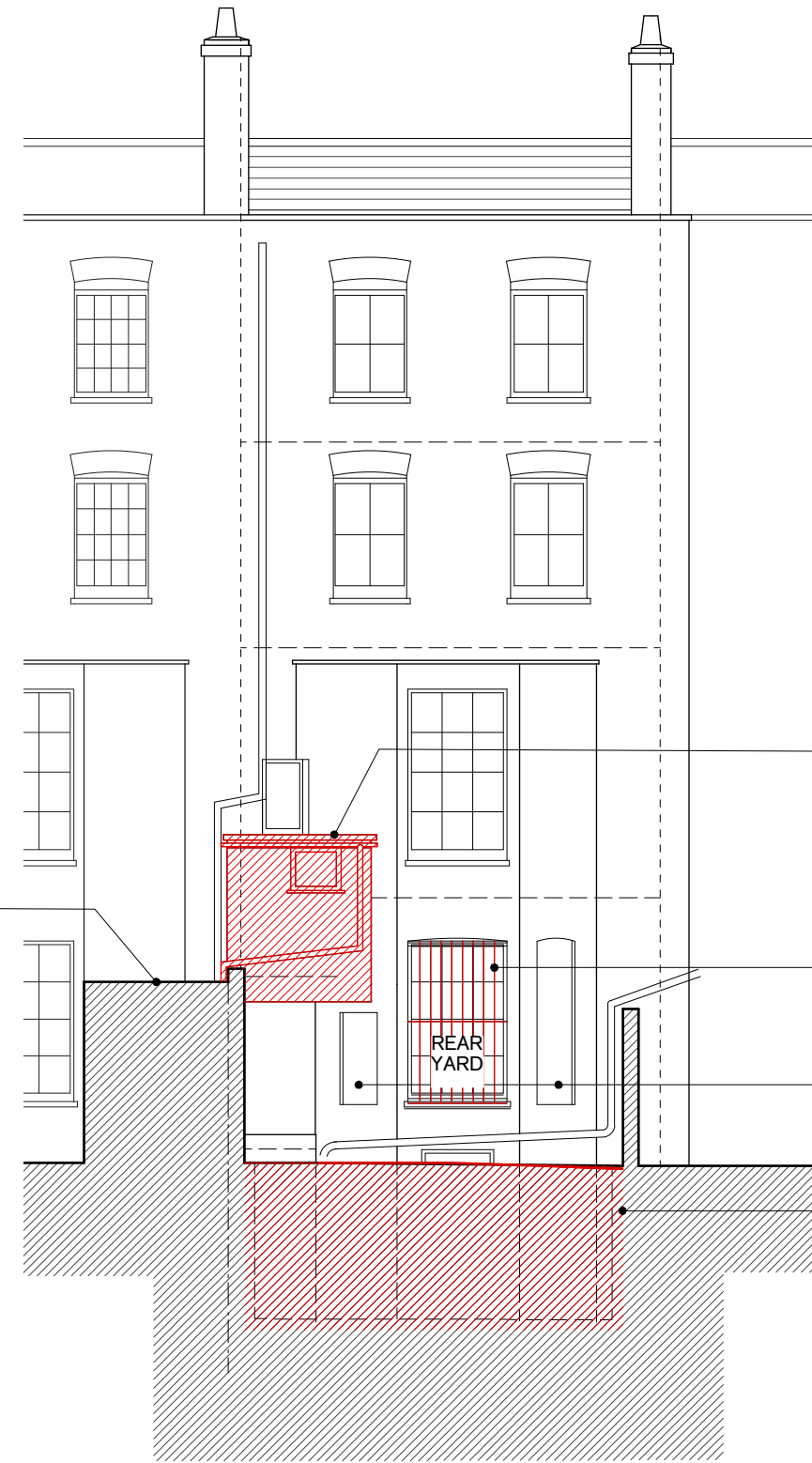
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SCALE: 1:50@A1, 1:100@A3
DATE: June 2013
DRAWING STATUS: Planning

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FRONT ELEVATION / SECTION CC



REAR ELEVATION / SECTION DD

8.09 Detracting rear extension potentially removed to restore full width of bay window

3.01 Metal security bars to window to be removed

Existing blind windows retained

8.06/8.07 Yard excavated and lightwell extended to form basement extension and sunken courtyard

