

**Demolition Key:**

- Existing structure / ground
- Line denotes proposed removal of existing structure (in elevation)
- Line denotes proposed removal of existing structure (in elevation)
- Area denotes proposed removal of existing structure (in elevation)
- Area denotes proposed removal of existing structure (in elevation)
- Area denotes proposed excavation at lower ground floor (in elevation)
- Area denotes proposed excavation at lower ground floor (in elevation)
- Denotes proposed removal of existing fittings

**Proposed Key:**

- Main entrance
- Proposed structure/partitions
- Proposed stone finish
- Yorkstone slabs
- Proposed carpet finish
- BMS
- Flat entrance
- Outline of existing building
- Proposed tile finish
- Proposed external stone finish
- Proposed timber floor
- Slate roof tiles

- Demolition Notes:**
- Excavate and/or ground floor (1800mm below current ground floor level)
  - New opening in existing concrete slab
  - Existing internal stair to be demolished
  - Non-original rear elevation to be demolished
  - Proposed partial demolition of existing roof
  - Existing single panel door and window in lightwell to be removed
  - Existing entrance door to be refurbished and filled with new ironmongery. Existing entrance to be replaced and kept in the same location
  - Existing service floor to be removed (non-structural element)
  - Existing dormers to be rebuilt to match existing

- Proposed Notes:**
- Proposed extension to rear elevation
  - Refer to P\_07 Proposed Key and Design Access Statement Section Three for further details
  - New floor to include Yorkshire stone-clad cladding with stone in ground
  - Proposed stone finish to rear elevation, refer to P\_07 Materials Key and Design Access Statement Section Three for further details
  - New external stair
  - New roof with slate finish
  - Proposed plant location (BIC Air source heat pumps (split atmospheric))
  - New ductwork/ductwork system to rear elevation
  - Proposed internal service door
  - Proposed terrace
  - Cycle storage (provision for 60c, 60c, 60c)
  - Proposed tin store enclosure (provision for 40c, 30c, capacity 60c)
  - Flush conservation style rooflight
  - New painted metal ballustrade
  - Existing timber joinery to be refurbished and redecorated
  - New secondary glazing fitted internally
  - Existing door refurbished and redecorated. New entry panel externally
  - New lift car and associated plant with altered entrances
  - Proposed automatic-rising window vent
  - Existing service cupboard
  - Existing roof to be replaced with granite, and refurbished with new ironmongery. Existing dormer to be rebuilt (timber and steel) with white-painted metal external cladding
  - New inverted roof with gravel finish
  - New glazed entrance door in lightwell. Existing window to be filled with robust blockwork
  - Privacy screen to rear terrace

