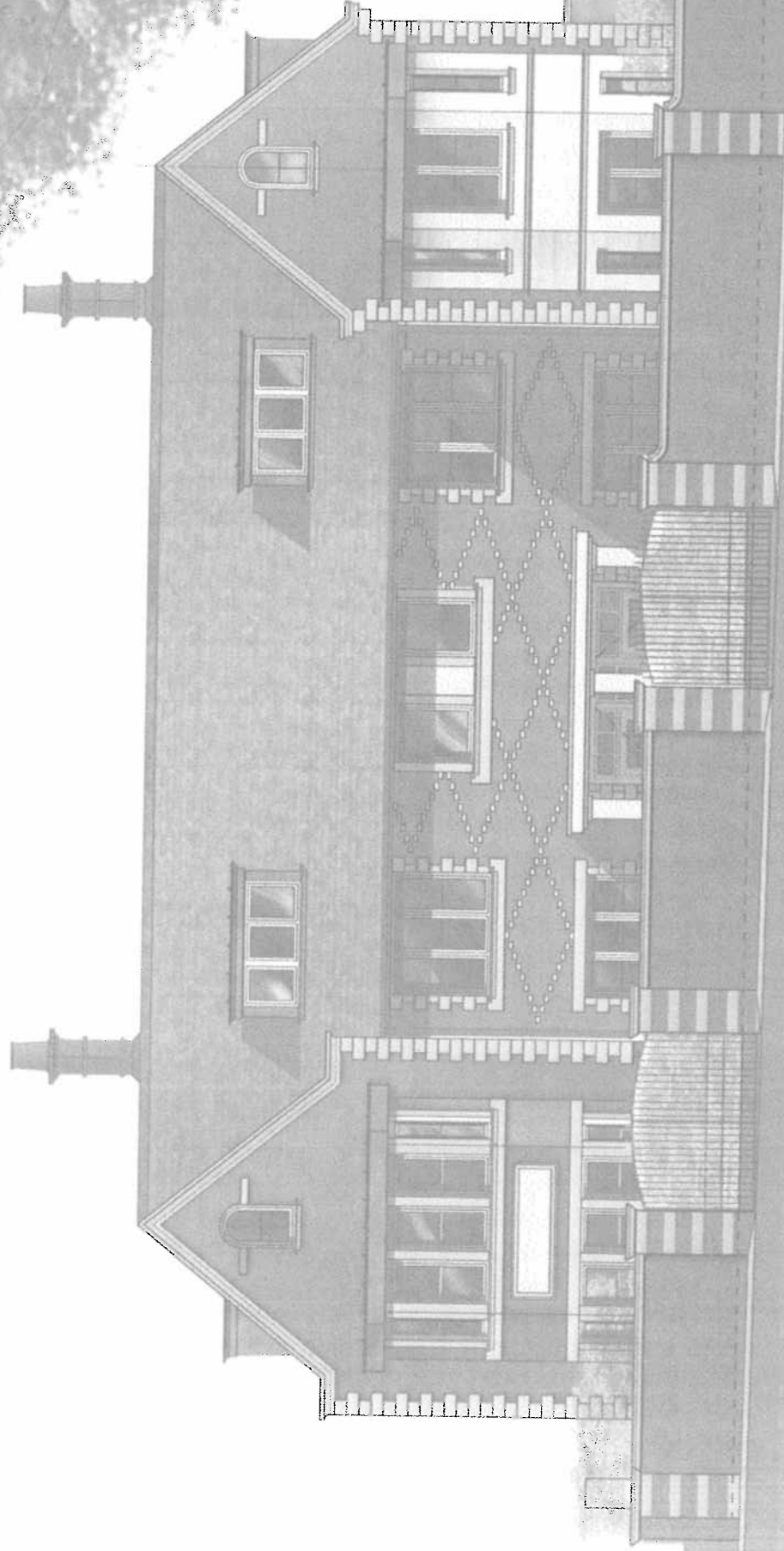


22 LANCASTER GROVE DESIGN AND ACCESS & PLANNING POLICY STATEMENT

ARCHITECTURE AND INTERIOR DESIGN LTD

KAS



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Design and Access Statement

1.01 Outline Proposals

- 1.02 The proposal is for the demolition of the existing property at 22 Lancaster Grove and its replacement with four new dwelling houses designed to enhance and improve the conservation area. The proposal has been designed to appear as a large single family dwelling taking inspiration from the Arts and Crafts period and keeping with the typology of the surrounding area. The design principles adopted to achieve the sympathetic redevelopment of the site include adopting the architectural language of the surrounding properties and area to inspire the proposals.
- 1.03 The proposals have been developed following a pre-application meeting with Camden Council in December 2013, pre-application no. 2013/7870/PRE. As part of the pre-application process a meeting was held on site with Camden Council's Design Officer and Tree Officer to establish the principles of the scheme with specific focus on the restrictions of the existing trees. The proposals submitted for the pre-application were similar to the current set of information submitted and these proposals can be considered to have been developed to address and incorporate Camden Council's requirements. The main changes are as follows, a development of the external elevations to increase the level of stone banding and detailing for this Arts and Crafts inspired proposal. House no. 4 has been pulled away from the boundary walls above ground floor level to respect the crown of T3 and T4, this was an established limit agreed on site. A cantilevered floor slab has been introduced to house No. 4 to bridge over the roots at ground level it was considered and agreed this principle would be acceptable to enable side access and maintenance and has been reduced further in depth to address no. 24 Lancaster Grove at the rear. The properties have all been reduced in depth by 3m to increase the amenity to the rear and improve the ratio of properties on the plot. The properties have also been pulled forward as much as possible to address the street elevation, but maintain parking for each property.
- 1.04 This proposal has been prepared with the following Consultants and their associated attached reports. Please read this report in conjunction with the following and refer to the accompanying drawings:-

- Site Investigation and Soil Reports – Chelmer
- Geology report and Flood Risk Assessment – Chelmer
- Basement Impact Assessment and Structural Report – Constructure
- Construction methodology and Traffic management Plan – Stoneforce
- Aboricultural Impact Assessment - RPS
- Tree Protection Plan - RPS
- Daylight and Sunlight Report – Syntegra
- Energy and Sustainability Report – Syntegra
- Ecology and Habitat Reports – Syntegra
- Acoustic Report - Syntegra

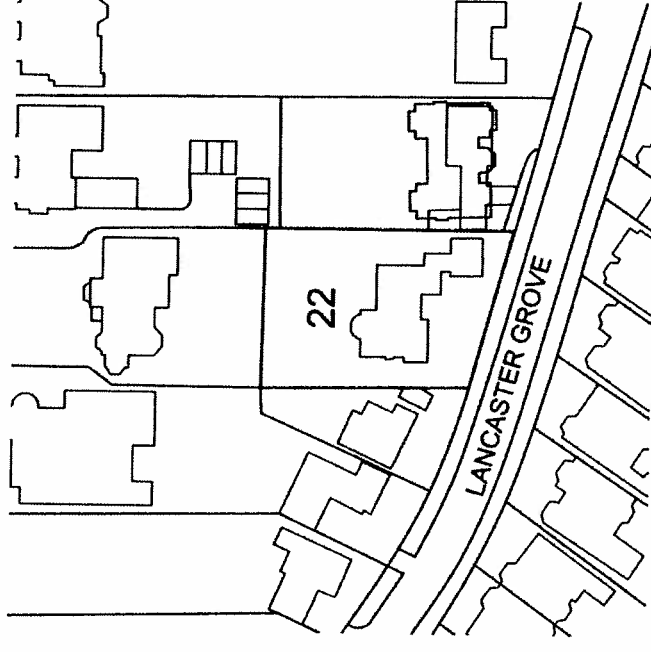


Fig 1, Location Plan 1:1250



Fig 2, Photograph of front elevation

2.01 Existing site and buildings

- 2.02 22 Lancaster Grove is in the Belsize Park Conservation Area and it is not a listed building.
- 2.03 Lancaster Grove is divided into the southern and northern elevations of the street, the southern side being wide single family dwellings, predominantly in the Arts and Craft Style, with asymmetrical floorplans, red bricks and tiles built with gables and dormer windows to third storey accommodation in the eaves. The northern side is characterised by 2-3 storey Victorian red brick town houses and terraces. The properties on Eton Avenue that flank the site are 2-3 storey properties dating from the late Victorian period.
- 2.04 The site currently accommodates a detached Mock Tudor style property built circa 1984 with exposed timber beams and white rendered 1st floor elevations, with red brick multi's to ground storey. The plot was at this time separated from Eton Ave and had previously formed the rear garden of no. 26 Eton Avenue. As part of this development the front wall which is common to the street with distinctive stone banding in the pillars was removed and a new wall with railings installed. The existing building sits back from the street behind this wall as is typical of the street and area.
- 2.05 The existing property is not characteristic of the area and sits rather uncomfortably alongside some beautiful examples of Arts and Craft style architecture. The surrounding buildings have intricately formed friezes in brick and stone.
- 2.06 The site has a large rear garden, which has some mature trees in a variety of species and other mature trees can be found in the road to the front of the property, none of the trees in the property have tree protection orders on them. A number of trees are recommended to be removed owing to poor health and growth (see accompanying Arboricultural Report by RPS). The garden is a traditional natural garden in its layout with a large ornamental lawn centrally placed and planting beds in borders to the edges of the plot. The rear of the garden rises away from the main house and is approximately 1000mm above the current floor level of the internal spaces.



Fig 3. Photograph of 24 and 26 Lancaster Grove



Fig 4. Photograph of Front Street Elevation

3.01 Heritage Assessment

3.02

The building is in the Belsize Park Conservation Area, but is highlighted in the Conservation Area plan as making a neutral contribution to the area. It is therefore considered that its replacement with a sensitively designed building in the Arts and Craft period should be welcomed. The detailing, materials and quality of the proposals would enhance the conservation area and add to the rich fabric of the surrounding buildings by directly responding to the areas vernacular, while seeking to address the variety of design within this style and common to the area. The proposals include the replacement of the boundary treatment along Lancaster Grove with a new wall designed to reinstate the rhythm and original intent of the street historically.

3.03

22 Lancaster Grove has no Archaeological data available to suggest it will prove to be of archaeological interest.

3.04

Historical maps, fig 5, 6 and 7 show the development of the area from pre WW1 to the early 1900's. These show that the northern side of the street developed first with the southern side development occurring post WW2. 22 Lancaster Grove being the last plot developed. The current building adds little or no historical interest to the conservation area and as such we feel its demolition and replacement in line with current policy and will benefit the Conservation area.

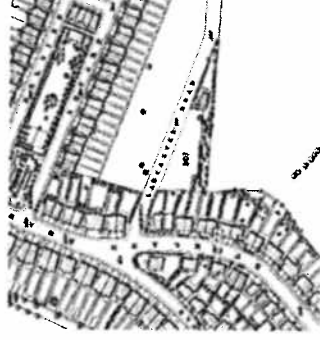


Fig 5, 1871



Fig 6, 1915



Fig 7, 1980



Fig 8, Photograph of rear elevation

4.01 Proposals

4.02 The local development framework identifies a need for additional good quality well designed family accommodation and the proposals have been designed and developed with this objective in mind. The proposals are for four new houses each, approximately 3,500 – 4,000 sq ft in total, designed to be viewed as a single dwelling set back from the street in a walled and gated development, much in keeping with the typology of the street. The design seeks to increase the accommodation on the site by the construction of a new basement below the new building. The objectives of the design are to maintain the scale in context with the neighbouring properties and the bulk and massing of the conservation area.

4.03 Each property is designed with a similar plan layout, which has been developed to meet the living expectations of today's society and with reference to Building Regulation, The Code for Sustainable Homes and Lifetime Homes Guidelines. The proposals are for the principle room to be accommodated on the ground floor, which is designed to be used as an open plan arrangement with sliding doors positioned to allow areas to be separated if desired. Each property has a large entrance hall with WC facilities and storage.

Each property has a basement which incorporates additional ancillary accommodation, Laundry, Utility, Storage and Service Area as well as an additional bedroom and recreational space including Media Room and Gym.

The first floor accommodates the main suite with large dressing and en-suite bathroom. Further accommodation is then provided by a second bedroom at this level (this will be set up for use as a possible study) and then further 2-3 bedrooms at second floor level, each with en-suite facilities. Second floor accommodation is within the eaves of the building with traditionally detailed lead dormer windows positioned to create good sized bedrooms with natural daylight.

Vertical Circulation is via a central stair, which has a traditional style roof lantern at the top. This allows natural light through the core of the building. Secondary exit from the basement is via the lightwells.

The lightwells are positioned to enable the additional bedroom in the basement to benefit from natural light and view, these light wells will be treated as lower level gardens and have suitable species planted in them to allow for the enjoyment of them from the interior of the property.

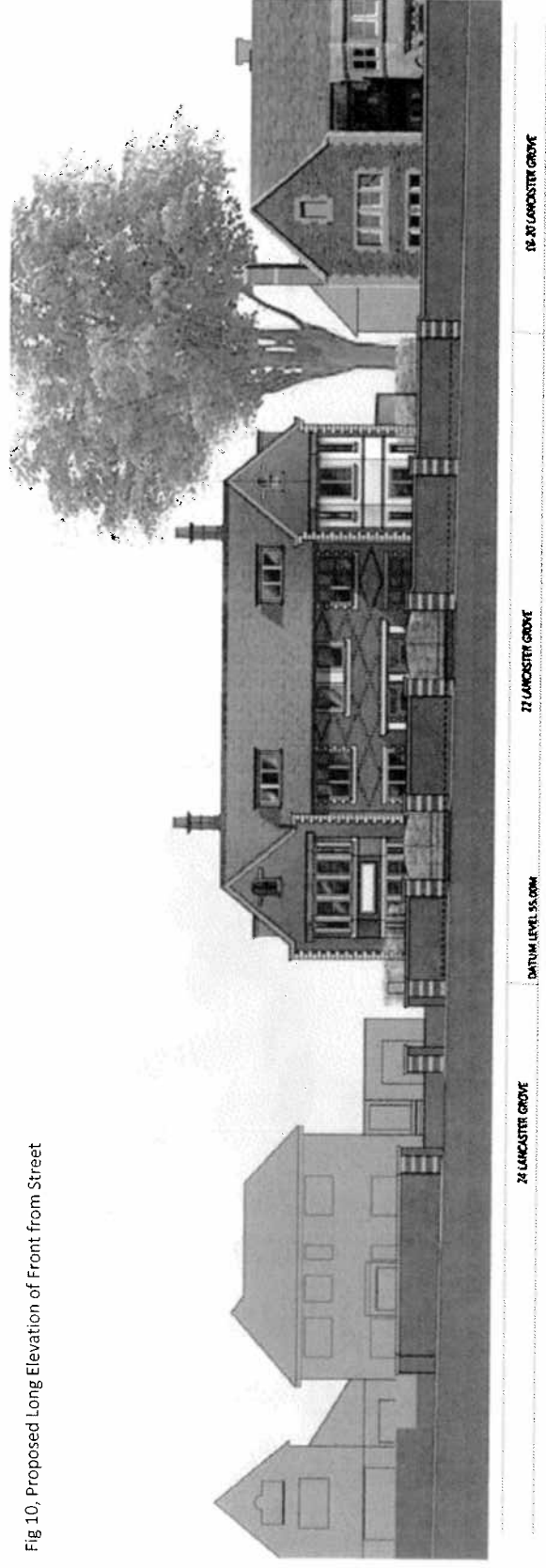
4.04 Access to the roof is via a roof hatch on the second floor of each property, the roof has been designed as a pitched roof of 51 Degrees with gable ends to the end of terrace and a mansard section central to the rear of the properties. The ornamental chimneys are used as a stop end for this element as well as serving fireplaces in the properties. This roof form enables the central section to accommodate a flat roof which is at a lower level to the ridge. The lower flat roof is used to accommodate photovoltaic panels 6-8 for each property. These are obscured from the view of the surrounding properties by being recessed below the ridge (see Syntegra report for further information on sustainability and energy). Other mechanical services are located in this area as it is designed to be shielded from view and enables elements such as AC condenser units to be housed without impact upon these properties or the neighbour's amenity. Please refer to accompanying Acoustic Report for further information. This recessed flat roof will also incorporate a sedum roof the benefits of which are numerous, the transpiration of the roof helps to keep the PV's cool in the summer months, the sedum and growing medium act as an acoustic blanket, the sedum adds to the biodiversity of the area and provides habitat for local wildlife. A major benefit of this roof finish for this property is that it will work as a sustainable urban drainage system and will slow the impact of any rainwater reaching the sewerage system.



Fig 9, Photograph of detail of typical brick and stone posts

- 4.05 The building is set back from the street with a communal entrance driveway with in and out gates. This is designed to function similar to the existing arrangement. All levels and falls are set to be the same as existing levels when reinstated with the driveway set to a gentle fall towards the road and footpath. Existing dropped kerbs and entrances and exists to the site are maintained. New mature planting of native species will form the boundaries of the entrance with a new bin and bike store constructed of brickwork to match the main house and sedum roof. This element is to be hidden into the landscape at the edge of the proposals.
- 4.06 The front elevation have been designed with a degree of symmetrical ideology being implemented. There are two flanking gables each with a two storey high hexagonal bay to the front. To establish some differentiation each bay has a series of different elements, the east (house 1) having more brickwork, but introducing stone mullions to the windows as well as quoins, sills and lintels. The west (house 4) being clad in stone with associated string course and moulding. The central element of the property is defined by a stone portico with lead flashings. This variation of element is typical of the arts and craft style and seeks to add to the incremental enjoyment of the property over time. Each of the gables are capped with stone copings and the lower level of the building has a stone plinth these are designed to add to the grandeur of the proposal and are used to pull the elevation together as a whole creating a coherent design across the whole elevation. The central section adds to the ornamentation of the proposal by the incorporation of decorative blue brickwork in a diamond pattern.
- 4.07 The rear elevation is designed to be a paired back version of the front, simple in its detailing, main elements being in red brick multi stock to match the surrounding properties with thin bedded lime joints with stone detailing to windows and the corner of the properties. All windows to the property are to be painted hardwood recessed by minimum 1 brick to provide depth in the reveals. At ground floor level each of the properties has a significant element of glazing to allow light to flood into the plan.
- 4.08 Light wells have been designed to have glass balustrading to keep them light and unobtrusive. They are also design to have a min 150 up stand around all edges to prevent any localised build-up of water from flooding the basement. There is only one lightwell proposed to the front of the property, this serves house 4, it is tucked behind the new bin store and set back for the street level and should be very unobtrusive.
- 4.09 Each property has been designed to benefit from a good sized private rear garden approximately 12.5m in length; they will be separated by the installation of a new brick wall on the boundary of each property 1.8m high with stone coping to the top. The mature planting and trees and elevated ground level to the rear of the properties is proposed to be retained. This currently provides an excellent screen between the properties on Eton Avenue and those on Lancaster Grove, there is no proposal to change this and the basement has no impact upon these areas. As part of a detailed landscaping scheme these will be enhanced and maintained.
- 4.010 The design seeks to implement quality of design and longevity of design by incorporating outstanding materials into the proposals, which are sustainable and well-conceived to allow for future enjoyment of the properties for generations to come.