Approximate position of adjacent extension to 35 Lamb's Conduit Street

8.04 Existing security shutters to be upgraded

8.01 Concrete infill slab removed to install pavement lights in position of historic lightwells

Vaults behind shown dashed



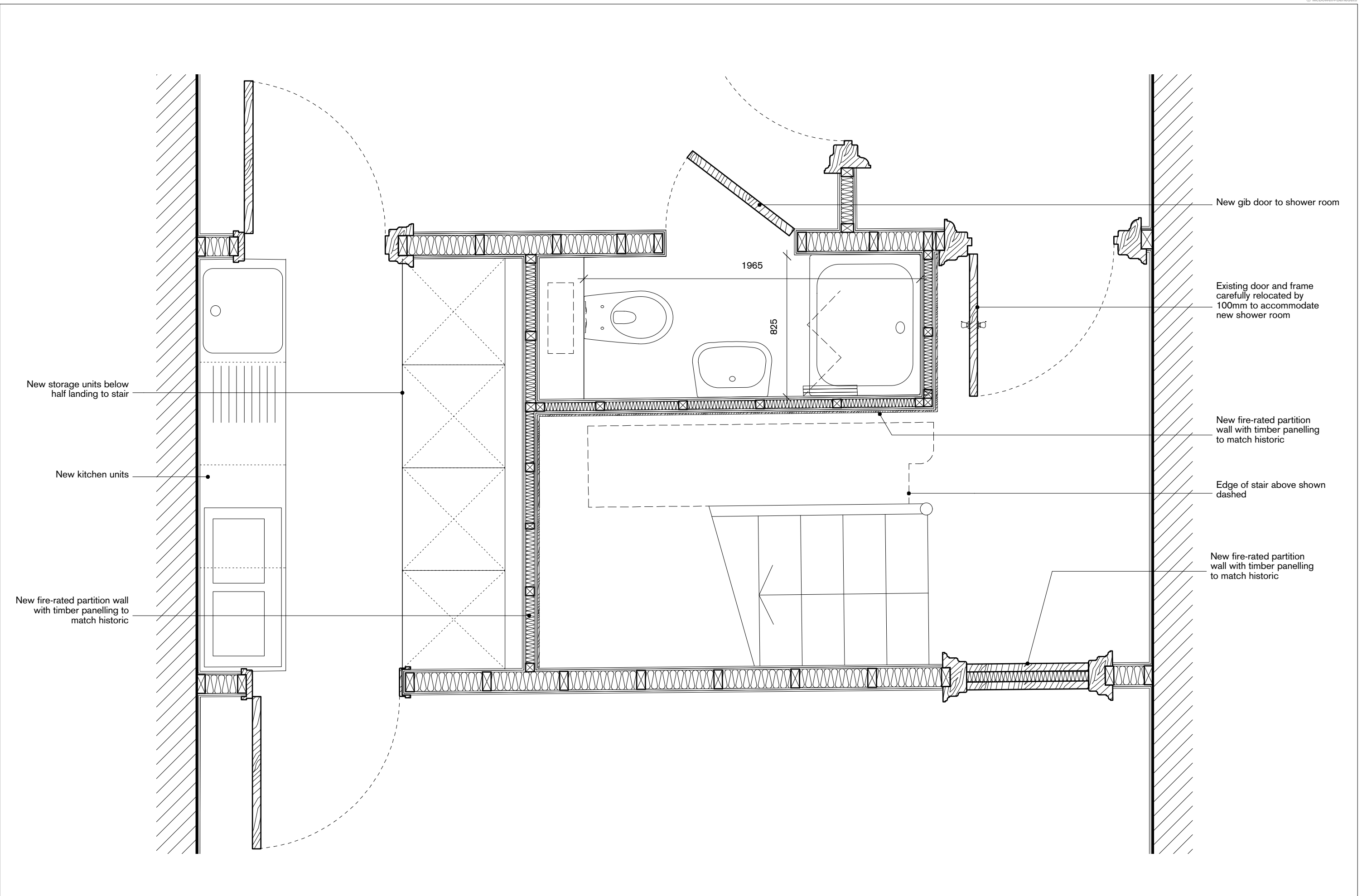
DRAWING: **EXISTING** - FRONT AND REAR ELEVATIONS