- Lifeline Homes CIBaB Key:**
- Parking space (width or parking capability)
  - Approach to dwelling from parking
  - Level or gently sloping approach to all entrances
  - Accessible threshold - covered and lit
  - Provision for a future step lift
  - Convenient movement in hallways and through dormers
  - Turning circle for wheelchair in ground floor living rooms and dining area
  - Entrance level being outside
  - Potential for temporary entrance level bed-space
  - Accessible entrance level WC/shower drainage
  - WC and bathroom walk (width) to take adaptations
  - Space for future through-floor lift to bedroom
  - Easy route for hoist from bedroom to bathroom
  - Provision of accessible bathroom
  - Low window sills
  - High level of contrast
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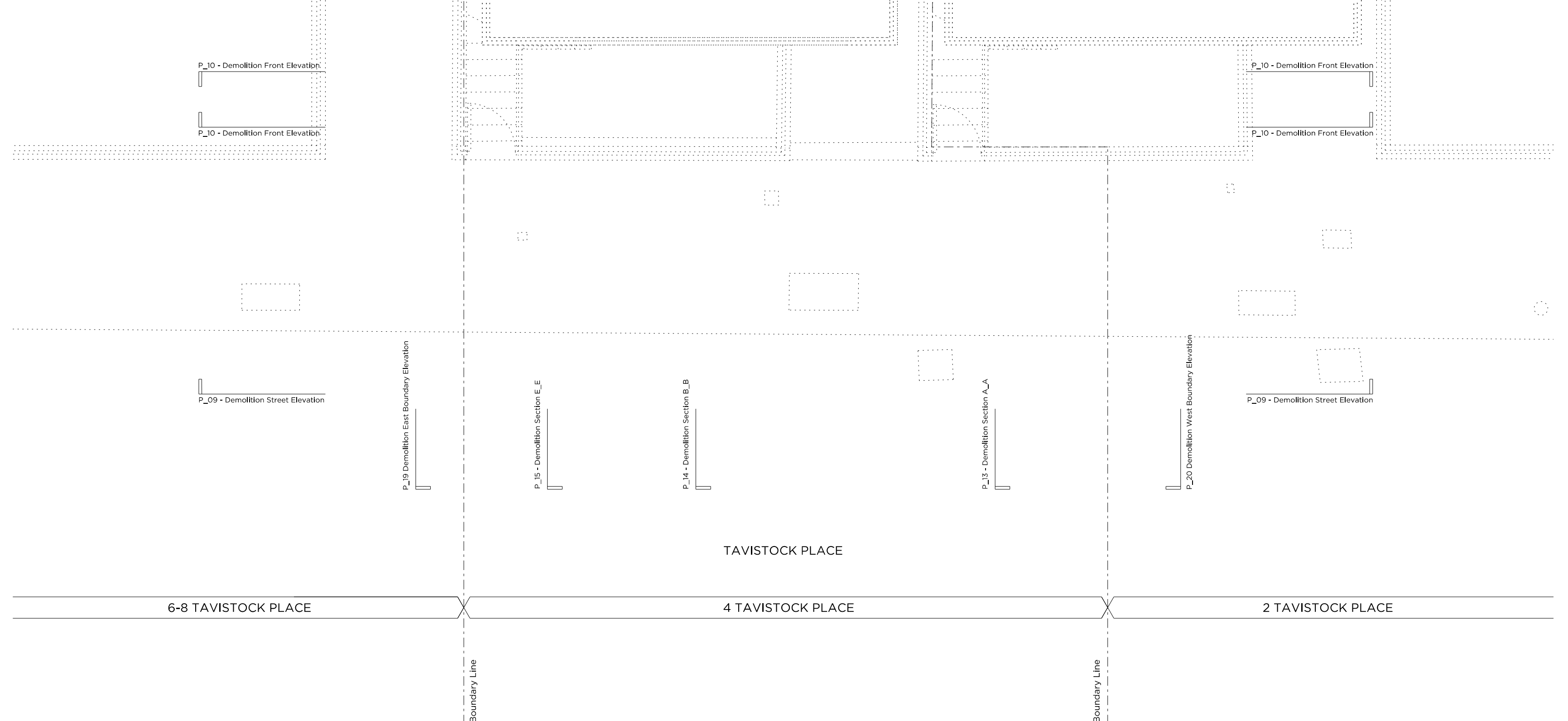
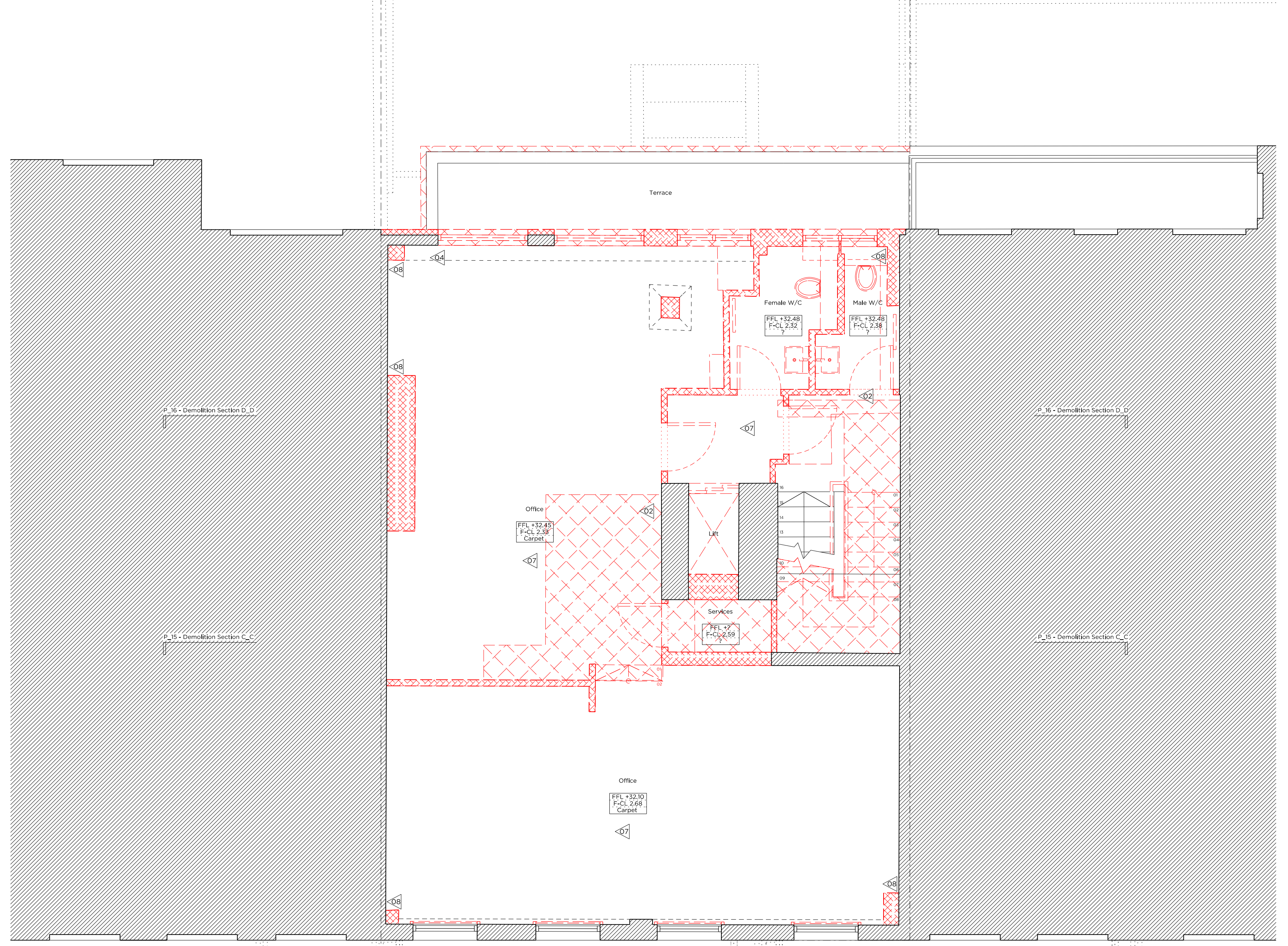
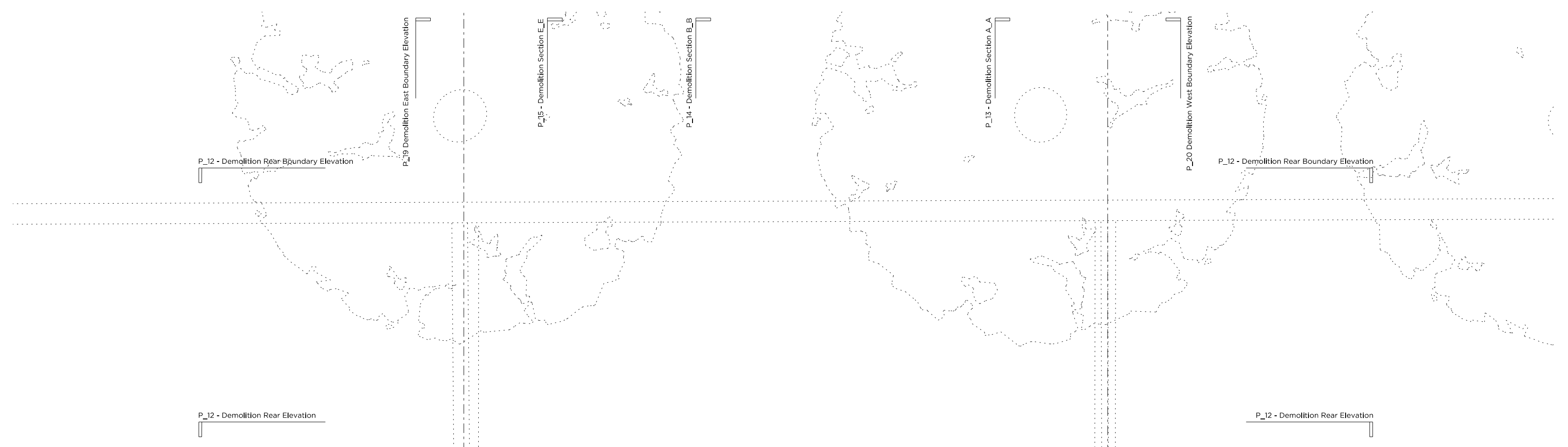
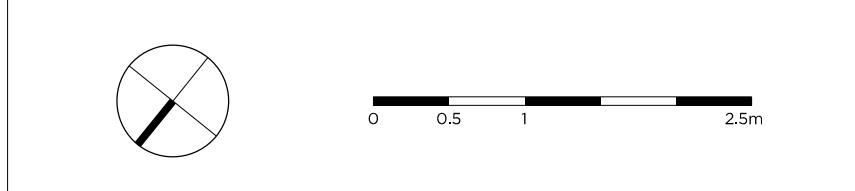
# PLANNING