Fig 10, Proposed Long Elevation of Front from Street



5.01 Materials

5.02 The material selection is based upon the appropriate selection of relevance to the Belsize Park Conservation Area and is as follows:-

- Walls – Red brick multi to match surrounding area with thin bedded lime mortar joints
- Walls – Appropriate stone detailing in Portland stone
- Windows and Doors – Painted Timber hardwood.
- Gutters and RWP – Cast iron style painted black.
- Roof – Flat clay plain tiles; (orange to red)
- Roof – leadwork min code 4.
- Drives, Paths and Pavements – porous block pavers, detail in granite sets.

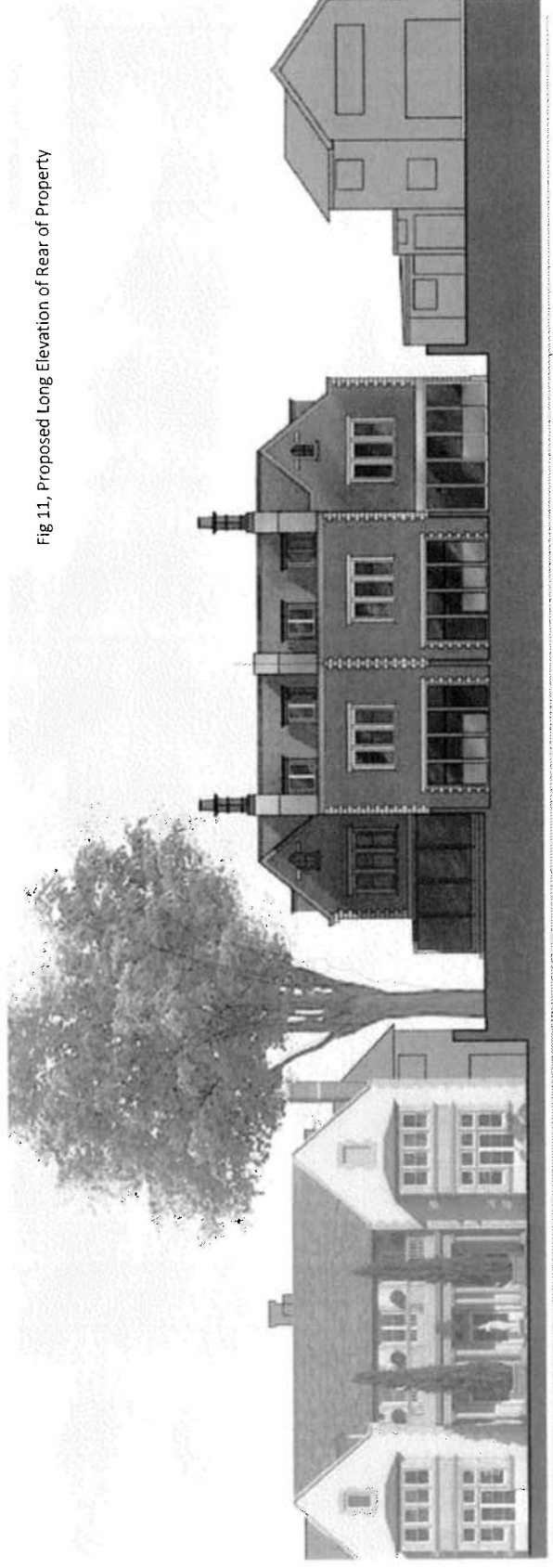
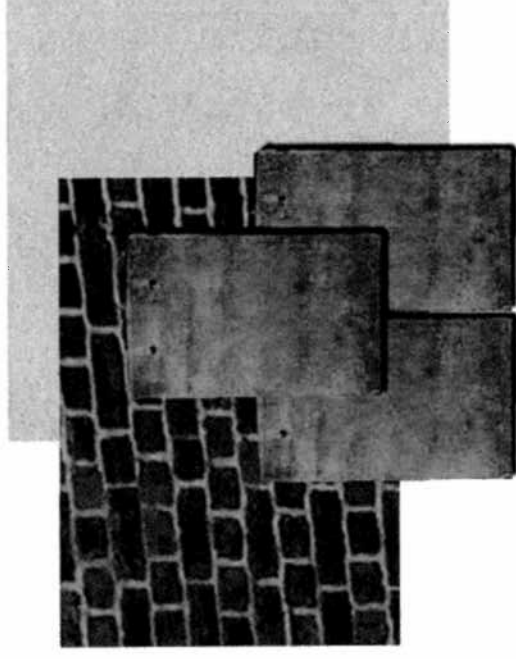


Fig 11, Proposed Long Elevation of Rear of Property

6.01 Detailed Design Considerations

6.02 Use

- The proposed use of the property is to be residential single family dwellings (C3), accommodation to provide facilities to meet current building regulations to a high standard for enjoyment by future generations.

6.03 Amount

- The amount of the site developed has been carefully considered and discussed with the council. Although the proposals increase the amount of building on the site it is not excessive and due consideration has been given to the neighbouring properties' amenity. Total site coverage of built to open is 33% with a plot ration of 1.4 which is deemed to be acceptable for the location and in line with other properties in the area.
- The amount of development created is set out in the table below. The increase is not considered to have a detrimental impact upon the layout of the new properties or the neighbouring properties and their amenities. As can be seen from the plans and the plot ratio above each unit created has a more than adequate space for all household activities and that the homes created provide good levels of amenity.

	House 1	House 2	House 3	House 4
Basement	102 sqm	132 sqm	132 sqm	122 sqm
Ground	102 sqm	93 sqm	93 sqm	95 sqm
First	83 sqm	93 sqm	93 sqm	62 sqm
Second	62 sqm	90 sqm	90 sqm	48 sqm
Total	349 sqm	408 sqm	408 sqm	327 sqm

6.04 Scale and Proportions

- The properties are in scale with the surrounding properties and the Belsize Park Conservation area.
- The proposals have been carefully considered so that all elements are in proportion with each other and work together as a whole to create an excellent standard of accommodation. All architectural elements have been considered to provide a coherent and appropriate design of the location.

6.05 Access

- The existing vehicular access points from Lancaster Grove will be maintained.
- The building is designed to meet the requirements of lifetime homes. The internal floor levels are to have level thresholds ground levels are designed to have a gentle slope away from the entrance and to have recessed drainage channels at thresholds to stop any ingress of water.
- All door openings will be a minimum of 850mm clear opening. All ground floor rooms will be capable of allowing a turning circle of 1500mm diameter.
- All houses have WC facilities on the ground floor level.
- The properties do not have a lift in their current form, but a space has been identified behind the main stair where a lift could be retro fitted if required in the future. This will be trimmed out so that it can be easily broken out in the future.

6.06 Daylight and Sunlight

- As part of the proposals a Daylight and Sunlight report has been undertaken by Syntegra, please refer to their report for more information.

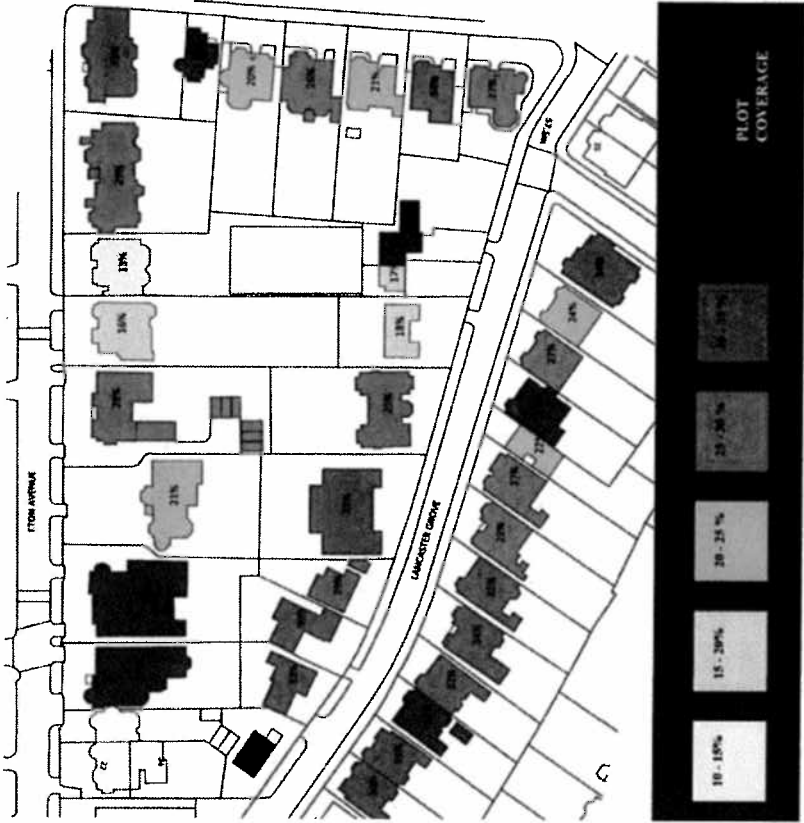


Fig 12 Map indicating plot percentage coverage

- Generally the proposals have been purposely stepped away from the boundaries where they will be close to the neighbouring properties to mitigate any overshadowing or daylighting issues. The rear of the building faces South and so the rooms on the rear elevation receive excellent sunlight and daylight.
- The properties to the front and rear of the development are approximately 26m and 28m away from the proposed development respectively. These properties fall well short of the best practice principle of being higher than a 25 degree line taken 2m above the ground and therefore they can be assessed to have no impact on daylight and sunlight to the proposed development and the same can be said to be true when reversed. The proposed development therefore has no adverse impact upon these properties.

6.07 Trees, Landscaping, Biodiversity and outside Amenity

- The proposals for the tree works at no.22 have been developed with RPS (see Arboriculturalist report) and with input from Tom Dixon, Tree Officer at Camden.
- All the trees on the site and the neighbouring properties have been surveyed and recorded. All trees in the rear garden are to be retained apart from T5 which is to be removed as it is in poor health and its growth is considered to be restricted due to the crown of T4.
- The trees in the existing front garden T1 and T2 are considered to be in poor health and not particularly appropriate species for the location, it was agreed with Mr Dixon that they could be removed and as part of the reinstatement works appropriate replacements could be reinstated as part of the new landscaping scheme.
- The extent of the basement in the rear garden does not impact upon the tree root protection zones as set out in RPS report.
- Particular care and consideration has been given to trees T3 and T4 and their impact upon the design of House 4.
- Basement construction in this area is outside the tree protection zones noted in the RPS report, it was agreed that the footprint of the existing building and path is not part of the tree protection zone as it is considered that any rooting in this area will have been removed during the 1980 construction works. It is agreed that all work undertaken in this area will initially be carried out with air-spades (refer to Construction management report and RPS arboricultural report for more information).
- Where the basement is proposed to be underneath the garden, an allowance for a meter of top soil to be reinstated for the incorporation of an ornamental lawn and associated filer and drainage membranes to enable it to be maintained and to allow for mature species of plants to be sustainable.
- The floor of house 4 is to be constructed as a cantilevered floor slab with 3 piles located in the root protection zone of T3 and T4, the location of these piles is flexible and the mythology for their placement enables the contractor to ensure that no major roots will be damaged in there placement. The ground floor of house 4 steps out to create a wrap-around conservatory. The extent of this has been considered to allow percolation of water to the root system.
- As noted above the extent of the first floor of House 4 was considered and agreed on site to enable that the T3 and T4 would be able to be protected during the construction works and to maintain that there is enough space for scaffolding and construction work to be carried out without encroaching into the crown of the trees. Please refer to the Construction methodology and RPS Arboricultural and Tree Protection reports which cover both these points in more detail.
- As part of the code for sustainable homes assessment and Ecology report and assessment was prepared by Syntegra, see attached report. No bats or nesting birds are currently present and the ecology of the site is relatively limited. As part of the proposals additional nesting boxes for both birds and bats are proposed on the building and in the mature trees, this will enhance the existing habitats and encourage better biodiversity.
- In accessing the level of amenity available to each house it is worth referring to Camden's requirements for outside amenity, each property has a rear garden of approximately 12.5m long x 6m wide, this equates to 75sqm of space per unit, assuming that each bedroom is inhabited this would equate to 6 people per house. Camden CPG6 requires 9 sq m per person. The proposed development allows for 12.5 sq m which is above the level required.

Fig 13A, Proposed Front Elevation

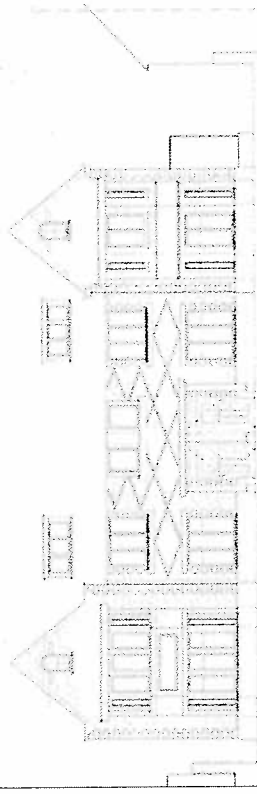
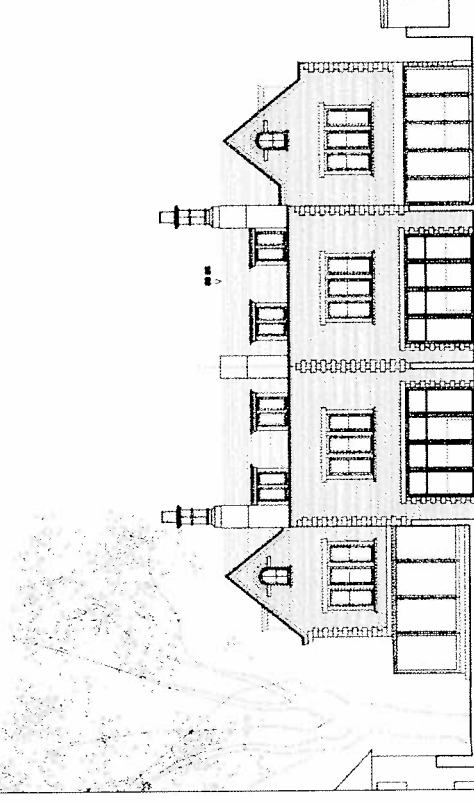


Fig 13B, Proposed Rear Elevation



6.08 Structural / Construction Considerations

- The proposals for the development of the building have been worked through in conjunction with the structural engineers Constructure. Their input and experience has been used to develop the attached proposals.
- The basement design has been developed with Constructure; please refer to the ground investigation tests and pre-planning Structural Engineers' report and basement impact assessment that accompanies this application.
- The principles for the proposed basement are sequential piling followed by traditional waterproofing techniques, including cavity drain construction, with secondary internal blockwork walls.
- The building primary structure is proposed to be reinforced concrete construction.
- Time has been spent putting this application together to consider the methodology of construction and site set up. Please see the attached construction methodology and traffic plan developed with Stoneforce for the project. Due consideration has been given to how piling rigs will be able to access the site, removal of excess soil and waste, sequencing, tree protection and how construction around trees T3 and T4 will be undertaken.

6.09 Waste and Water Control

- A bin store is provided to the front of the property, this has space to incorporate a waste bin and a recycling bin per property.
- Recycling is expected to be carried out internally in each property and the house will be provided with dedicated bins as part of the proposals.
- The proposals allow for a small composting bin to be provided in the corner of each of the rear gardens.
- Rainwater will be dealt with via Sustainable Urban Drainage systems. As described earlier a sedum roof is proposed to the main roof and porous hard standings are to be provided.
- Chelmer were commissioned to carry out a Flood Risk Assessment and Geology Report. The site is not in a flood risk area, however there has been some localised flooding on sections of Lancaster Grove in the past. The proposals maintain the elevated floor level of the site above the road and follow the recommendations set out in both the Geology Report and the Flood Risk assessment to mitigate both surface water run-off and implement best practice with regard to upstands around lightwells and non-return valves on drainage systems in the basement.

6.010 Energy and Sustainability Building Services

- New materials will be sustainably resourced and where possible material shall be used of a significant quality to give longevity to the proposals.
- All new timber windows and doors will be hardwood painted double glazed with glazing bars details.
- The proposals incorporate sustainable technologies in the form of photovoltaic's located on the roof and utilise an air source heat pump as the primary heat source for each building. This is located on the roof of each property.
- The proposals include for Comfort Cooling to the primary spaces within the property, AC condenser units are located on the roof of each property, recessed onto the flat roof section to be shielded from view. acoustic survey has been undertaken by Syntegra and all equipment has been specified to meet the acoustic output requirements of Camden Council. Please refer to the Acoustic Report for more information.
- Compliance will also be required in connection with other Building Regulations Parts E, F, G, H, J and P (for building services) please refer to Energy and Sustainability Report compiled by Syntegra as well as all second tier documentation and performance specifications. The proposal seek to better the performance of the building elements and SAP calculations can be found as part of their report.
- The building has been assessed to meet Code 4 for Sustainable homes as a minimum by Syntegra, please refer to their report.
- Each property is designed to have two decorative effect gas fires; these are to be connected to the new chimney stacks.

7.01 Planning and Policy Assessment

1.0 INTRODUCTION

- 1.1 This Planning Statement has been prepared on behalf of KAS Architecture and Design Ltd. and is submitted in support of a full planning application for the demolition of the existing dwelling and redevelopment of the site to provide a terrace of four dwellings comprising basement plus three upper floors.
- 1.2 The statement should be treated as forming part of the application, and includes detail on the site and its surrounding, the intended scheme and how it relates to adopted planning policy. It is considered that the statement accords with the advice contained within the Development Management Policy Annex: Information requirements and validation for planning applications issued on 16th March 2010 and The Town & Country Planning (Development Management Procedure) (England) Order 2010 as amended by the Amended Order 2013.

2.0 SITE AND SURROUNDINGS

- 2.1 Whilst the site is within the Belsize Park Conservation Area the application property is not a listed building. The site is on the southern side of Lancaster Grove and the north and south sides of Lancaster Grove are materially different in character. The south side of Lancaster Grove is characterised by 2-storey detached Arts and Crafts houses with gables, dormers, asymmetrical facades and footprints, red bricks and tiles. The north side of Lancaster Grove is much more uniform; characterised by robust 2-3 storey mid-Victorian terraces and semis with gables, bay windows, dormers, fine decorative features, red bricks, stucco dressings and asymmetrical facades.
- 2.2 The site is currently occupied by a single two storey dwelling house with a single storey attached garage projecting forward of the principle elevation of the dwelling.
- 2.3 The facade of the dwelling is faced with red brick at ground floor and white render with exposed stained beams at first floor and has been finished with clay roof tiles. The single storey garage extension has been constructed from red brick and finished with clay roof tiles. The building is set back from the street behind a high palisade fence/mature hedge with red brick pillars. This type of boundary treatment is also utilised at other sites along Lancaster Grove.

