

Demolition Key:

	Existing structure / ground
	Line denotes proposed removal of existing structure (in elevation)
	Red hatched denotes proposed removal of existing structure (in elevation)
	Red dashed denotes proposed removal of existing structure (in elevation)
	Red dotted denotes proposed excavation at lower ground floor (in elevation)
	Red cross-hatched denotes proposed excavation at lower ground floor (in elevation)
	Denotes proposed removal of existing fittings

Proposed Key:

	Main entrance		Flat entrance
	Proposed structure/partitions		Outline of existing building
	Proposed stone finish		Proposed tile finish
	Yorkstone slabs		Proposed external stone finish
	Proposed carpet finish		Proposed timber floor
	Brick		Slate roof tiles

- Demolition Notes:**
- Excavate and remove ground floor (1800mm below current ground floor level)
 - New coating in existing concrete slab.
 - Existing internal slab to be demolished.
 - Non-original rear elevation to be demolished.
 - Proposed central demolition of existing roof.
 - Existing single panel door and window in RightHand to be removed.
 - Existing entrance door to be refurbished and fitted with new homogeneity. Existing entrance to be raised and kept in the same location.
 - Existing service floor to be removed (non-structural element).
 - Existing dormers to be rebuilt to match existing.

- Proposed Notes:**
- Proposed extension to rear elevation.
 - Refer to P_07 Proposed Key and Design Access Statement Section Three for further details.
 - New floor in utility kitchen level (existing) and living room in ground floor to be replaced with new floor. Refer to P_07 Materials Key and Design Access Statement Section Three for further details.
 - New internal stair.
 - New roof with slate finish.
 - Proposed plant location (BIC Air source heat pumps (plant attenuation)).
 - New door and facade system to rear elevation.
 - Proposed internal service door.
 - Proposed terrace.
 - Cycle storage (provision for 6m, 6x2m).
 - Proposed bin store enclosure (provision for 4m, 3m, capacity 6m).
 - Flush conservation style rooflight.
 - New painted metal balustrade.
 - Existing timber cup, window refurbished and redecorated. New secondary glazing fitted internally.
 - Existing door refurbished and redecorated. New entry panel externally.
 - New lift car and associated plant with altered entrances.
 - Proposed automatic-opening window vent.
 - Existing service cupboard.
 - Existing roof to be replaced with granite roof and refurbished with new structure. Existing dormers to be rebuilt (timber and steel) with white-painted metal roof.
 - New inverted roof with gravel finish.
 - New window entrance door in RightHand Existing window to be fitted with robust Blackdoor.
 - Privacy screen to rear terrace.

- LifeLine Homes Criteria Key:**
- (01) Parking space (access or parking capability).
 - (02) Approach to dwelling from parking.
 - (03) Level or gently sloping approach to all entrances.
 - (04) Accessible threshold - covered and lit.
 - (05) Provision for a future step lift.
 - (06) Clearances in hallways and through doorways.
 - (07) Turnery clear for wheelchair in ground floor living rooms and dining area.
 - (08) Entrance level being quiet.
 - (09) Potential for temporary entrance level bed-space.
 - (10) Accessible entrance level WC/shower/drinkage.
 - (11) WC and bathroom walk (ability to take adaptations).
 - (12) Space for future through-floor lift to bedroom.
 - (13) Easy route for hoist from bedroom to bathroom.
 - (14) Provision of accessible bathroom.
 - (15) Low window lifts.
 - (16) High level of contrast of convenient (high) contrast surfaces.