CLIENT: Connock & Lockie, Ltd.
PROJECT: 33/33a Lamb's Conduit Street

DRAWING NO: **321.PL.014**
SCALE: 1:50@A1, 1:100@A3
DATE: June 2013
DRAWING STATUS: Planning

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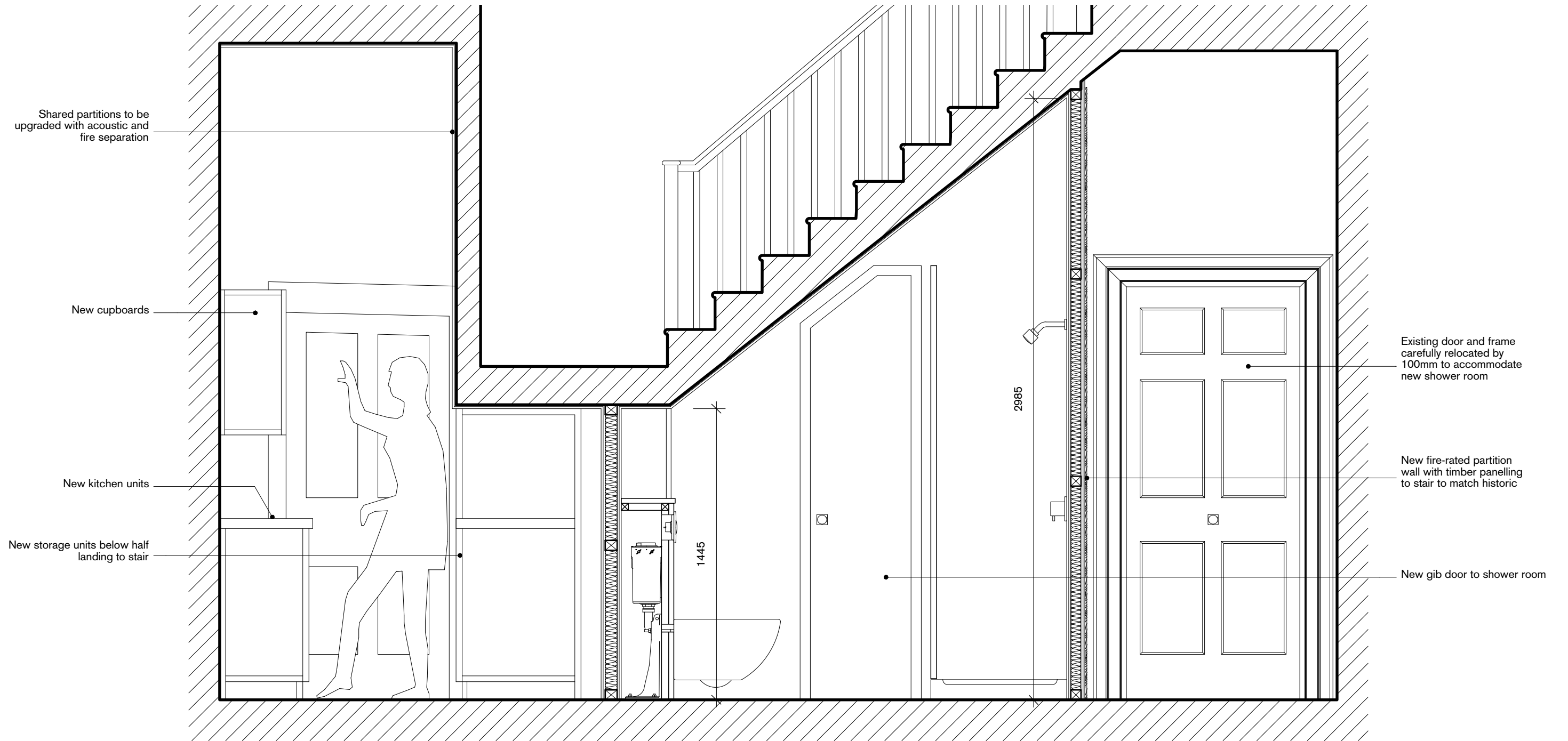
DRAWING: **PROPOSED JOINERY - PLAN DETAIL**

CLIENT: Connock & Lockie, Ltd.
PROJECT: 33/33a Lamb's Conduit Street

DRAWING NO: **321.PL.020**
SCALE: 1:10@A1, 1:20 @ A3
DATE: **June 2013**
DRAWING STATUS: **Planning**