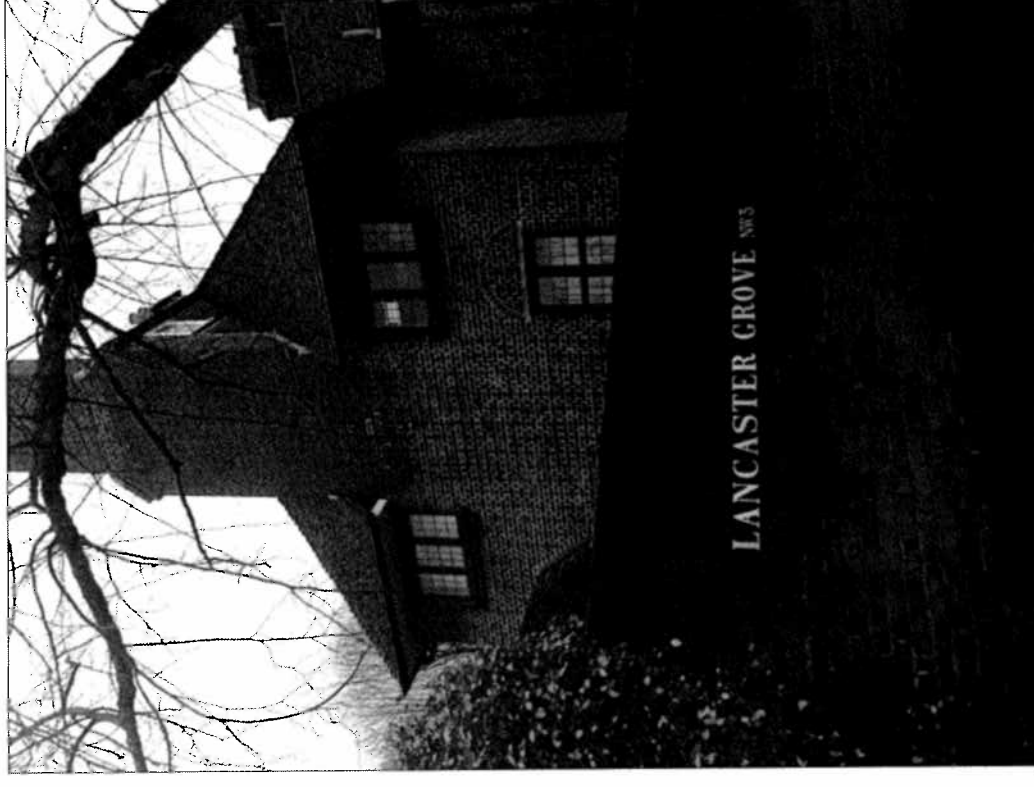


Fig 14, Photograph of Lancaster Grove

- 2.4 The Belize Conservation Area Statement (BCAS) which was published in April 2003 defines six separate sub-areas. The site falls within Sub Area three, which contains buildings of varying age and style. At Pre-Application stage the Council indicated that the site contains a 20th century dwelling of average quality. The building is not identified in the conservation area appraisal as making a positive contribution to its character and appearance.

3. HISTORY

Application Number	Site Address	Development Description	Status	Date Registered	Decision
<u>2005/2344/T</u>	22 Lancaster Grove London NW3 4PB	SIDE GARDEN 3 x London Plane - reduce 25% from top.	FINAL DECISION	14-06-2005	No Objection to Works to Tree(s) in CA
<u>2006/3719/T</u>	22 Lancaster Grove, London, NW3 4PB	REAR GARDEN, ALONG BOUNDARY WITH 24 LANCASTER GROVE: 1 x Robinia & 1 x Box Elder - Crown reduce by 25%.	FINAL DECISION	14-08-2006	No Objection to Works to Tree(s) in CA
<u>8500536</u>	22 Lancaster Grove (Land at the rear of 30 Elton Avenue NW3)	Approval of details pursuant to condition attached to the planning permission for a dwelling house and double garage (Ref.G8/19/E/8400664(R2)).	FINAL DECISION	29-04-1985	Grant Appr. of Details/Res.Matters (Plan)
<u>8600197</u>	22 Lancaster Grove NW3	Erection of a 1.8m high means of enclosure to the front with 2.2m high brick piers and gates and the formation of an additional means of access to the highways shown on drawing no. 316/TWO.	FINAL DECISION	05-02-1986	Grant Full or Outline Perm. with Condit.
<u>8703044</u>	22 Lancaster Grove NW3	The erection of a rear extension and chimney stack as shown on drawing no. H.1	FINAL DECISION	16-09-1987	Grant Full or Outline Perm. with Condit.

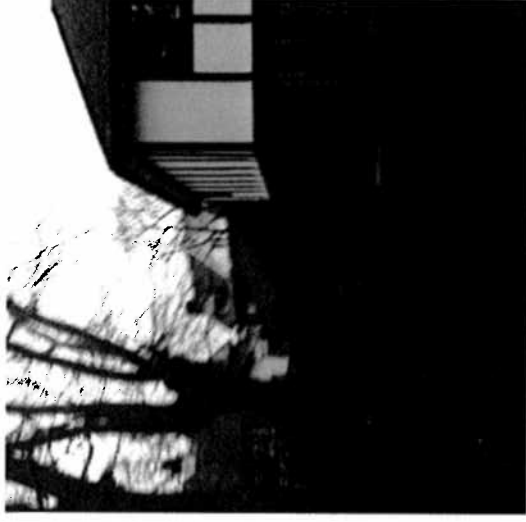


Fig 15, Photograph trees to rear of 22



Fig 16, Photograph of the bases of T3



Fig 17, Photograph of towards the rear of the garden



Fig 18, Photograph of towards the rear of the garden

9292092	22 Lancaster Grove NW3 4PB	Pruning and reshaping of tree	FINAL DECISION	02-04-1992	Agree to pruning of Trees
TC9906211	20 & 22 Lancaster Grove London NW3	Reduction works to trees on boundary between no.s 20 & 22 Lancaster Grove.	FINAL DECISION	17-03-1999	No objection to works-TCA-Council spec
TC9906211R1	22 Lancaster Grove London NW3	Trim and prune Lime trees on boundary with no.22 Lancaster Grove.	FINAL DECISION	29-04-1999	No objection to works-TCA-Council spec
TC9906398	22 Lancaster Grove London NW3	Reduction works to four London Plane trees in rear garden.	FINAL DECISION	20-05-1999	No objection to works-TCA-Council spec

4. PRE-APPLICATION ADVICE

4.1 A pre-application request, reference 2013/7870/PRE, was submitted to the Council with regard to the proposed redevelopment of this site. The Council indicated that the site is located within the Belsize Park Conservation Area,

but that the existing building has not been identified as making a positive contribution to the character and appearance of the conservation area. The site is further not covered by an article 4 direction and is not listed.

4.2 With regard to the principle of redevelopment the Council recognised that the existing building is of average quality and has not been identified in the conservation area appraisal as making a positive contribution to its character and appearance.

- 4.3 In addition the Council indicated that residential accommodation is a priority land use in the Council's Local Development Framework and as such the creation of additional dwellings on the site would be welcomed.
- 4.4 On this basis it was advised that in the absence of making a positive contribution to the area as well as the identified need for residential accommodation its demolition is likely to be acceptable subject to a suitable replacement.
- 4.5 With specific reference to the height, scale and footprint of the proposed scheme the Council agreed that the large single family design of the proposed dwelling would be consistent with the predominant architectural character along this stretch of Lancaster Grove which comprises wide single family dwellings and concluded that the height, form and width of the development is considered appropriate for the site and streetscape.
- 4.6 With specific reference to the detailed design and materials proposed the Council considered that the architectural design put forward to be a high quality yet subtle response to the area which would continue the established tradition of high quality architected design traditional houses in the area. This will add to the interest, architectural and historic value of the area.
- 4.7 Reference was also made to the fact that the success of the development would depend on the use of high quality materials, detailed design and finished appearance which would include elements such as the depth of the window reveals and brick and eaves details.
- 4.8 With regard to trees and landscape the Council highlighted that there are two large plane trees on the western boundary which are highly prominent. In relation to these trees the Council was concerned about the increase in size of the proposed building towards the West both in terms of width and height.
- 4.9 Notwithstanding, during discussions on site the tree and landscape officer indicated that a successful proposal could be achieved if this flank of the building is pulled back to the line of the existing hard standing, allowing some western expansion from the existing building line as well as reducing the impact on the root protection areas of the trees. In addition it was emphasised that careful thought should be given to the construction of foundations in this area.
- 4.10 While it was concluded that the trees along the rear boundary would not be affected by the proposal it was suggested that these should be protected during the implementation of any approved scheme.
- 4.11 A detailed analysis with regard to residential amenity; sustainability; transport or S106 matters was not provided as part of pre-application discussions.

5. PLANNING POLICY

National Planning Policy Framework

- 5.1 The National Planning Policy Framework (NPPF) came into effect on 27 March 2012 and is now a material consideration in planning decisions. It advises that in determining planning applications for residential developments, local planning authorities should take into account the Development Plan Policies and all other material considerations. Local planning authorities should follow the approach of the 'Presumption in Favour of Sustainable Development' and that development which is sustainable can be approved without delay. It emphasises the need to plan positively for appropriate new development; so that both plan-making and development management are proactive and driven by a search for opportunities to deliver sustainable development, rather than a barrier.
- 5.1 Paragraphs 9 and 50 of the NPPF goes on to state that to deliver a wide choice of high quality homes, widen opportunities for home ownership and create sustainable, inclusive and mixed communities, local planning authorities should plan for a mix of housing based on current and future demographic trends, market trends and the needs of different groups in the community and identify the size, type, tenure and range of housing that is required in particular locations, reflecting local demand.
- 5.3 With regard to design of development, paragraphs 56-61 of the NPPF supports good design in all developments stating that good design is a key aspect of sustainable development, is indivisible from good planning, and should contribute positively to making places better for people. It goes on to state that Planning policies and decisions should not attempt to impose architectural styles or particular tastes and they should not stifle innovation, originality or initiative through unsubstantiated requirements to conform to certain development forms or styles. It is, however, proper to seek to promote or reinforce local distinctiveness.
- 5.4 As the site is located within a Conservation Area Chapter 12 of the NPPF is a further material consideration and in this regard paragraph 126 highlights that Local planning authorities should set out in their Local Plan a positive strategy for the conservation and enjoyment of the historic environment, including heritage assets most at risk through neglect, decay or other threats. In doing so, they should recognise that heritage assets are an irreplaceable resource and conserve them in a manner appropriate to their significance. In developing this strategy, local planning authorities should take into account:
- the desirability of sustaining and enhancing the significance of heritage assets and putting them to viable uses consistent with their conservation;
 - the wider social, cultural, economic and environmental benefits that conservation of the historic environment can bring;
 - the desirability of new development making a positive contribution to local character and distinctiveness; and
 - opportunities to draw on the contribution made by the historic environment to the character of a place.
- 5.5 When considering the loss (demolition) of a heritage asset the NPPF is clear in stating that when considering the impact of a proposed development on the significance of a designated heritage asset, great weight should be given to the asset's conservation. The more important the asset, the greater the weight should be. Significance can be harmed or lost through alteration or destruction of the heritage asset or development within its setting. As heritage assets are irreplaceable, any harm or loss should require clear and convincing justification.

5.6 In support of the above paragraph 136 states that Local planning authorities should not permit loss of the whole or part of a heritage asset without taking all reasonable steps to ensure the new development will proceed after the loss has occurred. While paragraph 137 puts the onus on local planning authorities to look for opportunities for new development within Conservation Areas and World Heritage Sites and within the setting of heritage assets that would enhance or better reveal their significance. Proposals that preserve those elements of the setting or that make a positive contribution to or better reveal the significance of the asset should be treated favourably.

London Plan

Policies 3.4 (optimising housing potential), 3.5 (Quality and Design of Housing Developments), and 7.4. (Local Character), 7.6 (Architecture) and 7.8 (Heritage assets and archaeology).

Camden Core Strategy:

5.7 CS5 - Managing the impact of growth and development

The overall approach of the Core Strategy, as set out in policy CS1, is to manage Camden's growth to make sure that its opportunities and benefits are delivered and sustainable development is achieved, while continuing to conserve and enhance the features that make Camden such an attractive place to live, work and visit. Policy CS5 sets out in more detail how the Council will manage the impact of growth and development in Camden. In this regard it highlights the focus areas:

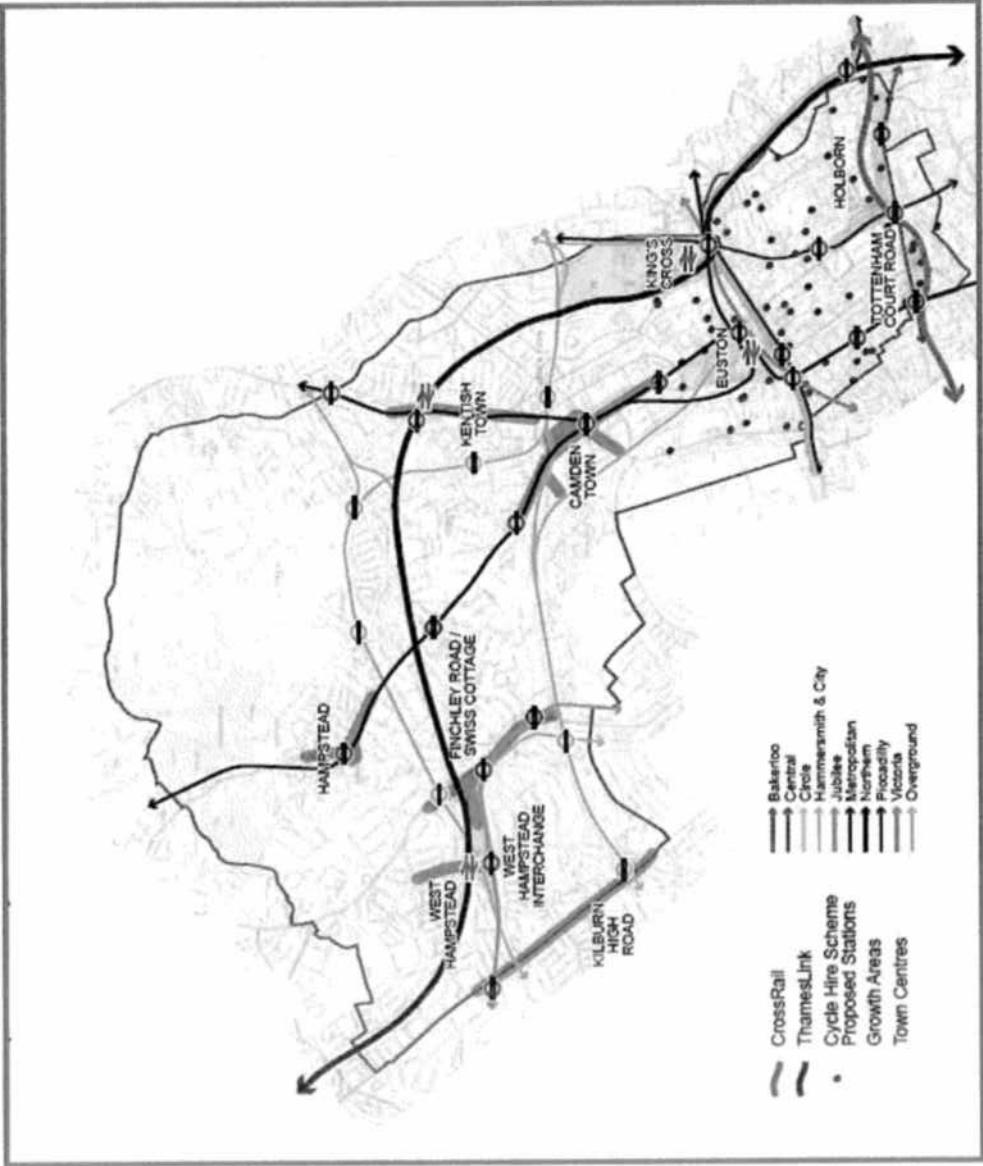
- a) providing uses that meet the needs of Camden's population and contribute to the borough's London-wide role;
- b) providing the infrastructure and facilities needed to support Camden's population and those who work in and visit the borough;
- c) providing sustainable buildings and spaces of the highest quality; and
- d) protecting and enhancing our environment and heritage and the amenity and quality of life of local communities. The Council will protect the amenity of Camden's residents and those working in and visiting the borough by:
 - e) making sure that the impact of developments on their occupiers and neighbours is fully considered;
 - f) seeking to ensure development contributes towards strong and successful communities by balancing the needs of development with the needs and characteristics of local areas and communities; and
 - g) requiring mitigation measures where necessary.

5.8 CS6 - Providing quality homes

The Council shares the government's goal of seeking to ensure that everyone has the opportunity to live in a decent home at a price they can afford in a community where they want to live. Core Strategy policy CS6 indicates that the Council seeks to maximise the quantity of housing that is needed and the types of homes that are needed and minimise their loss, with housing regarded as the priority land-use of the Camden Local Development Framework.

CS11 - Promoting sustainable and efficient travel

Camden benefits from excellent transport provision, including a direct link to continental Europe. There are also 23 tube stations within the borough or on its boundary, 55 bus routes and 27 night bus routes. All these services provide excellent accessibility within Camden, to the rest of London and beyond. However, the borough also faces considerable challenges in relation to transport. Its road and public transport networks are subject to significant congestion, and air quality is a serious issue.



Camden Transport Provision (Camden Core Strategy 2010-2025)

Policy CS11 seeks to promote the delivery of transport infrastructure and the availability of sustainable transport choices in order to support Camden's growth, reduce the environmental impact of travel, and relieve pressure on the borough's transport network. In this regard seeks to promote a range of sustainable transport measures and the delivery of additional infrastructure to support growth and relieve existing pressures on the transport system. It seeks to build on, and help to deliver, the sustainable transport priorities established in the Council's Green Transport Strategy.

5.10

CS13 - Tackling climate change through promoting higher environmental standards

This strategy sets out Camden's aims and objectives with regard to tackling climate change. The main thrust of this objective will focus on ensuring that all developments take measures to minimise the effects of, and adapt to, climate change and encourage all development to meet the highest feasible environmental standards that are financially viable during construction and occupation.

5.11

CS14 - Promoting high quality places and conserving our heritage

In keeping with the aims of the NPPF Camden aims to sustainably manage growth in Camden so it meets our needs for homes, jobs and services in a way that conserves and enhances the features that make the borough such an attractive place to live, work and visit. Policy CS14 plays a key part in achieving this by setting out our approach to conserving and, where possible, enhancing our heritage and valued places, and to ensuring that development is of the highest standard and reflects, and where possible improves, its local area.

Development Policies:

5.12

DP2 - Making full use of Camden's capacity for housing

Policy DP2 protects housing against development for a non-residential use. It relates to all forms of housing for long-term residents. The first part of the policy is concerned with making the best use of sites for additional homes, particularly homes for people who are unable to access general needs market housing. This part relates primarily to self-contained houses and flats (Use Class C3). The second part is concerned with the loss of housing floorspace in all forms.

5.13

DP3 - Contributions to the supply of affordable housing

The Council will expect all residential developments with a capacity for 10 or more additional dwellings to make a contribution to the supply of affordable housing.

5.14

DP5 - Homes of different sizes

In keeping with the NPPF and Policy CS6 Policy DP5 sets out measures that would help to implement this element of policy CS6 by setting out in more detail the Council's approach to providing homes of different sizes in accordance with need and/ or demand for dwellings of every size shown in the Priorities Table below.

Dwelling Size Priorities Table					
	1-bedroom (or studio)	2-bedrooms	3-bedrooms	4-bedrooms or more	Aim
Social rented	lower	medium	high	very high	50% large
Intermediate affordable	medium	high	high	high	10% large
Market	lower	very high	medium	medium	40% 2-bed

Priorities Table (Camden Core Strategy 2010-2025)

5.15 DP6 – Lifetime homes and wheelchair housing

Core Strategy policy CS6 indicates that Council will seek a variety of housing types suitable for people with mobility difficulties. Policy DP6 helps to deliver this by setting out our approach to lifetime homes and wheelchair housing.

5.16 DP18 - Parking standards and limiting the availability of car parking

Policy DP18 sets out the Council's approach to parking in new development. It seeks to minimise the level of car parking provision in new developments, as well as promoting cycle parking, and the provision of spaces for car clubs and electric charging points.