Rev B: 18.03.2015 - Site storage revised
 Rev A: 06.03.2015 - based for Planning

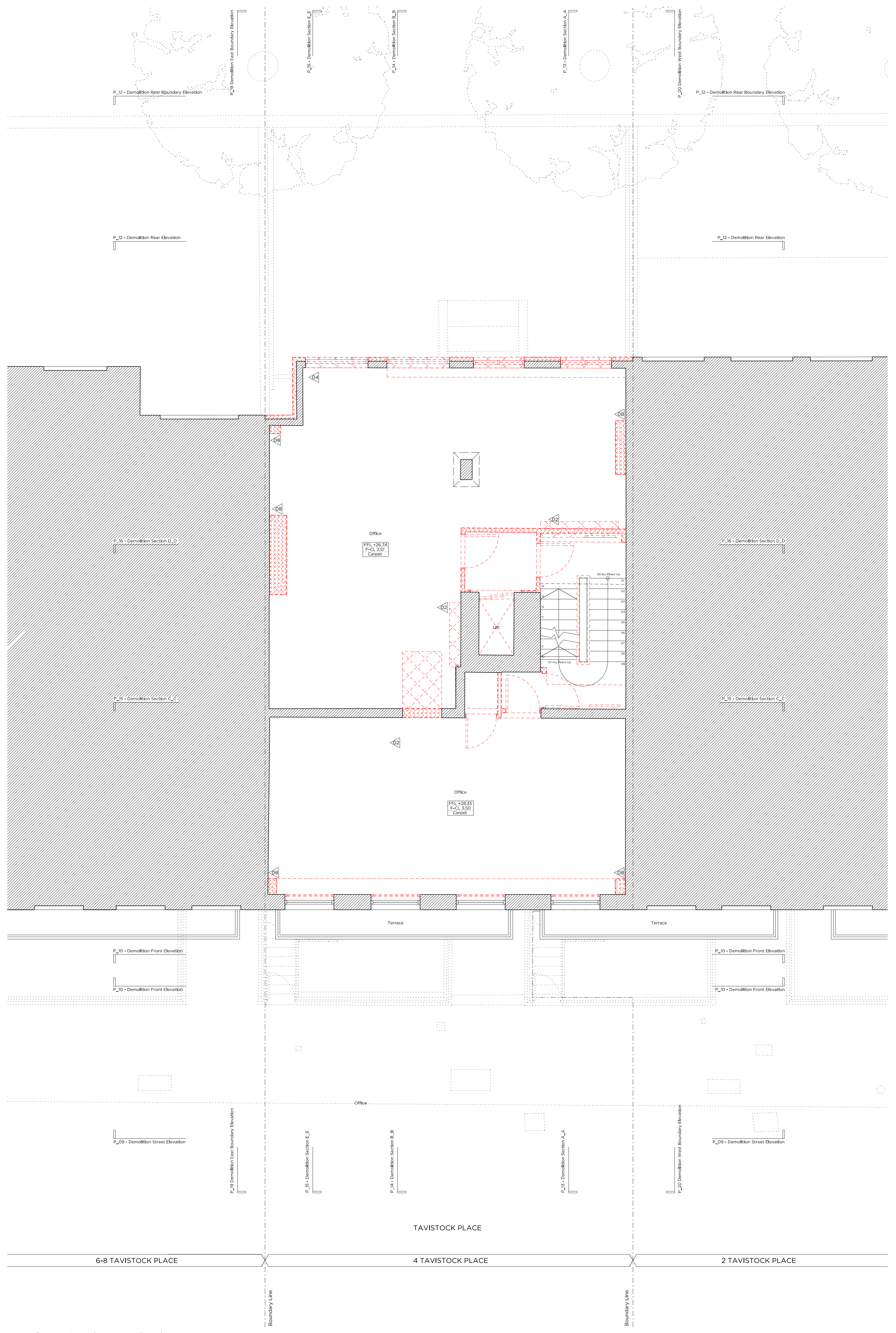
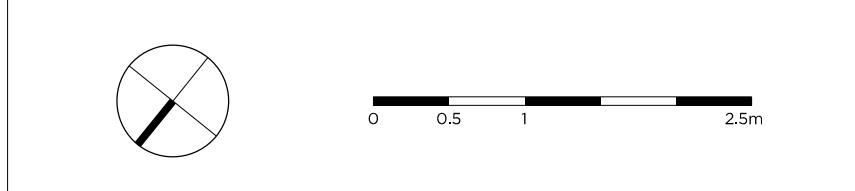
PLANNING

Project No: 13052
 Client: GFZ Developments Ltd
 Date: February 2015
 Scale: 1:50 @ A0/1:100 @ A2
 Project: 4 Tavistock Place

Drawing Title: Demolition and Proposed First Floor Plans
 Drawing No: P_03
 Drawn: AT Approved: MW



66-68 Margaret Street W1W 8SR T: 020 7580 8335 www.mw-a.co.uk
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Existing/Proposed Demolition - First Floor Plan

Proposed First Floor Plan