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DRAWING: **PROPOSED JOINERY - SECTION DETAIL**

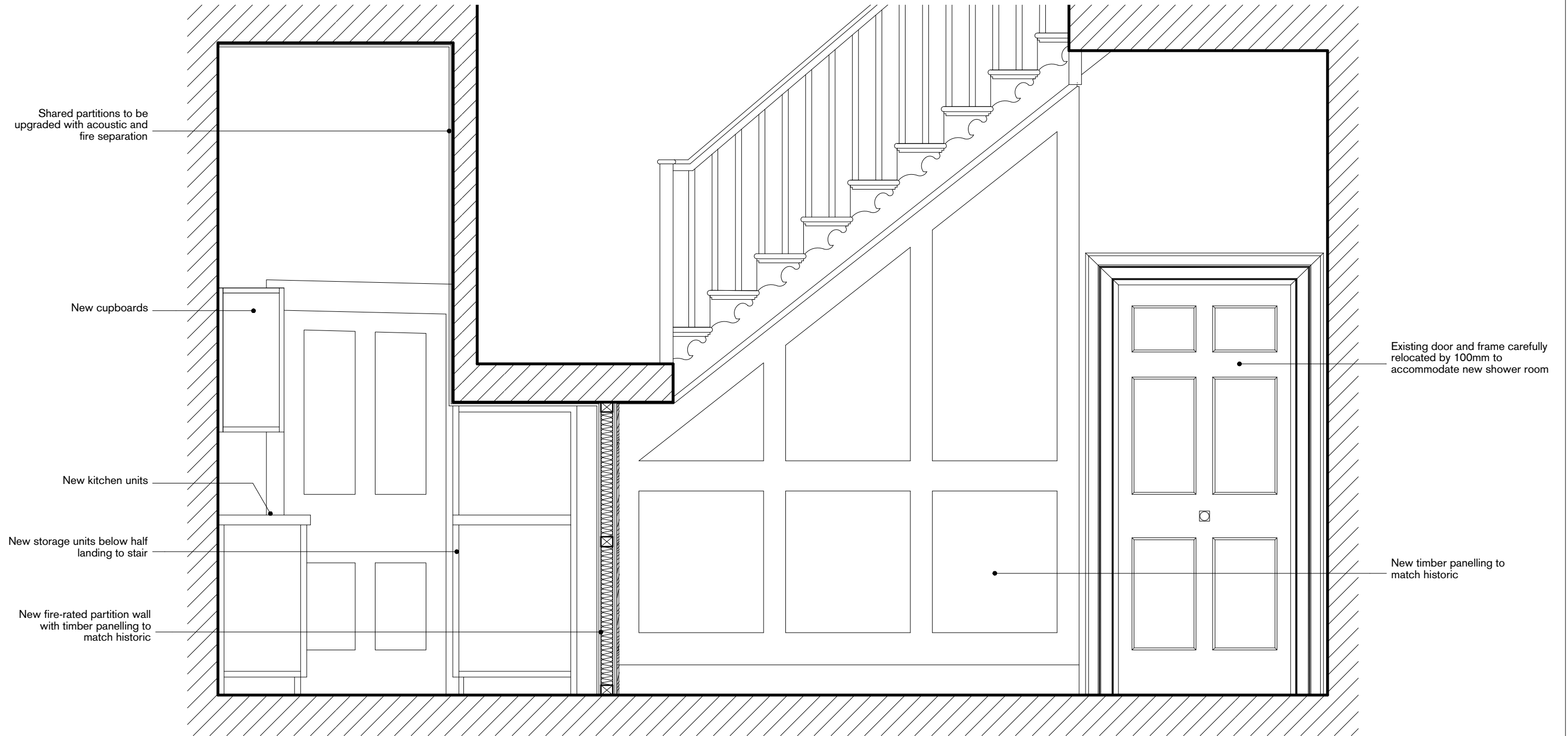
CLIENT: Connock & Lockie, Ltd.
PROJECT: 33/33a Lamb's Conduit Street

DRAWING NO: **321.PL.021**
SCALE: 1:10@A1, 1:20 @ A3
DATE: **June 2013**
DRAWING STATUS: **Planning**