5.17 DP19 - Managing the impact of parking

The Council will seek to ensure that the creation of additional car parking spaces will not have negative impacts on parking, highways or the environment, and will encourage the removal of surplus car parking spaces.

5.18 DP22 - Promoting sustainable design and construction

Core Strategy policy CS13 – Tackling climate change through promoting higher environmental standards sets out a key part of our overall approach to tackling climate change, which includes promoting higher environmental standards in design and construction.

Policy DP22 contributes towards delivering the strategy in policy CS13 by providing detail of the sustainability standards we will expect development to meet.

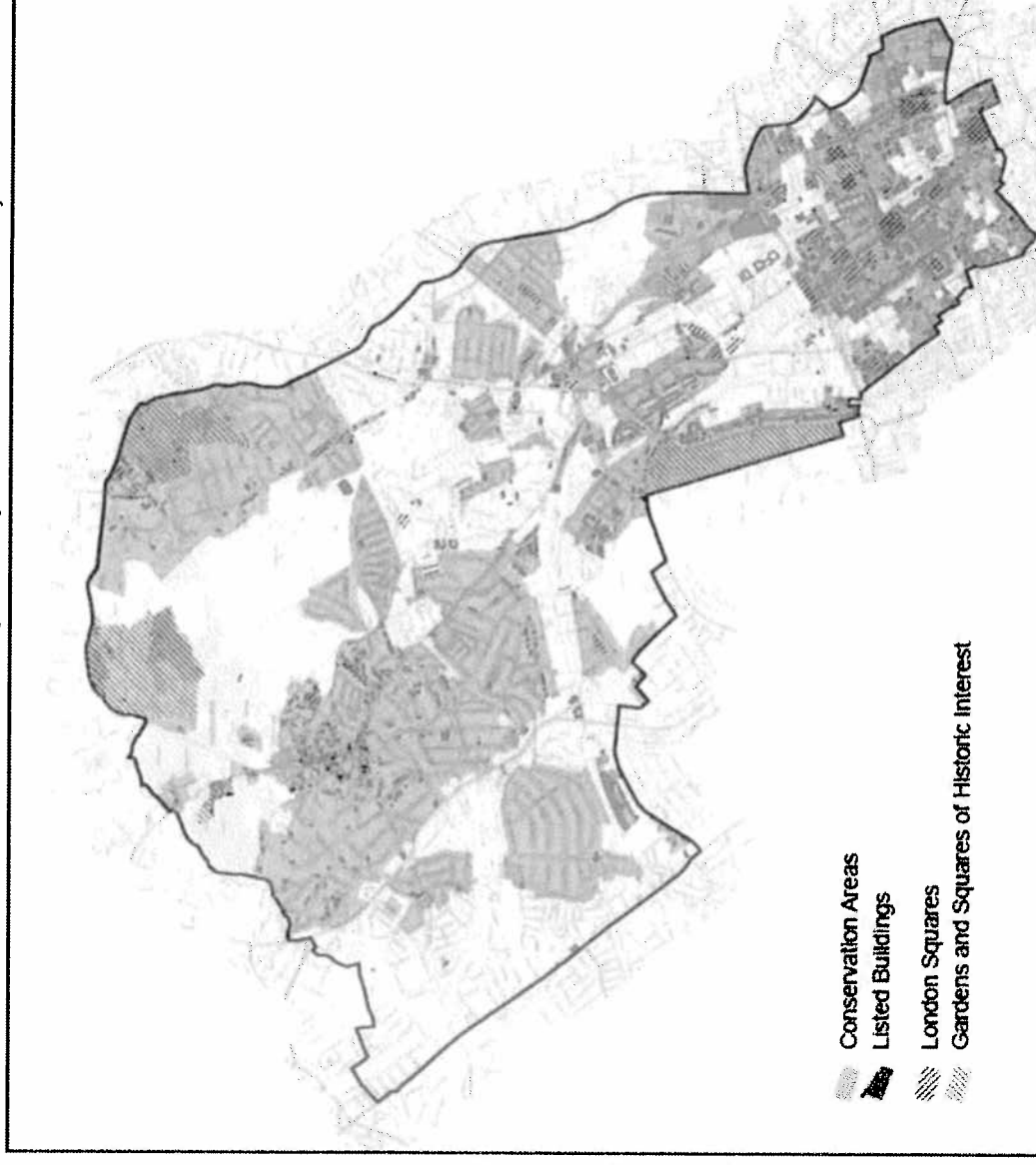
5.19 DP24 - Securing high quality design

The Council will require all developments, including alterations and extensions to

existing buildings, to be of the highest standard of design by having regard to aspects such as the character of the immediate area, quality of materials, impact on the street scene, location of services, existing natural features, hard and soft landscaping, amenity space and accessibility.

5.20 DP25 – Conserving Camden's heritage

Camden has inherited a rich architectural heritage with many special places and buildings from many different eras in the area's history.



Camden Heritage Areas (Camden Core Strategy 2010-2025)

In this regard Policy DP25 sets out that in order to maintain Camden's conservation areas, the Council will:

- take account of conservation area statements, appraisals and management plans when assessing applications within conservation areas;
- only permit development within conservation areas that preserves and enhances the character and appearance of the area;
- prevent the total or substantial demolition of an unlisted building that makes a positive contribution to the character or appearance of a conservation area where this harms the character or appearance of the conservation area, unless exceptional circumstances are shown that outweigh the case for retention;
- not permit development outside of a conservation area that causes harm to the character and appearance of that conservation area; and
- preserve trees and garden spaces which contribute to the character of a conservation area and which provide a setting for Camden's architectural heritage.

5.21 DP26 - Managing the Impact of development on occupiers and neighbours

Development should avoid harmful effects on the amenity of existing and future occupiers and to nearby properties. When assessing proposals the Council will take account the considerations set out in policy DP26. These considerations seek to protect the quality of life of occupiers and neighbours by only granting permission for development that does not cause harm to amenity.

5.22 DP27 - Basements and lightwells

With a shortage of development land and high land values in the borough, the development of basements is becoming increasingly popular as a way of gaining additional space in homes without having to relocate to larger premises.

In determining proposals for basement and other underground development, the Council will require an assessment of the scheme's impact on drainage, flooding, groundwater conditions and structural stability, where appropriate. The Council will only permit basement and other underground development that does not cause harm to the built and natural environment and local amenity and does not result in flooding or ground instability.

Camden Planning Guidance

5.23 CPG1 – Design

This guidance is consistent with the Core Strategy and the Development Policies, and forms a Supplementary Planning Document (SPD) which is an additional "material consideration" in planning decisions. The document emphasises that Camden is committed to excellence in design and schemes should consider:

- The context of a development and its surrounding area;
- The design of the building itself;
- The use of the building;
- The materials used; and
- Public spaces.

5.24 CPG2 – Housing

A key priority for the Council is to ensure that everyone has the opportunity to live in a decent home at a price they can afford in a community where they want to live. This guidance provides information on all types of housing development within the borough. It provides specific guidance on:

- Affordable housing
- Student housing
- Residential Space standards
- Lifetime homes and wheelchair housing
- Development involving net loss of homes

5.25 CPG3 – Sustainability

In line with Government advice The Council is committed to reducing Camden's carbon emissions. This guidance provides information on ways to achieve carbon reductions and more sustainable developments. It also highlights the Council's requirements and guidelines which support the relevant Local Development Framework (LDF) policies.

5.26 CPG4 – Basements and lightwells

With a shortage of development land and high land values in the borough the development of basements is becoming increasingly popular as a way of gaining additional space in homes without having to relocate to larger premises.

This guidance provides information on basement and lightwell issues and considers the following issues:

- Permitted development;
- Basement Impact Assessments;
- Principal impacts of basements in Camden;
- Planning and design considerations'
- Lightwells; and
- Streets at risk from flooding.

5.27 CPG6 – Amenity

A key objective of the Camden Core Strategy is to sustainably manage growth so that it avoids harmful effects on the amenity of existing and future occupiers and to nearby properties. This guidance provides information on all types of amenity issues within the borough and supports the relevant Local Development Framework policies.

5.28 CPG7 – Transport

This document again highlights that Camden benefits from excellent transport provision with international and national rail links, numerous tube stations and a large number of bus routes providing accessibility within Camden, to the rest of London and beyond. However, being a located in central London, the borough also faces considerable transport challenges, including congestion and poor air quality. This guidance provides information on all types of detailed transport issues within the borough.

5.29 CPG8 – Planning Obligations

The purpose of this guidance is to provide an indication of what may be required when the Council considers that a development proposal needs a planning obligation to be secured through a legal agreement. Planning obligations can be used positively and to address some of the negative impacts of development which would otherwise make a development unacceptable.

6. Planning Appraisal

- 6.1 The purpose of this Appraisal is to consider the application proposal as a whole against the requirements of the relevant policies which we believe to be most relevant with reference to this proposed development.
- 6.2 Given that this development involves the complete demolition of the existing house in a Conservation Area, this report starts by considering heritage aspects, including design.
- 6.3 The report then focusses on to the principle of providing a terrace of four dwellings in place of one, followed by specific issues, i.e. the sub-surface (basement) aspects, car parking, neighbouring amenity, sustainability and lifetime homes.

Conservation and Design Issues

- 6.4 The principle of demolition of the existing dwellinghouse is considered in the Heritage Assessment. As part of the determination of the application, the effect of demolishing the existing dwelling needs to be examined and consideration given to preservation or enhancement of the site. It is noted however, and as has been discussed earlier, that the building is not identified in the LPA's own appraisal of the Conservation Area ("CA") as making a positive contribution to it. On this basis and in line with advice from the Local Planning Authority it is considered that the demolition of the existing building is acceptable in principle.
- 6.5 Planning Policy seeks high quality, well designed schemes that respond to their context and respects the built heritage of the Borough. Policy C14 seeks to ensure that new development across the Borough is of the highest standard and relates appropriately to its context, including the Borough's Heritage assets. DP24 expands on this by setting out the key issues for consideration in securing high quality design. DP25 sets out more specific requirements in relation to heritage assets. DP25 states that the Council will only permit development within conservation areas that preserves and enhances the character and appearance of the area. Where buildings do not make a positive contribution to the character or appearance of a conservation area it is expected that their replacement should be a stimulus to imaginative high quality design that would enhance an area. These new buildings should not be required to directly imitate earlier styles, but should rather reflect the wider context and character and appearance of the area.

- 6.6 As has been highlighted in the Design and Access Statement the proposed development has been designed with a degree of symmetrical ideology being implemented. There are two flanking gables each with a two storey high hexagonal bay to the front. The building would be located centrally within the plot. The footprint and the massing of the proposed development is larger than the existing. The building would be three storeys in height with additional accommodation in the basement. The third level of accommodation is in the roof structure, keeping the appearance of the property to ground and first floor accommodation and then roof space, this is typical of this type of building and representative of other properties in the Belsize Park Conservation Area.
- 6.7 As has been set out in great detail within the Design and Access Statement the proposed development has been designed, incorporating a number of architectural features found close by within the Belsize Conservation Area. In particular, the proposed gables are a common feature on the north side of Lancaster Grove with a few examples also in existence on the south side. The development has been designed to be viewed as a single large family residence rather than four individual properties, this enables the proposals to maintain the typology of the conservation area, but also meet policy in providing additional accommodation.
- 6.8 In addition to the overall design and appearance of the building it would also be set back from the street with a communal entrance driveway with in and out gates which have been designed to function similar to the existing arrangement. All levels and falls are set to be the same as existing levels when reinstated with the driveway set to a gentle fall towards the road and footpath. Existing dropped kerbs and entrances and exists to the site are maintained. It is our view that the development would not conflict with the style of the existing dwellings on the southern side of Lancaster Grove, but would add to the unique existing mix.
- 6.9 On this basis it is considered that the proposed development would enhance the character and appearance of this part of the Belsize Conservation Area and its design justifies the demolition of the existing dwelling.
- 6.10 In light of the above, it is considered that the proposed development would fully accord with the Development Plan including Camden Policies CS14, DP24 and DP25 as well as London Plan Policies 7.4, 7.6 and 7.8.

Provision and mix of residential floorspace and amenity

- 6.11 The National Planning Policy Framework sets out that in order to deliver a wide choice of high quality homes, widen opportunities for home ownership and create sustainable, inclusive and mixed communities, local planning authorities should plan for a mix of housing. This is supported by policy CS1 (promoting the most efficient use of land), DP2 which supports the principle of adding to the quantity of housing provided this can be done without causing harm and DP5 which encourages the principle of mixed size residential provision
- 6.12 Where a proposal would involve an increase in floor area above 200 sqm within Central London, a minimum of 50% of that overall increase should be residential in order to help meet the shortfall of housing within the Borough (Policy DP1). The Council's priorities in terms of dwelling sizes, are for two-bed and larger units. New developments should also seek to provide a mix of small (one/ two-bed) and large (three-bed plus) units.
- 6.13 Through the inclusion of basement levels the proposal would result in an increase in floor area compared to the current dwelling on the site. 100% of this increase would be for residential use, thereby exceeding the policy requirement to deliver an increase in housing within the Central London area. The proposal would deliver three four-bed units. Although the scheme would not achieve the Borough's 40% two-bed target, this is a borough-wide figure and the proposal would nonetheless help to achieve the Borough's aim of securing two-bed and larger units.

- 6.14 The amount of the site developed has been carefully considered and discussed with the council. Although the proposals increase the amount of building on the site total site coverage of built to open is 33% with a plot ration of 1.4 which is deemed to be acceptable for the location and in line with other properties in the area. The increase is not considered to have a detrimental impact upon the layout of the new properties or their amenities. As can be seen from the plans and the plot ratio above each unit created has a more than adequate space for all household activities and that the homes created provide good levels of amenity.
- 6.15 In accessing the level of amenity available to each house it is worth referring to Camden's requirements for outside amenity, each property has a rear garden of approximately 12.5m long x 6m wide, this equates to 75sqm of space per unit, assuming that each bedroom is inhabited this would equate to 6 people per house. Camden CPG6 requires 9 sq.m per person. The proposed development allows for 12.5 sq.m which is above the level required.

Affordable Housing

- 6.15 **Core Strategy policy CS6 indicates that the Council will aim to secure high quality affordable housing for Camden households that are unable to access market housing. Policy DP3 supports the delivery of CS6 by setting out our detailed approach to providing affordable housing. The Council considers that all developments with capacity for 10 or more additional dwellings should contribute to affordable housing in Camden. The Council further considers that a floorspace of 1,000 s.m (gross) is capable of accommodating 10 family dwellings, and will expect all residential developments that would provide additional built residential floorspace of 1,000 sq.m (gross) to make a contribution to the supply of affordable housing. Where affordable housing cannot practically be achieved on-site, the Council may accept affordable housing to be delivered off-site, or exceptionally a payment in lieu.**
- 6.16 Having regard to the above it is considered that the current scheme would only deliver 4 dwellings on the site 3 of which would be additional if it the existing dwelling is taken into account. The second trigger for an affordable housing contribution relates to the provision of 1000sq.m of additional floorspace. In this regard the proposed development would result in the replacement of the existing residential dwelling on the site and whilst the replacement scheme would deliver a development with a larger footprint the increase would not result in an additional 1000sq.m of floorspace over and above what is currently provided on site.
- 6.17 Based on the above it is considered that the proposed development falls below the threshold requirements for affordable housing and as such there is no requirement for provision on site, off-site or the need for any financial contribution in lieu and as a result it is concluded that the proposed development would not be in conflict with the above stated Policies.

Trees and Landscaping

- 6.18 Planning policy seeks the protection of existing trees of value (DP24). It is acknowledged that there are a number of protected trees on the site. In order to assess the proposed development against these constraints an Arboricultural and Tree Protection Report was commissioned from RPS who worked in conjunction with Mr Dixon from the Council. As part of this report all the trees on the site and the neighbouring properties were surveyed and recorded.
- 6.19 All trees in the rear garden are to be retained apart from one specimen (T5 on the submitted plans) which is to be removed as it is in poor health and its growth is considered to be restricted due to the crown of T4. The trees in the existing front garden are considered to be in poor health and not particularly appropriate species for the location, it was agreed with Mr Dixon that they could be removed and as part of the reinstatement works appropriate replacements could be reinstated as part of the new landscaping scheme.

- 6.20 The trees in the existing front garden (T1 and T2 on submitted plans) are considered to be in poor health and not particularly appropriate species for this location. The Councils Tree Officer agreed that these trees could be removed. It is proposed by the applicant that these trees be reinstated as part of a new landscaping scheme.
- 6.21 The most likely trees to be affected by any construction work would be those trees in close proximity to House 4 (T3 and T4 on submitted plans). In this regard the floor of House 4 is to be constructed as a cantilevered floor slab with 3 piles located in the root protection zone of T3 and T4. The ground floor of House 4 steps out to create a wrap-around conservatory. The extent of this has been considered to allow percolation of water to the root system.
- 6.22 Based on the above and conclusions set out in the Arboricultural and Tree Protection Reports it is considered that the proposed development can be successfully constructed without putting undue pressure or resulting in the loss of trees of value within the site compliant with the requirements of Policy DP24 as set out above.
- Neighbouring Amenity
- 6.23 Planning policy CS14 and DP26 seeks to ensure that new development across the borough respect the amenity of neighbouring occupiers.
- 6.24 With regard to relationship with the adjoining residential dwellings the proposals have been purposely stepped away for the boundaries where they will be close to the neighbouring properties to mitigate any overshadowing or daylighting issues.
- 6.25 The properties to the front and rear of the development are approximately 26m and 28m away from the proposed development respectively. Given these separation distances as well as the overall size, scale, bulk and orientation of the proposed development it is considered that no amenity issues are raised with regard to loss of outlook or overbearing development.
- 6.26 In terms of daylight/ sunlight, an assessment has been submitted in support of the application. The properties to the front and rear of the development are approximately 26m and 28m away from the proposed development respectively. These properties fall well short of the best practice principle of being higher than a 25 degree line taken 2m above the ground and therefore they can be assumed to have no impact on daylight and sunlight to the proposed development and the same can be said to be true when reversed. The proposed development therefore has no adverse impact upon these properties. This conclusion is supported by findings contained within the report mentioned above completed by Syntegra.
- 6.27 In terms of privacy, the key issue is the views from the rear windows of the proposed scheme towards those properties along Eton Avenue. It is considered that given the level of screening to the rear of the application site, the intention to retain the existing trees on the site as well as the separation distances between the properties there is very little prospect of the residential properties immediately to the rear of the application site suffering any material loss of amenity as a result of overlooking. In addition it is considered that whilst the proposed development
- 6.28 With regard to the adjoining residential dwellings it is considered that whilst high level rear facing windows are proposed these would not result in any additional overlooking than that currently experienced from the first floor rear facing windows of the existing dwelling. In addition it is noted that the side boundaries of the site are also well screened by mature trees that will be retained as part of the current scheme. Overall it is considered that any overlooking of the rear gardens of these adjoining neighbours would not be at a level that would be unacceptable within this urban settlement.

6.29 Based on the above it is concluded that the proposed development would respect the amenities of the immediate neighbours in all aspects and would comply with the requirements as set out within the relevant policies highlighted above.

Sustainability

6.30 In order to achieve a reduction in carbon emissions The Mayor will and boroughs should in their DPDs adopt a presumption that developments will achieve a reduction in carbon dioxide emissions of 20% from onsite renewable energy generation according to 5.42 section of Policy 5.7 Renewable Energy (which can include sources of decentralised renewable energy). According to Policy 5.2 (clause B) all residential and non-residential buildings should show an improvement of 25% BER/TER based on 2010 Building Regulations, between 2010 and 2013 and 40% BER/TER from 2013 to 2016, unless it can be demonstrated that such provision is not feasible. Furthermore, intent must be shown for connecting to a Decentralised energy Network according to Policy 5.6 and utilizing a Combined Heat & Power. In line with the above Camden's Core Strategy (Policy CS12) and Development Control policies (DP22) outline a range of requirements in relation to sustainable design and energy.

6.31 The above stated policies require that all new developments are to be designed to minimise energy demand through good design and high levels of insulation and air tightness (CPG3 - Energy Efficiency: New Buildings). Schemes must demonstrate how sustainable development principles have been incorporated into the design and proposed implementation. According to the Camden Planning Guidance, it is requested for new developments to meet Code for Sustainable Homes 'Level 4' as a minimum requirement, by achieving the minimum standards for specific categories (% of un-weighted credits) of 50% of the credits achieved under the Energy, Water and Materials sections in accordance with the Development Policy DP22: Promoting sustainable design and construction & the CPG3: Sustainability Assessment Tools (9.8). Also, according to the CS13 policy, developments need to achieve a reduction in CO2 emissions of 20% from on site renewable energy generation.

6.31 To assess the above an Energy Strategy Report was prepared by Sentegra Consulting which has been submitted as part of the application. In order to achieve the above stated policy requirements for the reduction in carbon emissions it is proposed that the current scheme would include Efficient Individual Air Source Heat Pumps with Underfloor heating and a total of 9.16kWp PV for all houses, which equals to 28PV. These panels will be accommodated as follows:

- House 1 and 4 require the installation of 6PV panels each and a roof space of approximately 10m2 at each house
- House 2 and 3 require the installation of 8PV panels and a roof space of approximately 13m2 at each house.
- In addition all houses will include A rated AC cooling system (Kitchen/living room, gym, all bedroom areas & master bedroom).

6.32 Implementing the above would result in:

- An average of 54.4% CO2 reduction saving (DER/TER) against current building regulations for the whole development. Therefore, the strategy meets BRUK-L1A requirements for the development and the minimum requirements for ENE01 – Level 4 for CSH assessment.
- An average of 21.0% reduction of CO2 emissions the energy demand via onsite renewable technology (PV) for the overall development. Hence, the required target of 20% reduction in CO2 emissions through renewable onsite has been achieved.
- A "Code Level 4" rating being achieved for the dwellings. This has been verified through a separate CSH pre-assessment that was undertaken for the residential development.

6.33 Having regard to the above and the conclusions drawn within the Energy Strategy Report it is concluded that the proposed development would comply with the relevant policies in that it would:

- Achieve an overall score of 73.58, thus achieving Code Level 4.
- Under the Energy category, the development achieves 20.8 credits out of 31 credits available (more than 50% of the planning policy required credits).
- Under the Water category, the development achieves 4 credits out of 6 credits available (50% of the planning policy required credits).
- Under the Materials category, the development achieves 13 credits out of 24 credits available (more than 50% of the planning policy required credits).

Lifetime Homes

6.34 Policy DP6 requires new dwellings to be designed to fully comply with Lifetime homes standards. In compliance with the requirements of this policy a Lifetime Home Statement has been submitted with the application.

6.35 In order to meet the requirements of lifetime homes the proposed development has been designed to include elements such as internal floor levels are to have level thresholds, ground levels are designed to have a gentle slope away from the entrance and to have recessed drainage channels at thresholds to stop any ingress of water, all door openings will be a minimum of 850mm clear opening, all ground floor rooms will be capable of allowing a turning circle of 1500mm diameter and all houses will have WC facilities on the ground floor level. While the properties do not have a lift in their current form, a space has been identified behind the main stair where a lift could be retro fitted if required in the future.

6.36 Based on the above as well as the applicants willingness to accept a condition recommended to secure the listed lifetime homes features it is considered that the proposed development would be fully compliant with the aims and objectives of policy DP6.

Basement Impact

6.37 Policy DP27 states that the Council will only permit basement and other underground development that does not cause harm to the built and natural environment and local amenity and does not result in flooding or ground instability.

6.38 The redevelopment of the site would result in basement levels being created at each of the 4 new dwellings. The proposed finished floor level (FFL) in the basement is 55.03m AOD, which is 3.91m below the proposed ground floor FFL (at 58.94m AOD except where House 4's reception/conservatory which will be suspended over the tree root protection areas). With allowance for the construction thickness of the basement slab, insulation and floor finishes, the formation level is likely to be about 54.3m AOD, which is 4.6-5.0m below existing ground levels.

6.39 A borehole was completed with regard to the planning application for the basement beneath No.24 Lancaster Grove. Findings for this borehole may be summarised as:

- Made Ground: Up to 1.80m thick where examined and comprised granular strata over soft becoming firm clays.
- Weathered London Clay: Directly underlying the Made Ground. Generally described as stiff, fissured to closely fissured, brown mottled grey, silty/slightly sandy clay.
- No groundwater was encountered while drilling/digging any of the exploratory holes, though groundwater was recorded at 3.8m below ground level (bgl) in one of the standpipes that were installed in the borehole.

6.40 The applicants have submitted a Basement Impact Assessment completed by Chelmer Consultancy Services in support of the application. The technical details of this report have been considered and the following conclusions have been reached:

- The proposed basement is considered acceptable in relation to the likely negligible groundwater flow in the natural strata, while flow in the Made Ground, if any, is confined mainly to service trenches and/or granular pipe bedding.
- Water entries into the basement excavations are likely to be manageable by sump pumping (10.3.1). The clays onto which the underpins and the basement slab will bear must be blinded with concrete immediately following excavation and inspection.
- There are no concerns regarding slope stability.
- Use of bored pile walls to form the perimeter of the basement is considered appropriate.
- Calculations of the resultant maximum angular distortion and horizontal strain beneath the adjoining properties have shown that the damage, if any, to No.24 is not expected to exceed Burland Category 1 'very slight'. The damage to Nos 18&20, if still present when this basement is constructed, might reach the lower part of Burland Category 2 'slight'.
- A 'Low support stiffness' bottom-up method of construction might cause unacceptable damage in the neighbouring properties, so would not be suitable.
- Various other guidance has been set out in relation to the geotechnical design and construction of the basement's perimeter walls.
- Re-development of the site will increase the area of hard surfacing. Any increased surface water run-off will be controlled through the use of one or more appropriate SUDS systems whilst the ground levels around the new building should allow surface water to continue running off to the highway.
- Lancaster Grove is in Flood Zone 1, so is at negligible risk of flooding from rivers. This is supported by two recent flood modelling studies which predict flooding in the low area, and minimal risk of flooding no ponding in the vicinity of the application site at No.22 Lancaster Grove.
- The property is at minimal or no risk of flooding from reservoirs or from groundwater. It is concluded that the overall risk of flooding from all sources considered is minimal provided that excess surface water can continue to drain northwards to the highway.
- Mitigation measures will include a possible revision of the basement layout to reduce potential ground movements below Nos.18 & 20, use of SUDS systems to off-set the increase in impermeable surfacing, construction of up-stands around the lightwells, and installation of non-return valves or above ground loop systems to prevent flooding of the basements when the mains sewer is operating under surcharge.
- Heave analysis indicated that the heave beneath the centre of this large basement could be in the order of 149mm. Much smaller displacements, probably less than 10mm, are anticipated around the perimeter of the basement. The basement slab must be designed to accommodate swelling pressures and displacements generated by this heave. Further, more rigorous analysis could be undertaken during detailed design, and to support Party Wall Agreement negotiations.

6.41 Based on the above assessment and in compliance with the requirements set out in policy DP27 it is concluded that:

- the development will not result in significant alterations to the basement water table or lead directly to flooding;
- it will not require additional basement design methods to respond to deeper aquifer/ rising groundwater issues;
- the site has not suffered from recent surface water flooding nor is it at risk from groundwater flooding;
- the proposed development will not affect the stability of nearby residential properties due to the distances involved and the retention of the surrounding boundary walls.

Transport

- 6.42 The application site has a PTAL of 3 corresponding to a moderate level of accessibility and significantly below that of Camden's town centres. The proposal maintains 1 off street car parking space for each of the units. This is in accordance with the maximum standards as set out in the Development Policies DPD and enables an appropriate balance between hard and soft landscaping to the front of the property. Secure and covered cycle parking is also provided to the front of the building. Internal access and structural constraints do not enable internal cycle storage without risking the integrity of the building and quality of internal accommodation.
- 6.43 It is noted that Policies CS11 and DP18 seek to minimise the provision for private parking including through *"car free development in the borough's most accessible locations."* Paragraph 18.4 of the Development Policies DPD further states that the *"Council will expect car-free development where public transport accessibility is equivalent to levels in our town centres..."*. In this regard the Core Strategy Key Diagram and Policies CS2 and CS3 assist in identifying the highly accessible locations with the Borough. None of these include the application site. CPG 7: Transport provides further guidance in setting out criteria in which car free agreements should be sought including for the development of one or more additional units and where the site's PTAL is 4 or more. As both the criterion would need to apply, there is no policy basis for seeking that the proposed development should be subject to a car free agreement.
- 6.44 The proposed development would make provision for four off-street parking spaces. It is further noted that the site is within walking distance of a range of public transport facilities. As a result it is concluded that the level of parking would be sufficient to serve the proposed development without resulting in an overprovision of private parking compliant with the aims and objectives of local plan policies.

Construction Impacts

- 6.45 Construction Impacts (Policy DP26): Due to the scale of works proposed and the need to protect the local highway network and neighbouring amenity during the construction period, a Construction Management Plan has been submitted as part of the application. This document includes a Traffic Management Plan, Site Accommodation and the Storage of Plant and Materials and Construction Sequence and Phasing.
- 6.46 This document concludes that the proposed development of the site can be achieved without putting undue pressure on the highway network preventing any highway safety issues.

Crime Prevention

- 6.47 Policy CS17 sets out that consideration of how crime, disorder and fear of crime can be addressed is an important element in good design. This can create safe and attractive places to live and work, reduce the opportunity for crime and allow for better maintenance and management of buildings and spaces. It further highlights that The Council will require all development to include appropriate design, layout and access measures to help reduce opportunities for crime, the fear of crime and to create a more safe and secure environment.

6.48 In order to comply with the aims and objectives of policy CS17 the proposed development would include the following design and layout features:

- Communal Areas to the front will have pavement lighting and edge lighting along with porch lights for each property which will be switch on a PIR and daylight sensor.
- The properties have an in and out drive which is gated and will be electronically controlled.
- The communal area of the property is able to be viewed from all houses and therefore benefits from natural surveillance.
- All doors and windows are to be specified to meet secure by design standards.
- Each property will be fitted with an intruder alarm to BS EN 50131 & PD6662.

Conclusion

7.1 As this assessment, together with the application drawings and other supporting documents, demonstrates, the proposed development is in accordance with the Development Plan. The proposals will make a contribution to improving Camden's housing supply whilst having regard to the importance of design quality, the surrounding context and transport concerns. On this basis and in the absence of material considerations which suggest otherwise, the proposals should benefit from a favourable determination.

8.01 Secured by Design

8.02 The proposals have been produced alongside the requirements of Secured by Design.

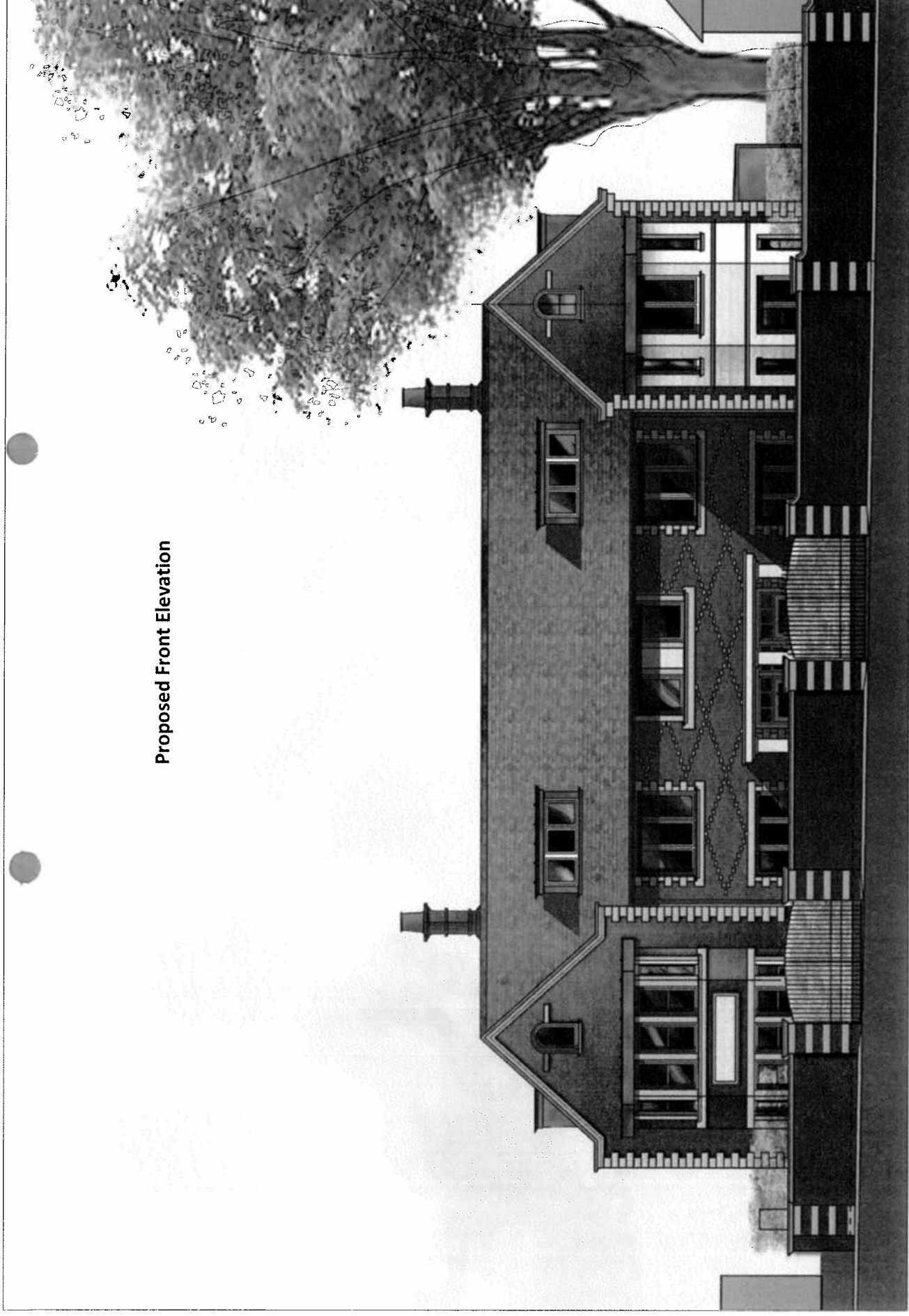
- Communal Areas to the front will have pavement lighting and edge lighting along with porch lights for each property which will be switch on a PIR and daylight sensor to enable residents to feel safe in these areas.
- The properties have an in and out drive which is gated and will be electronically controlled.
- The communal area of the property is able to be viewed from all houses and therefore benefits from natural surveillance.
- All doors and windows are to be specified to meet secure by design standards.
- Each property will be fitted with an intruder alarm to BS EN 50131 & PD6662
- The properties are to be installed with intelligent utility meters.
- Bicycle storage is allowed for, with x2 spaces per house provided.

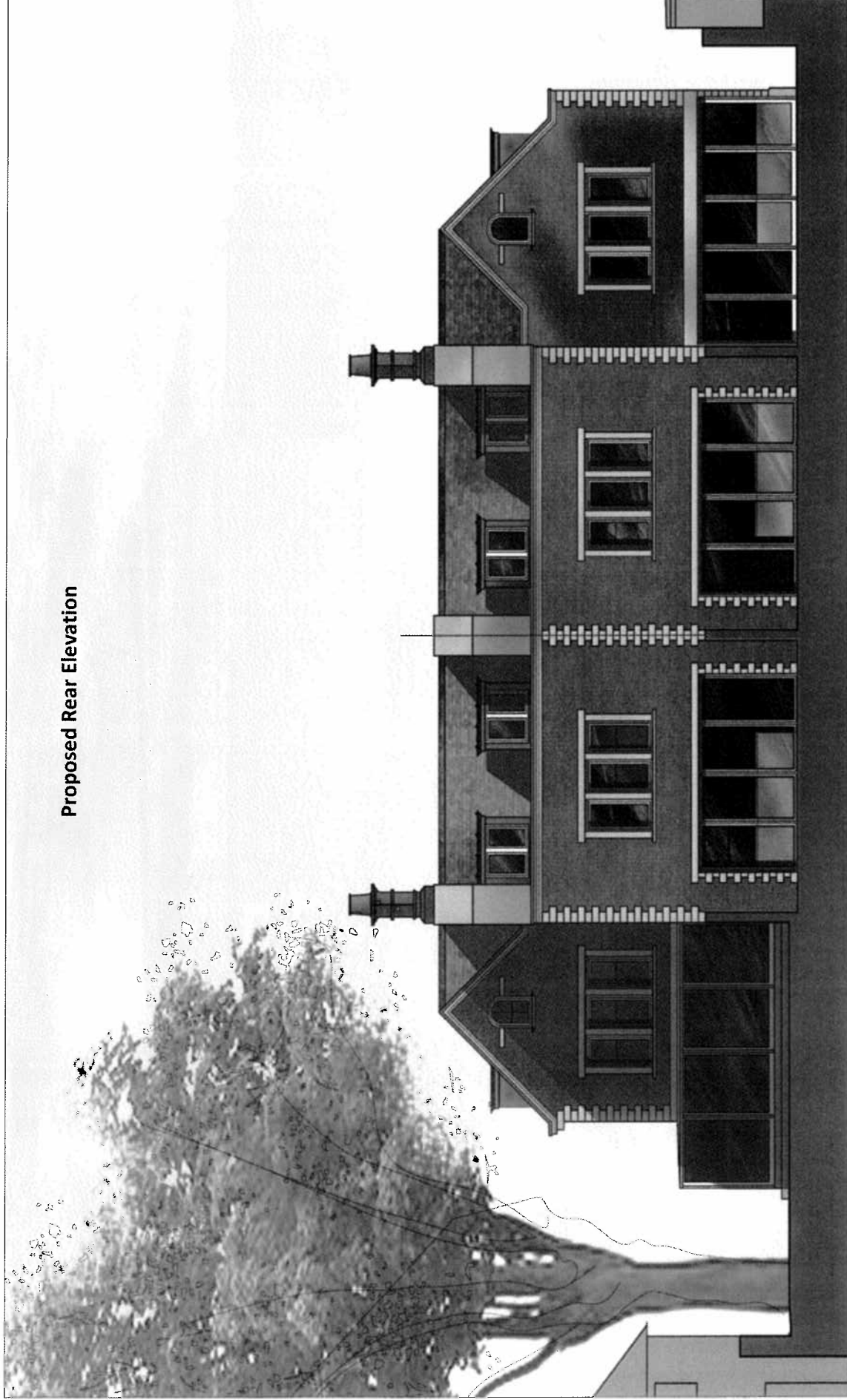
9.01 Life Time Homes

The following accesses the proposed development of 22 Lancaster Grove against the Lifetime Homes Standards 2010.