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DRAWING: **PROPOSED JOINERY - ELEVATION DETAIL**

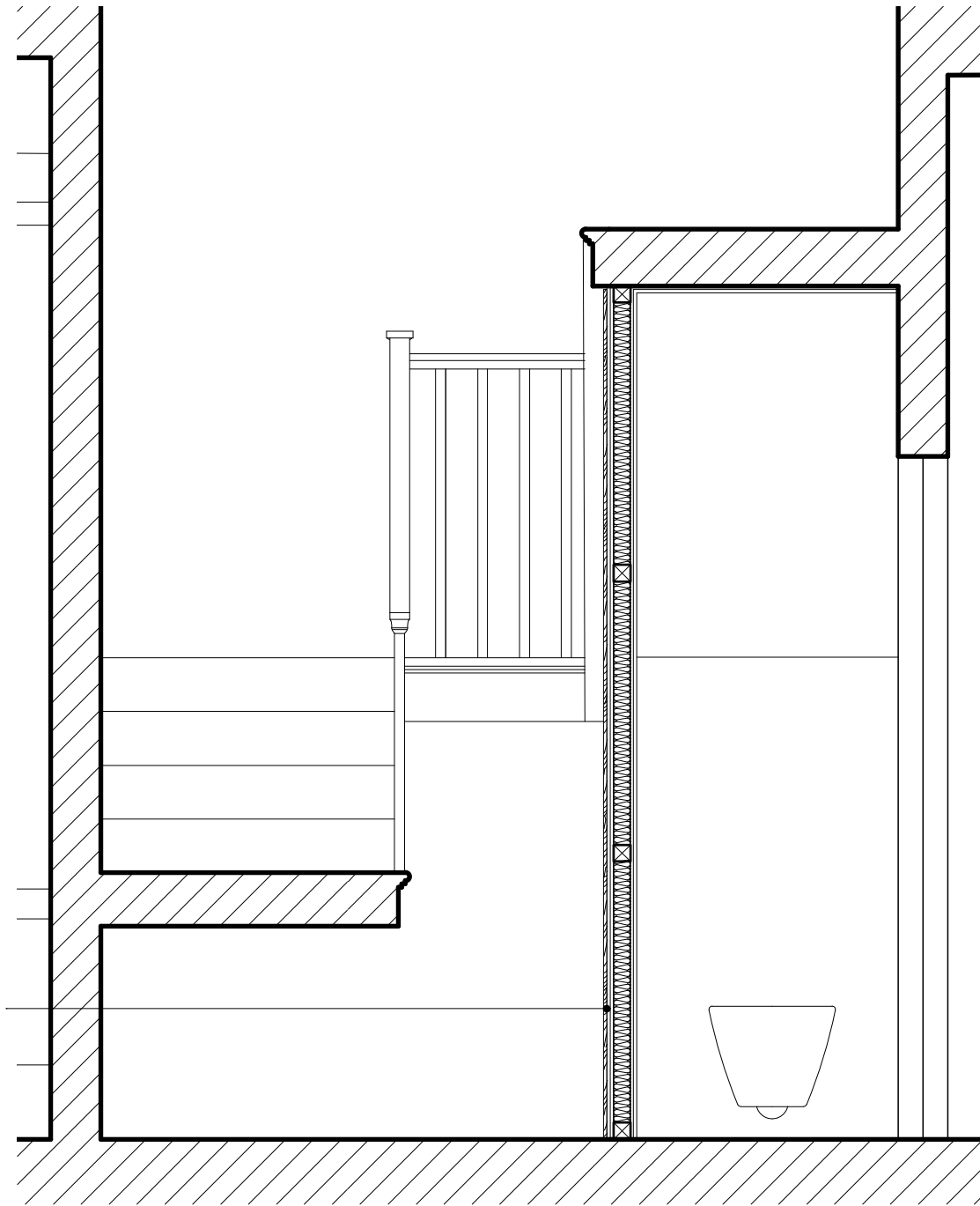
CLIENT: **Connock & Lockie, Ltd.**
PROJECT: **33/33a Lamb's Conduit Street**

DRAWING NO: **321.PL.022**
SCALE: **1:10@A1, 1:20 @ A3**
DATE: **June 2013**
DRAWING STATUS: **Planning**