Standard		Compliance
1.0	Car Parking Width	Requirement Satisfied
2.0	Approach from Car parking	Requirement Satisfied
3.0	Approach to all entrances	Requirement Satisfied
4.0	Entrances	House 4 has three steps in the entrance to get up to the living space to enable bridging and cantilevering over roots, this could be changed to a ramp in the future if required for disabled access.
5.0	Communal Stairs and Lifts	N/A
6.0	Internal Doorways and Hallways	Requirement Satisfied
7.0	Circulation space	Wheelchair circulation Satisfied
8.0	Entrance Level Living Space	Requirement Satisfied
9.0	Entrance Level Bed Space	The properties have the ability to convert part of the living space to a bedroom or access to the bedrooms at first or basement level can be made available via the installation of a lift, for which adequate future proofing is allowed.
10.0	Entrance level WC	Requirement Satisfied
11.0	WC and Bathroom walls	Requirement Satisfied
12.0	Stairs and potential lift	Requirement Satisfied
13.0	Tracking and hoist requirements	Requirement Satisfied
14.0	Bathrooms	Requirement Satisfied
15.0	Glazing / Window Handle Heights	Requirement Satisfied
16.0	Service Control Locations	Requirement Satisfied

Proposed Front Elevation



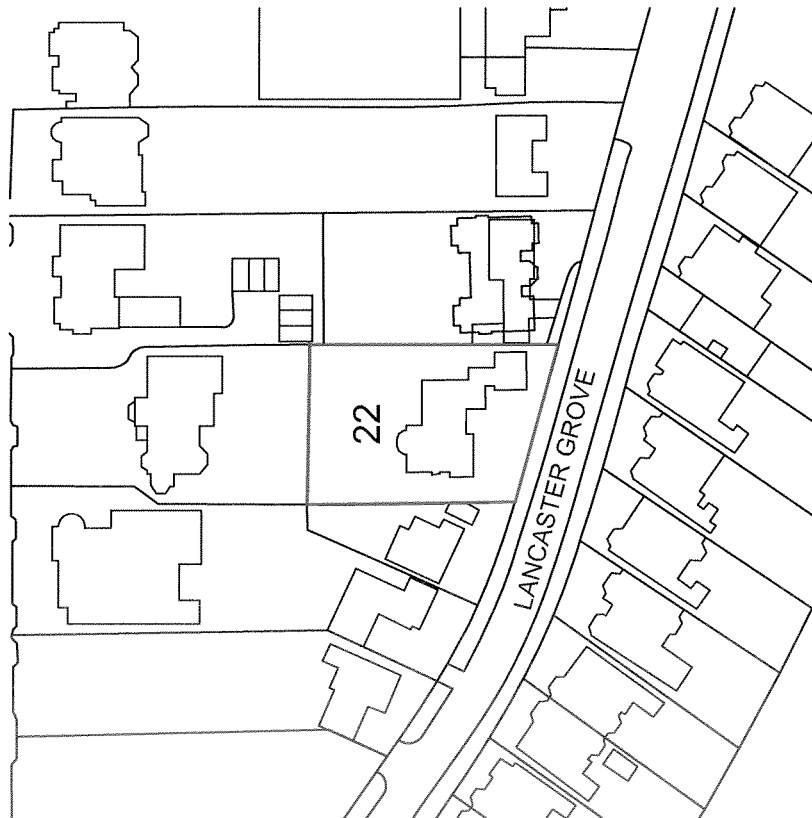


Proposed Rear Elevation

Core Document 2

NOTES:

All dimensions in millimetres.
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No liability is accepted for any errors or omissions in the information provided to the client. The client is responsible for the accuracy of the information provided to the designer for this project.
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22

LANCASTER GROVE

CLIENT PROJECT

22 LANCASTER GROVE

DRAWING STATUS

SHEET TYPE

SITE PLAN

LOCATION PLAN

SCALE	1:1250 (A4)
DATE	2015-08-22
PROJECT	22 LANCASTER GROVE
CLIENT	22 LANCASTER GROVE
PROJECT	22 LANCASTER GROVE

KAS

ARCHITECTURE AND INTERIORS DESIGN
BATH STREET LONDON, ECU
TELEPHONE: 020 4475

LOCATION PLAN 1:1250 @A4

Core Document 3

[illegible]

10/01/2021
 All dimensions in millimetres
 The information contained in this drawing is for the use of the client only and is not to be used for any other purpose without the written consent of the architect.
 The architect is not responsible for the accuracy of the information provided by the client.
 The architect is not responsible for the accuracy of the information provided by the client.
 The architect is not responsible for the accuracy of the information provided by the client.




22

LANCASTER GROVE

22 LANCASTER GROVE	
DRAWING NO. 10/01/2021	
SHEET NO. 1	
SITE PLAN LOCATION PLAN	
SCALE: 1:1250 (A4)	DATE: 10/01/2021
PROJECT NO: 2013-03-22	CLIENT: KAS
PROJECT NAME: 22, LANCASTER GROVE	PROJECT ADDRESS: 22, LANCASTER GROVE

KAS
 ARCHITECTURE AND INTERIOR DESIGN
 10/01/2021

All observations in wilderness.



REDACTED

ISS	Revision	DATE	On	Age
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Circumstance	Percentage of respondents (%)
If someone is attacking you	85
If someone is threatening you	75
If someone is harassing you	65
If someone is insulting you	55
If someone is annoying you	45

CLIENT PROJECT:

22 LANCASTER GROVE

01986-0717

DEMOLITION PLANS

2024/04/05

1:100 (A1); 1:200 (A3)

DATE:	2017-02-22
APPROVED:	

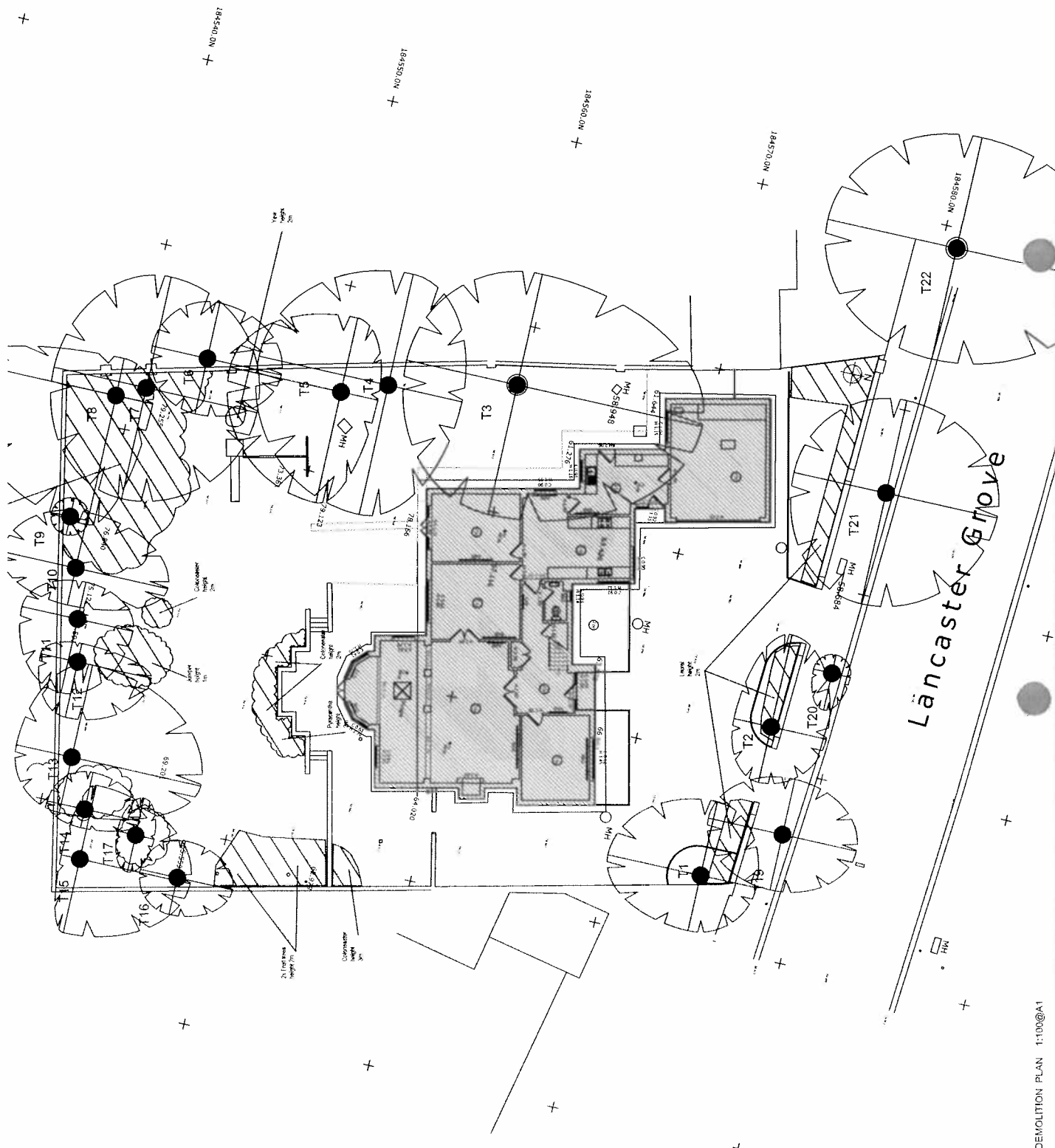
2013000000	Rev. No. 2
2013000000	Rev. No. 2

22LG
22LG-P1-(15)-001

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HATHI STREET, LONDON EC1V

DEMOLITION PLAN 1:100@A1



NOTES

All dimensions in millimeters.
 All dimensions and levels are to be checked on site by the client.
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 The drawings are for the design and construction of the building.
 The drawings are not to be used for any other purpose.

0 5m
 SCALE



Rev. Description Date Author

1/10/13 22 Lancaster Grove

CLIENT PROJECT

22 LANCASTER GROVE

DRAWING STATUS

SHEET TITLE

EXISTING SITE PLAN

SCALE: 1:100 (A3), 1:200 (A4)

DATE: 2013-08-22

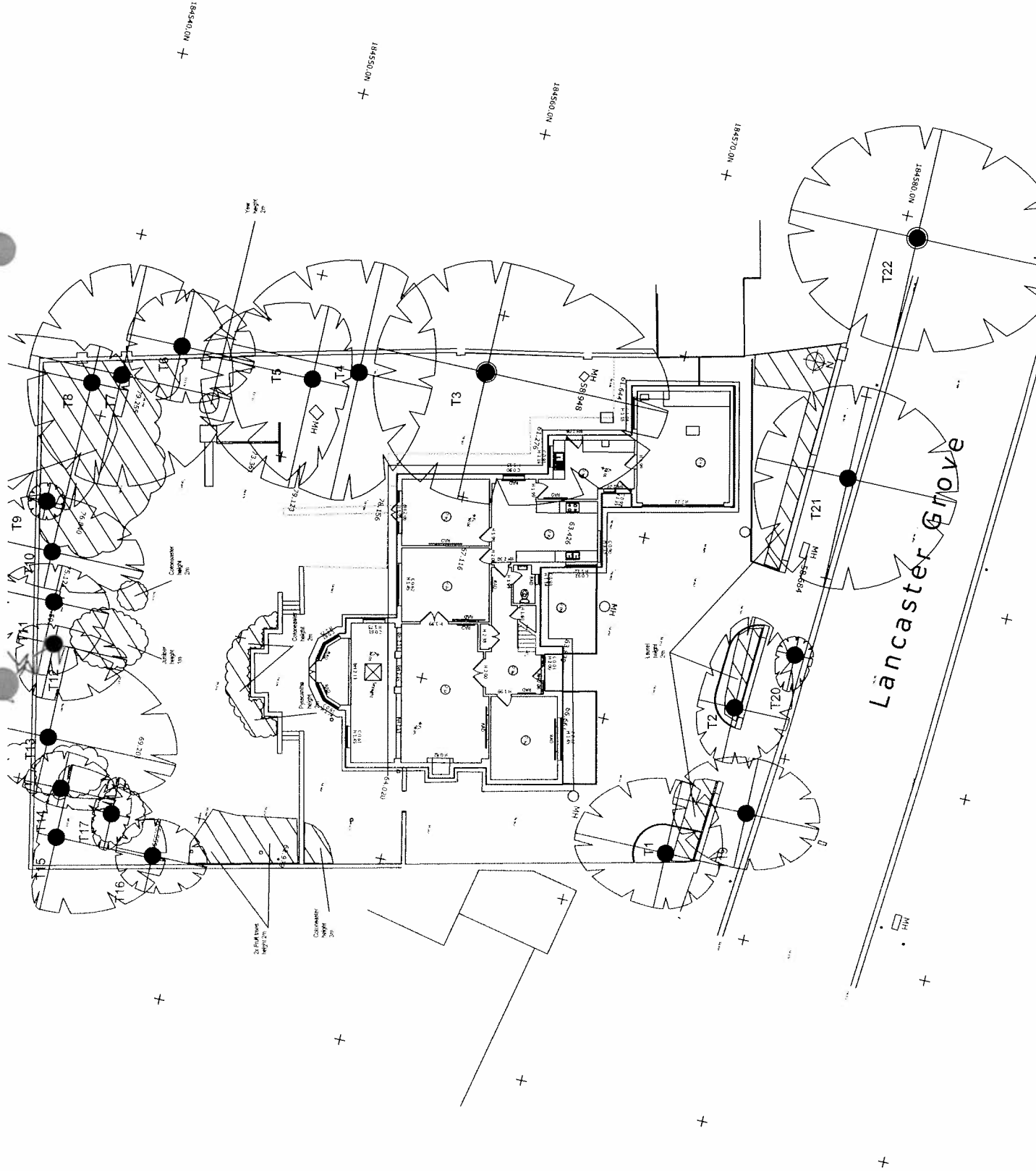
BY: 22LG

22LG-P-100-102

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 BATH STREET, LONDON, ECU

TEL: 020 7464 1000



All dimensions and levels are to be checked on site by the main contractor prior to commencing excavation works. Any discrepancy is to be reported in writing to the designer for instruction.



ISS	Revision	DATE	Rev	Appr
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CONCLUSIONS

22 LANCASTER GROVE

GRAVITY STATICS

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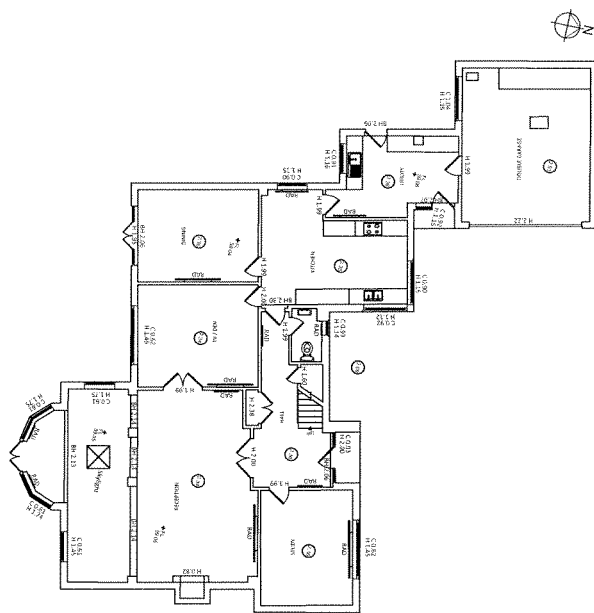
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SCALE:	1:100 (A1); 1:200(A3)	DRAWN BY:	
DATE:	2013-03-22	APPROVED:	
JOB NUMBER:	22LG	DRAWING NO:	22LG-P1-000
		Sheet No.:	1

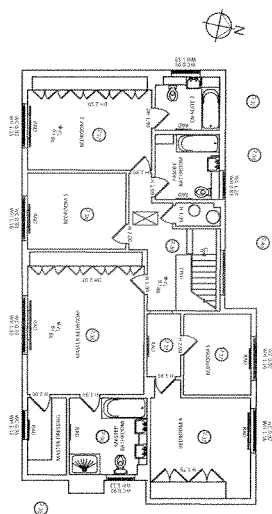
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BATH STREET, LONDON, EC1V

Key words: aging; cognition; memory; personality

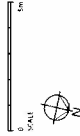


EXISTING GROUND FLOOR PLAN1:100@A1



EXISTING FIRST FLOOR PLAN 1:100 @ A1

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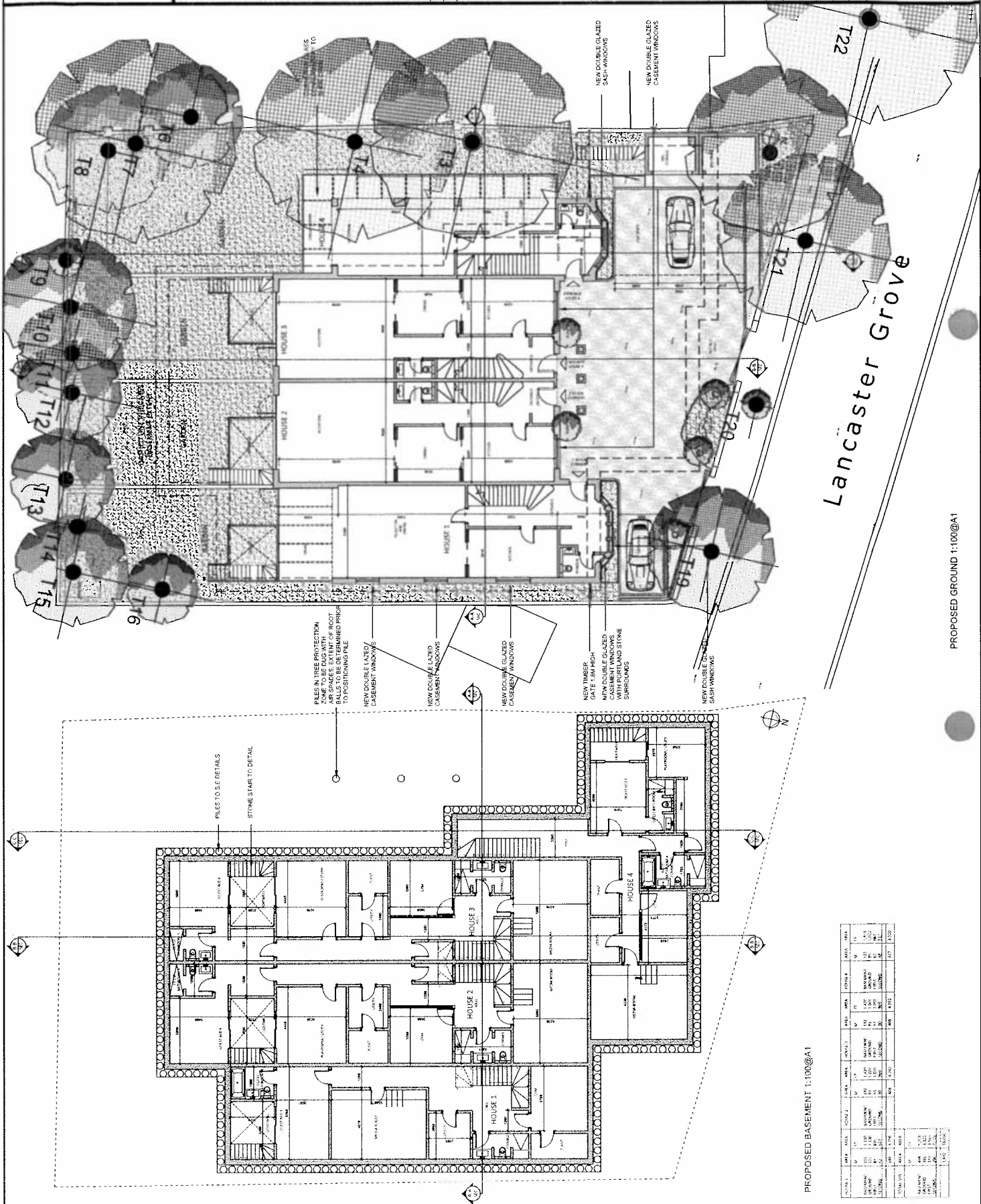


NO.	REVISION	DATE	BY
1	ISSUED FOR PERMIT	2013-03-20	AS

CLIENT PROJECT:
 22 LANCASTER GROVE

DRAWING STATUS	PLANNING
SHEET TITLE	PROPOSED GROUND AND BASEMENT
SCALE	1:100 (A1: 1200(A3))
DATE	2013-03-20
DRAWN BY	22LG
CHECKED BY	22LG
DATE	2013-03-20
PROJECT NO.	22LG-P1410-002
REV.	A

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 ARCHITECTURE AND INTERIOR DESIGN
 BATH STREET, LINCOLN, LN1 1JF
 TEL: 01522 511111
 WWW.KAS.CO.UK



PROPOSED BASEMENT 1:100@A1

NO.	REVISION	DATE	BY
1	ISSUED FOR PERMIT	2013-03-20	AS

NO.	REVISION	DATE	BY
1	ISSUED FOR PERMIT	2013-03-20	AS

NO.	REVISION	DATE	BY
1	ISSUED FOR PERMIT	2013-03-20	AS

PROPOSED GROUND 1:100@A1

All observations in subfigure 4.