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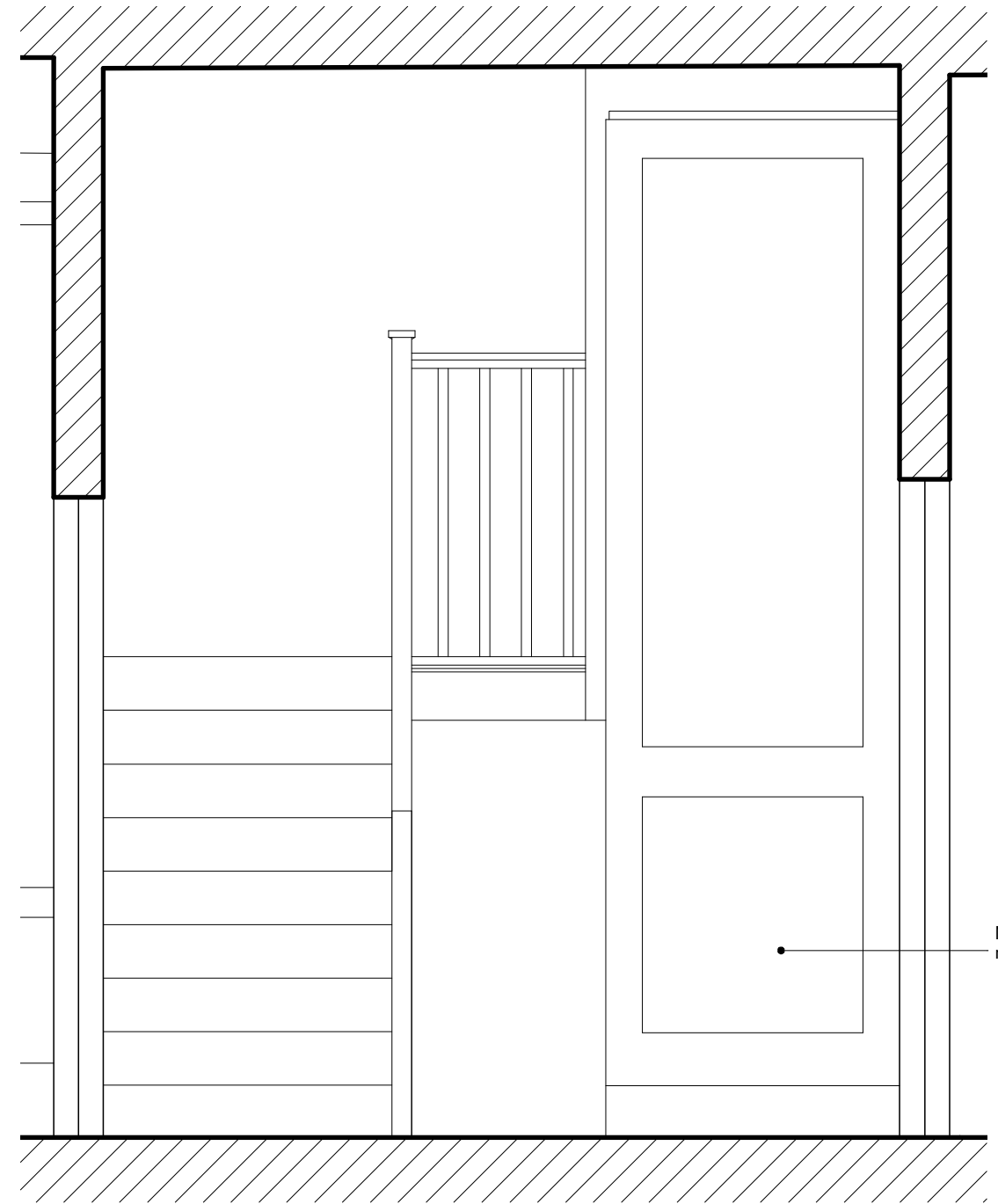
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New fire-rated partition wall with timber panelling to stair to match historic

SECTION



New timber panelling to match historic

ELEVATION

DRAWING: PROPOSED JOINERY - DETAIL

CLIENT: Connock & Lockie, Ltd.
PROJECT: 33/33a Lamb's Conduit Street

DRAWING NO: 321.PL.023
SCALE: 1:10@A1, 1:20 @ A3
DATE: June 2013
DRAWING STATUS: Planning

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