[illegible]

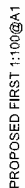
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— 344 —

PROPOSED FIRST AND SECOND

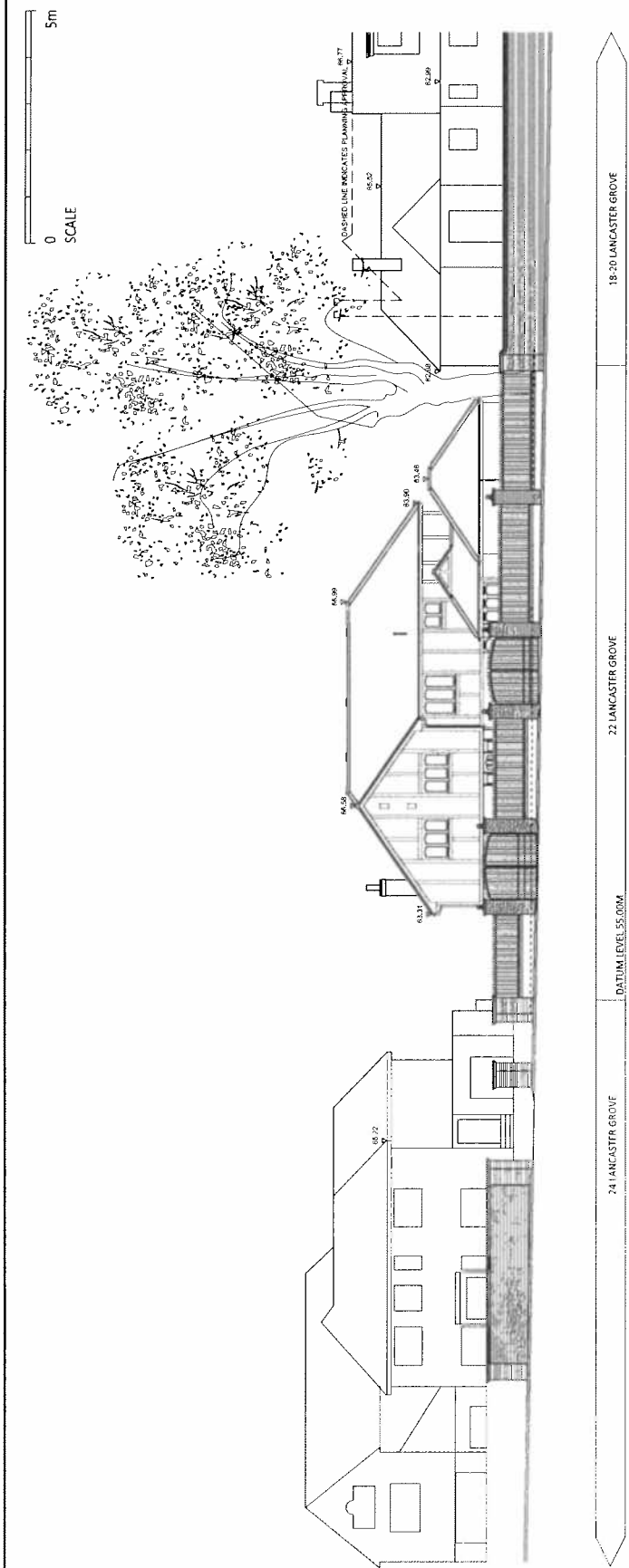
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DATE:	2013-03-22	APPROVED:	
JOB NUMBER:	22LG	DESIGNED BY:	22LG-P1(10) - 003
		THE FILE:	A

ARCHITECTURE AND INTERIOR DESIGN
BATH STREET, LONDON, EC1V

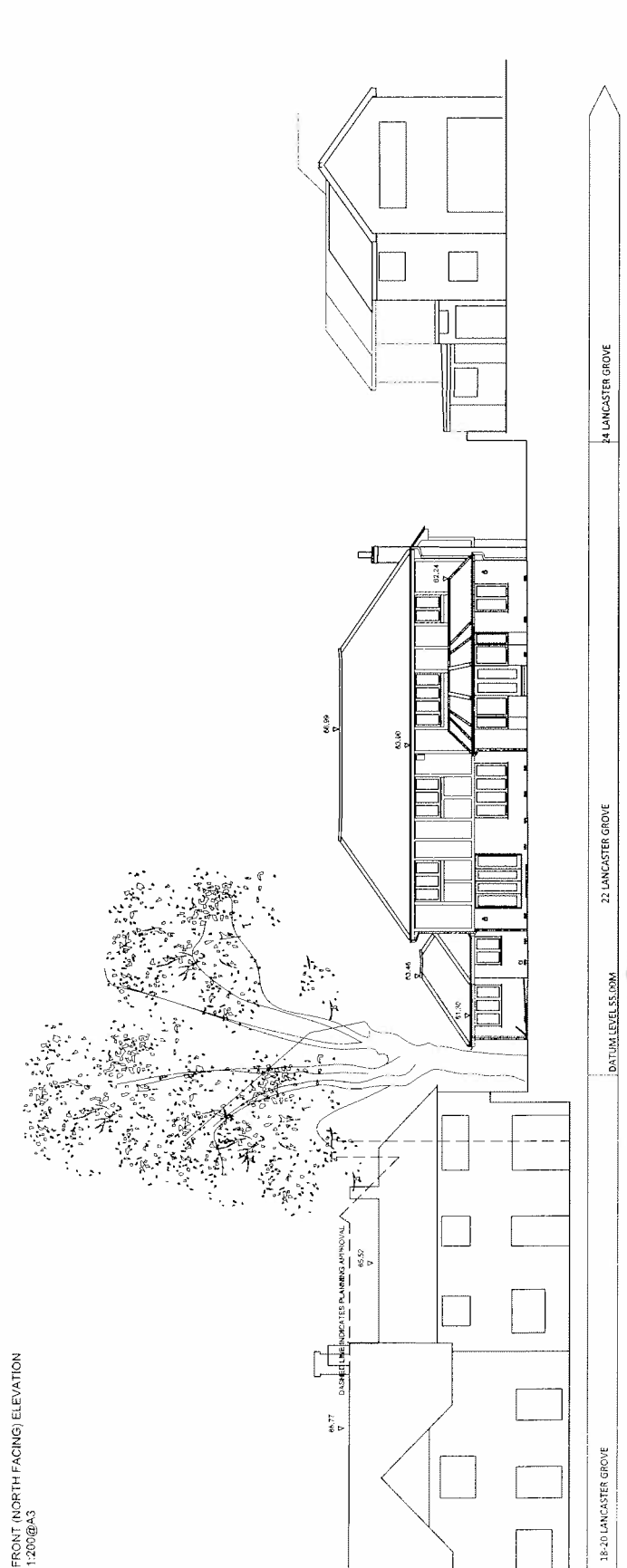


PROPOSED SECOND 1:100@A1

[illegible]



EXISTING FRONT (NORTH FACING) ELEVATION
1:100@A1 1:200@A3



EXISTING REAR (SOUTH FACING) ELEVATION
1:100@A1 1:200@A3

NOTES:

1. All dimensions are in millimeters.

2. All dimensions are to the center line of the wall unless otherwise stated.

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NO.	REVISION	DATE	BY	APP.

CUSTOMER: 22 LANCASTER GROVE

DRAWING TITLE: EXISTING FRONT AND REAR ELEVATIONS

DRAWING STATUS:

SHEET TITLE:

SCALE: 1:50 (A1); 1:100 (A3)

DATE: 2015-06-22

DRAWN BY:

CHECKED BY:

DATE: 2015-06-22

DRAWN BY:

CHECKED BY:

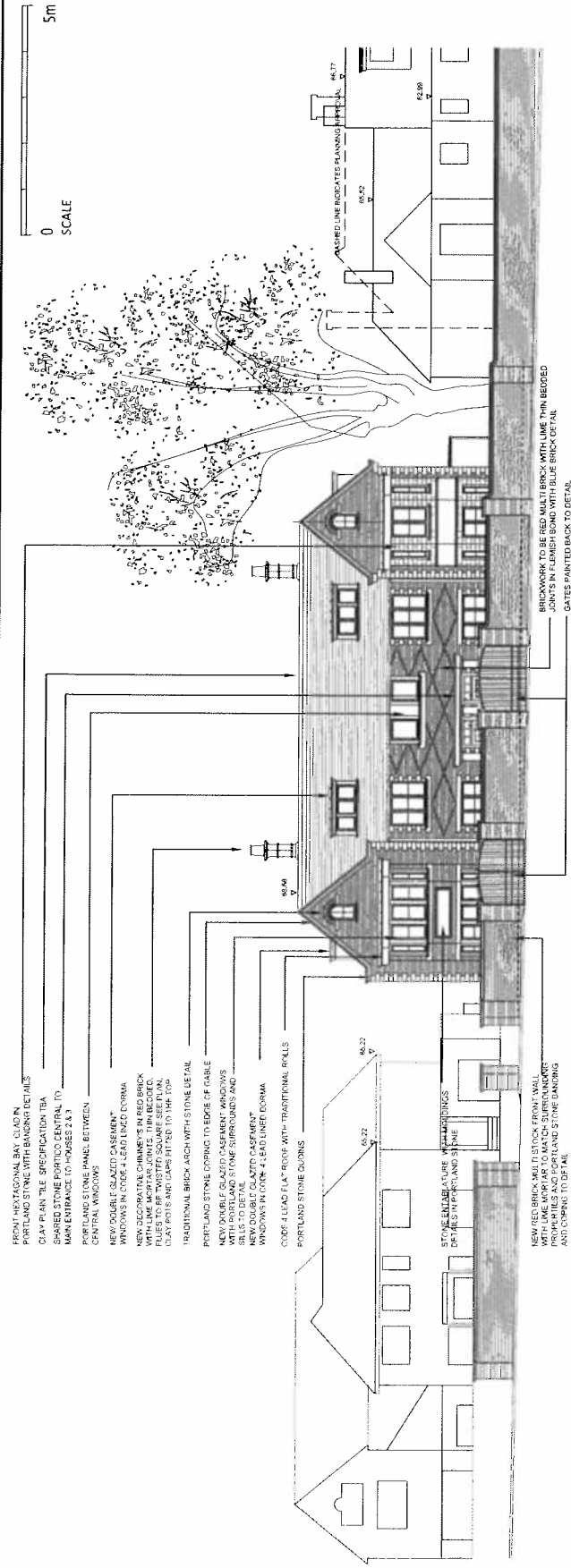
DATE: 2015-06-22

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BATH STREET, LONDON, E.C.1V

TEL: 020 7592 1234

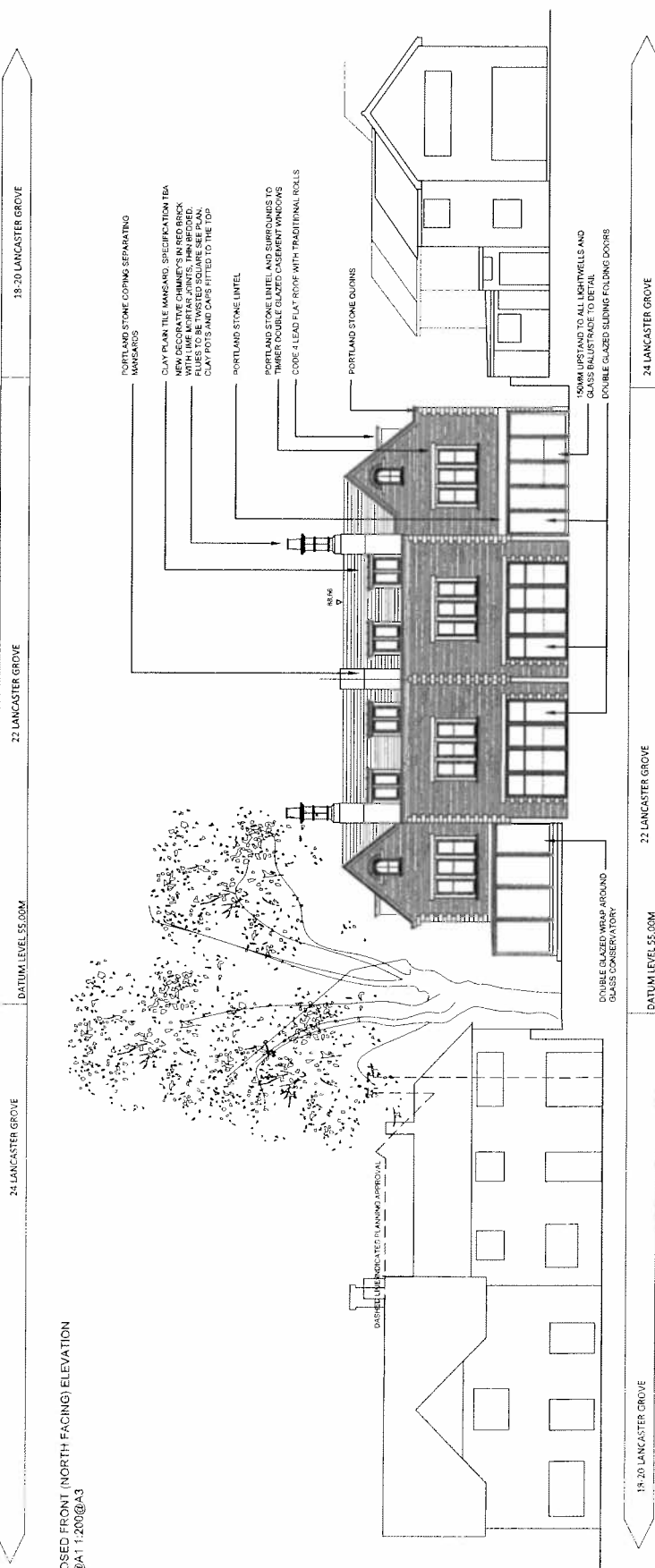


FRONT HEXAGONAL BAY CLAD IN
PORTLAND STONE WITH BANDING DETAILS
CLAY PLAIN TILE SPECIFICATION TBA
SHARED STONE PORTICO CENTRAL TO
MAIN ENTRANCE TO HOUSES 2 & 3
PORTLAND STONE PANEL BETWEEN
CENTRAL WINDOWS
NEW DOUBLE GLAZED CASEMENT
WINDOWS IN STOREY LEAD LINED DORMER
WITH CLAY WATTE CHIMNEYS IN RED BRICK
WITH PORTLAND STONE SURROUNDS AND
FLUES TO BE TWISTED SQUARE SEE PLAN.
CLAY POTS AND CAPS FITTED TO THE TOP
TRADITIONAL BRICK ARCH WITH STONE DETAIL
PORTLAND STONE CORNING TO EDGE OF GABLE
NEW DOUBLE GLAZED CASEMENT WINDOWS
WITH PORTLAND STONE SURROUNDS AND
SILLS TO DETAIL
NEW DOUBLE GLAZED CASEMENT
WINDOWS IN DORMER LEAD LINED DORMER
CODE 4 LEAD FLAT ROOF WITH TRADITIONAL ROLLS
PORTLAND STONE CURNS
STONE ENTABLATURE WITH BANDING
DETAILS IN PORTLAND STONE
NEW RED BRICK NEW TO STOCK FRONT WALL
WITH LINE MORTAR TO MATCH SURROUNDING
AND CORNING TO DETAIL

NOTES:
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The architect shall be responsible for the accuracy of the information provided in this drawing.

NO	REVISION	DATE	BY	APP

DATE	2013-03-22
SCALE	1:50 (A1) 1:100 (A3)
DATE	2013-03-22
SCALE	1:50 (A1) 1:100 (A3)
DATE	2013-03-22
SCALE	1:50 (A1) 1:100 (A3)



FRONT HEXAGONAL BAY CLAD IN
PORTLAND STONE WITH BANDING DETAILS
CLAY PLAIN TILE SPECIFICATION TBA
SHARED STONE PORTICO CENTRAL TO
MAIN ENTRANCE TO HOUSES 2 & 3
PORTLAND STONE PANEL BETWEEN
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NO	REVISION	DATE	BY	APP

DATE	2013-03-22
SCALE	1:50 (A1) 1:100 (A3)
DATE	2013-03-22
SCALE	1:50 (A1) 1:100 (A3)
DATE	2013-03-22
SCALE	1:50 (A1) 1:100 (A3)

PROPOSED FRONT (NORTH FACING) ELEVATION
1:100@A1 1:200@A3

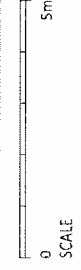
PROPOSED REAR (SOUTH FACING) ELEVATION
1:100@A1 1:200@A3

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14TH STREET, LONDON EC1V
TEL: 020 7464 1411

SHEET TITLE
PROPOSED FRONT AND REAR
ELEVATIONS
SCALE
1:50 (A1) 1:100 (A3)
DATE
2013-03-22
DRAWN BY
KAS
CHECKED BY
KAS
DATE
2013-03-22
SCALE
1:50 (A1) 1:100 (A3)

CLIENT PROJECT
22 LANCASTER GROVE
DRAWING STATUS
PROPOSED

DATE	2013-03-22
SCALE	1:50 (A1) 1:100 (A3)
DATE	2013-03-22
SCALE	1:50 (A1) 1:100 (A3)
DATE	2013-03-22
SCALE	1:50 (A1) 1:100 (A3)



INCLUDE GLAZED WINDOW AROUND
CONSERVATORY.

PORTLAND STONE ARCHWAY, GLASS IN
PORTLAND STONE WITH HANDING DETAILS

INCLUDE GLAZED WINDOW CASIMENTS

GLAZED WINDOW FULL QUARTER CIRCLE
PORTLAND STONE ARCHWAY, GLASS IN
PORTLAND STONE WITH HANDING DETAILS

PORTLAND STONE ARCHWAY, GLASS IN
PORTLAND STONE WITH HANDING DETAILS

PORTLAND STONE ARCHWAY, GLASS IN
PORTLAND STONE WITH HANDING DETAILS

PORTLAND STONE ARCHWAY, GLASS IN
PORTLAND STONE WITH HANDING DETAILS

PORTLAND STONE ARCHWAY, GLASS IN
PORTLAND STONE WITH HANDING DETAILS

PORTLAND STONE ARCHWAY, GLASS IN
PORTLAND STONE WITH HANDING DETAILS

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PORTLAND STONE WITH HANDING DETAILS

PORTLAND STONE ARCHWAY, GLASS IN
PORTLAND STONE WITH HANDING DETAILS

PORTLAND STONE ARCHWAY, GLASS IN
PORTLAND STONE WITH HANDING DETAILS

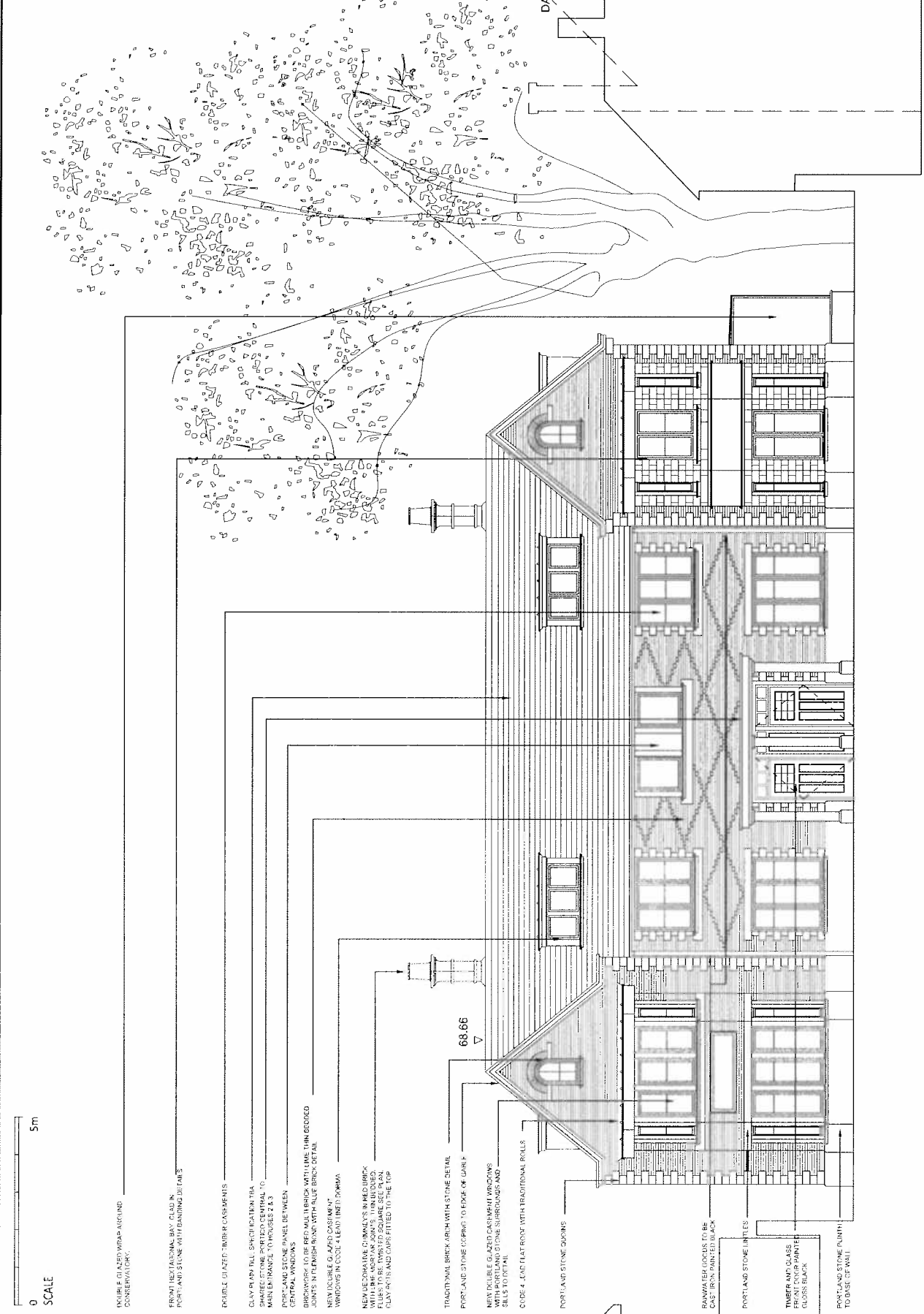
PORTLAND STONE ARCHWAY, GLASS IN
PORTLAND STONE WITH HANDING DETAILS

PORTLAND STONE ARCHWAY, GLASS IN
PORTLAND STONE WITH HANDING DETAILS

PORTLAND STONE ARCHWAY, GLASS IN
PORTLAND STONE WITH HANDING DETAILS

PORTLAND STONE ARCHWAY, GLASS IN
PORTLAND STONE WITH HANDING DETAILS

PORTLAND STONE ARCHWAY, GLASS IN
PORTLAND STONE WITH HANDING DETAILS



DATUM LEVEL 55.00M

22 LANCASTER GROVE

18-20 LANCASTER GROVE

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84111 STREET LONDON EC1V
TEL: 020 7460 1000

NOTES:
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3. THE DRAWING IS A PRELIMINARY DESIGN AND IS NOT TO BE USED FOR CONSTRUCTION.
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REV	DATE	BY	APP
1	2013-03-22	22LANCASTER	

PROJECT NAME	22 LANCASTER GROVE
CLIENT PROJECT	
PROJECT ADDRESS	
PROJECT STATUS	
SHEET TITLE	PROPOSED FRONT ELEVATION
SCALE	1:50 (A1): 1:100 (A3)
DATE	2013-03-22
CONTRACT NO.	22LANCASTER-10-12
PROJECT NO.	A

All dimensions and levels are to be checked on site by the main contractor prior to commencing excavation work. Any discrepancy is to be reported back to the designer for clarification.

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項目	単位	数量
材料費	円	100
労務費	円	200
経費	円	300
合計	円	600

.....

22 LANCASTER GROVE

Journal of Management Education

2

PROPOSED SECTION A-A

1:50 (A1); 1:100(A3)

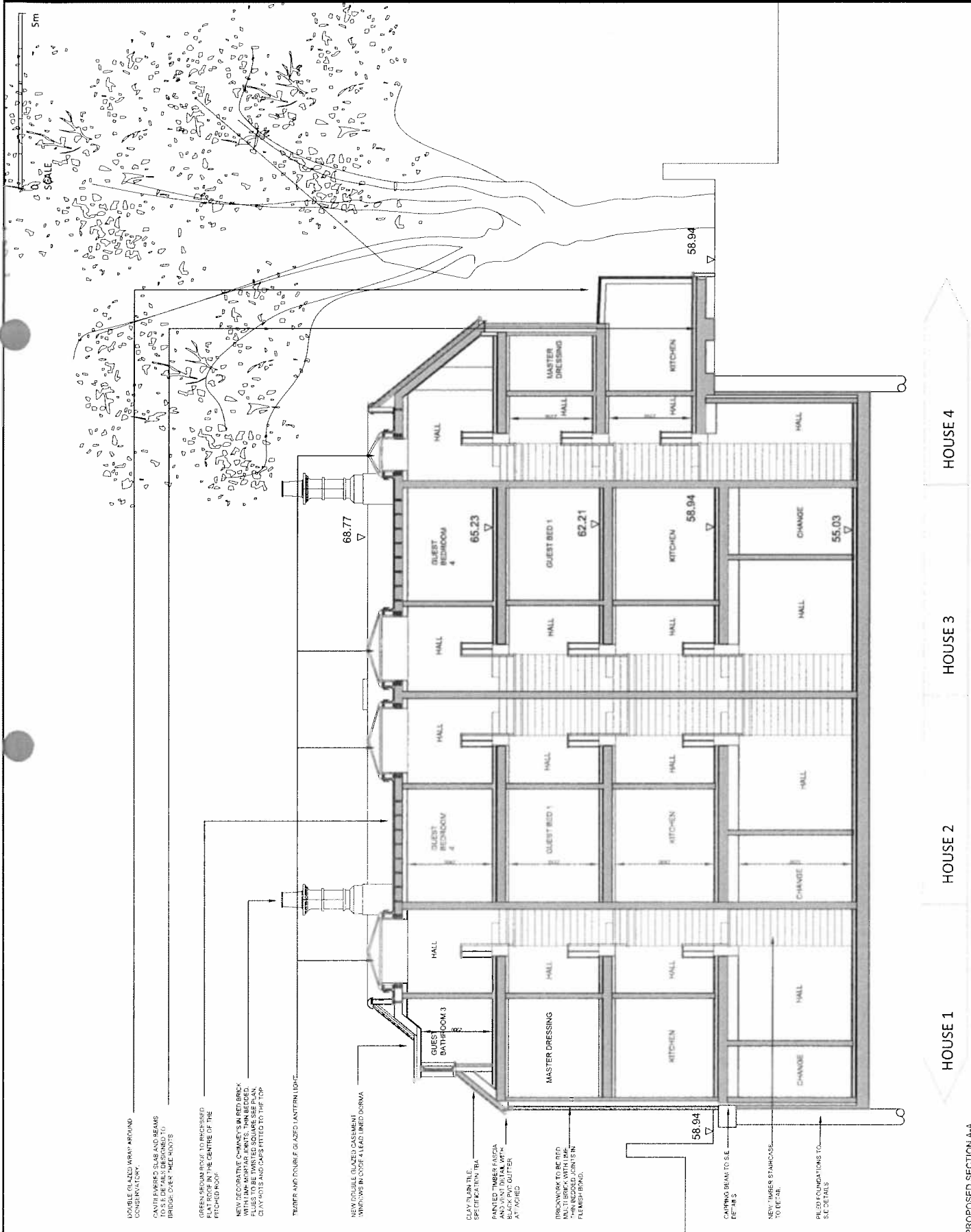
2013-2014	2013-2014	2013-2014
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[illegible]

KAS

ARCHITECTURE AND INTERIOR DESIGN
HATH STREET, LONDON EC1V

PROPOSED SECTION A-A
1:50@A1 1:100@A3



1832

All observations in reflectors.

All dimensions and loads are to be checked on site by the main contractor prior to commencing excavation work. Any discrepancy is to be reported immediately to the designer for investigation.

8.9	Services	CA 78	Crit	Adapt
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8.9	Services	CA 78	Crit	Adapt
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8.9	Services	CA 78	Crit	Adapt
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1000

PROJECT:

22 LANCASTER GROVE

ALL INFORMATION CONTAINED HEREIN IS UNCLASSIFIED

LC:
PROPOSED SECTION B-B

DATE: _____ DRAWN BY: _____

1:50 (ATF 1:100(A3))

20130322

PROJECT NUMBER:	PERMITS MAY	PER. NO.:
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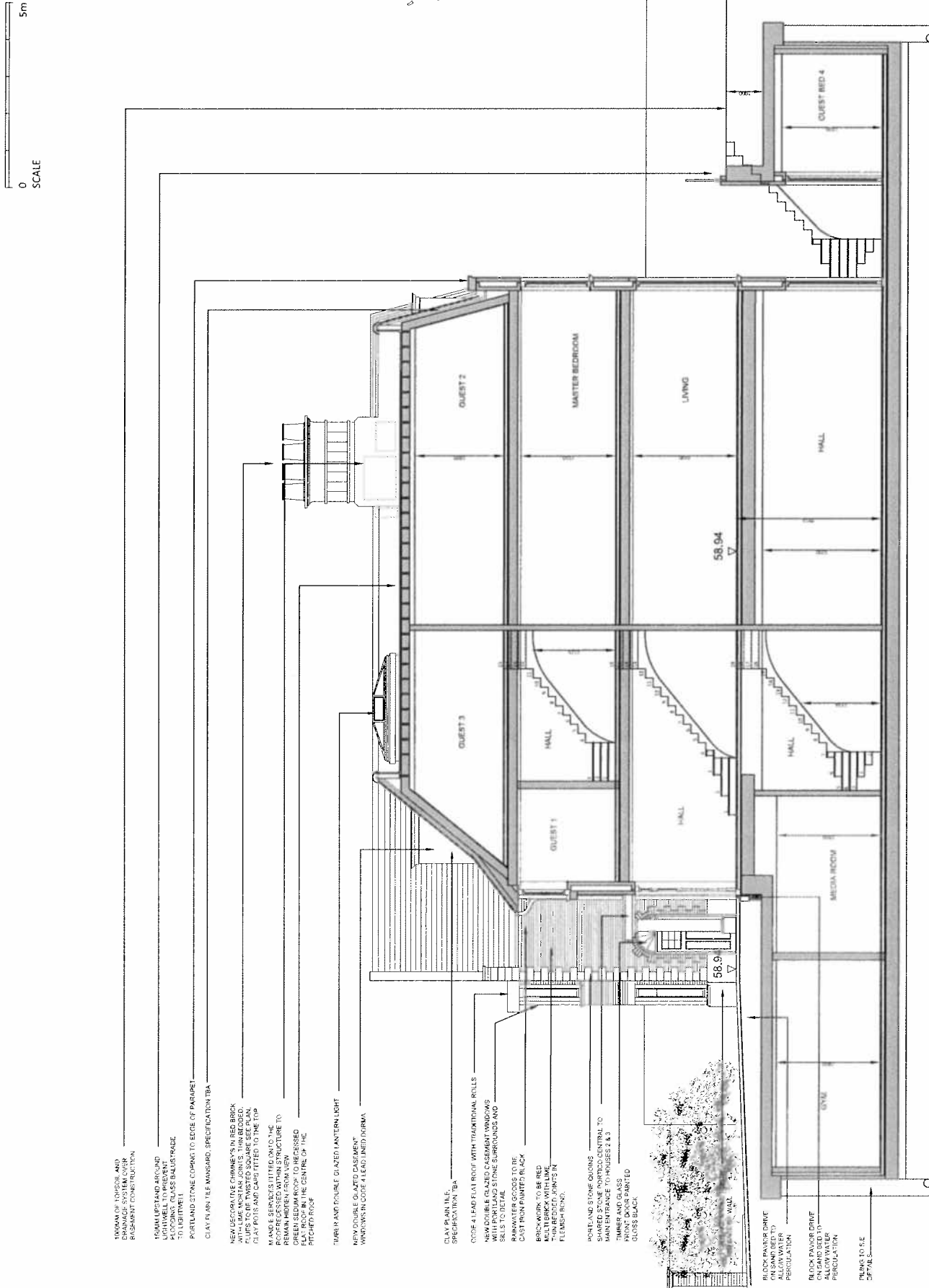
22LG-P1(11)-11
22LG

IKAS

ARCHITECTURE AND INTERIOR DESIGN
BATH STREET, LONDON, EC1V

PROPOSED SECTION B-B
1:50@A1 1:100@A3

1:50@A1 1:100@A3



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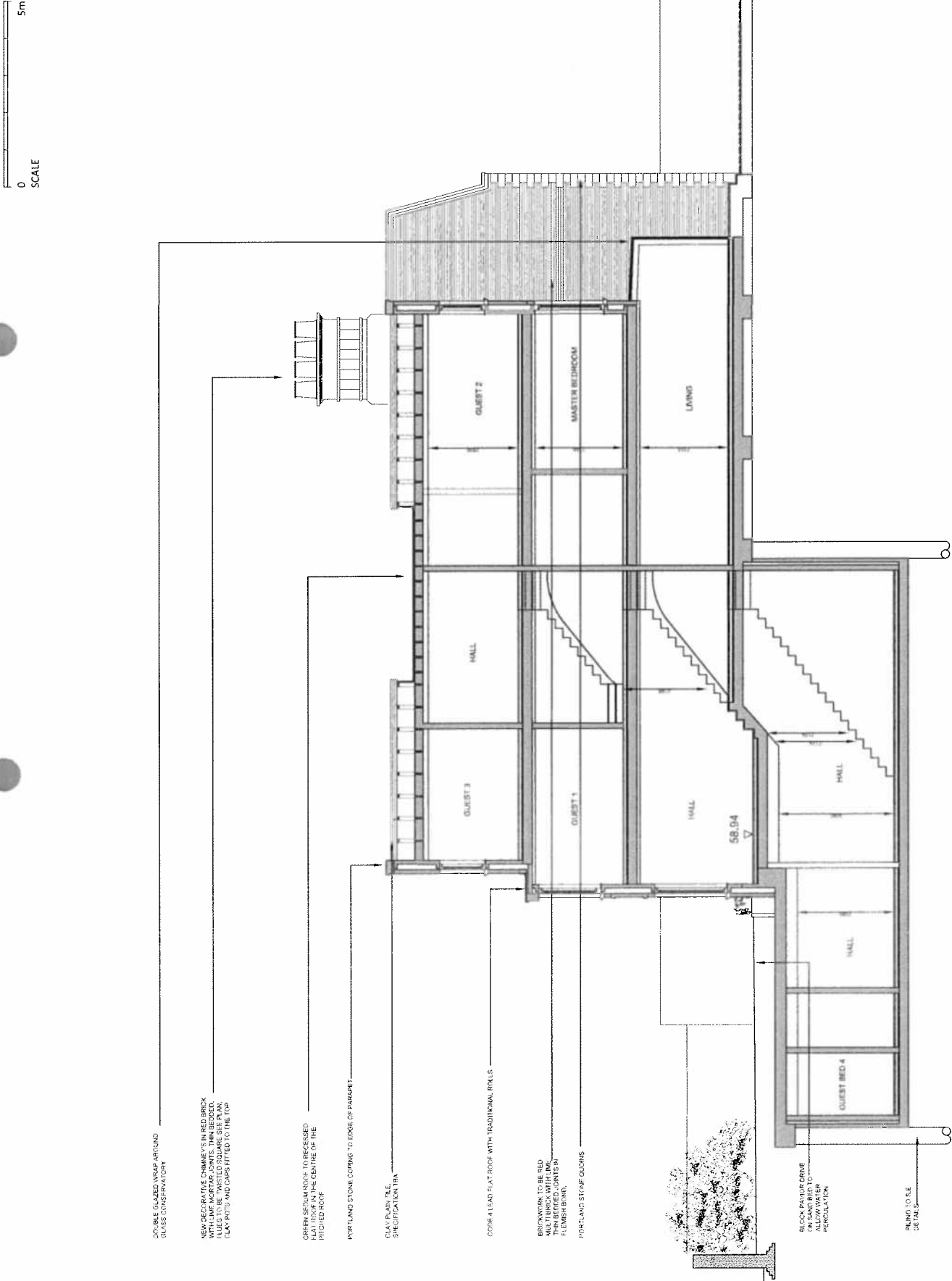
[View Full Screen](#)

MEYER NOTES A

DRAWING STATUS:

[illegible]

ARCHITECTURE AND INTERIOR DESIGN
BATTI STREET, LONDON N1C 4V
TEL: 0800 0942 015



PROPOSED SECTION C-C
1:50@A1 1:100@A3

Core Document 4

Enclosed within Appendix 7