Project No. 13052  
 Client: GFZ Developments Ltd  
 Date: February 2015  
 Scale: 1:50 @ A0/1:100 @ A2  
 Project: 4 Tavistock Place

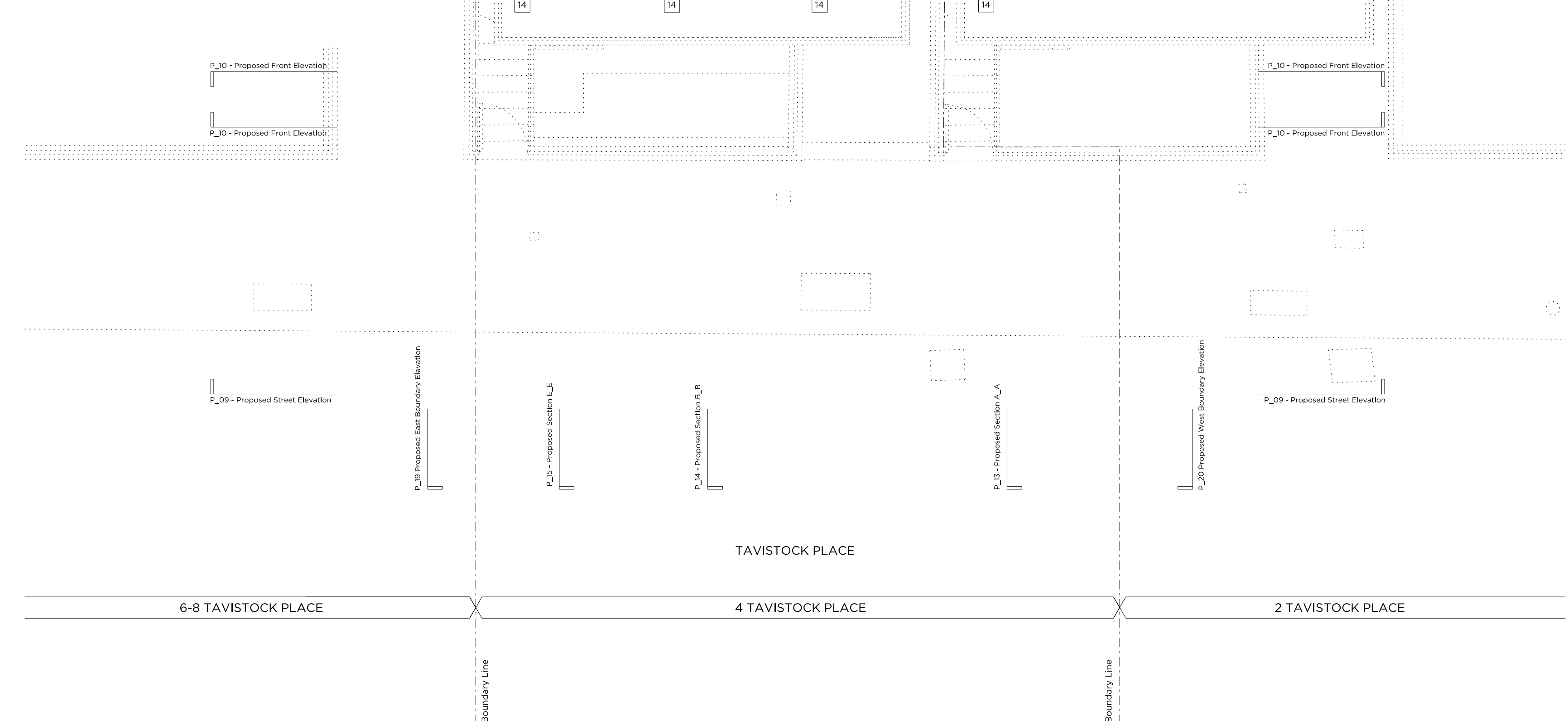
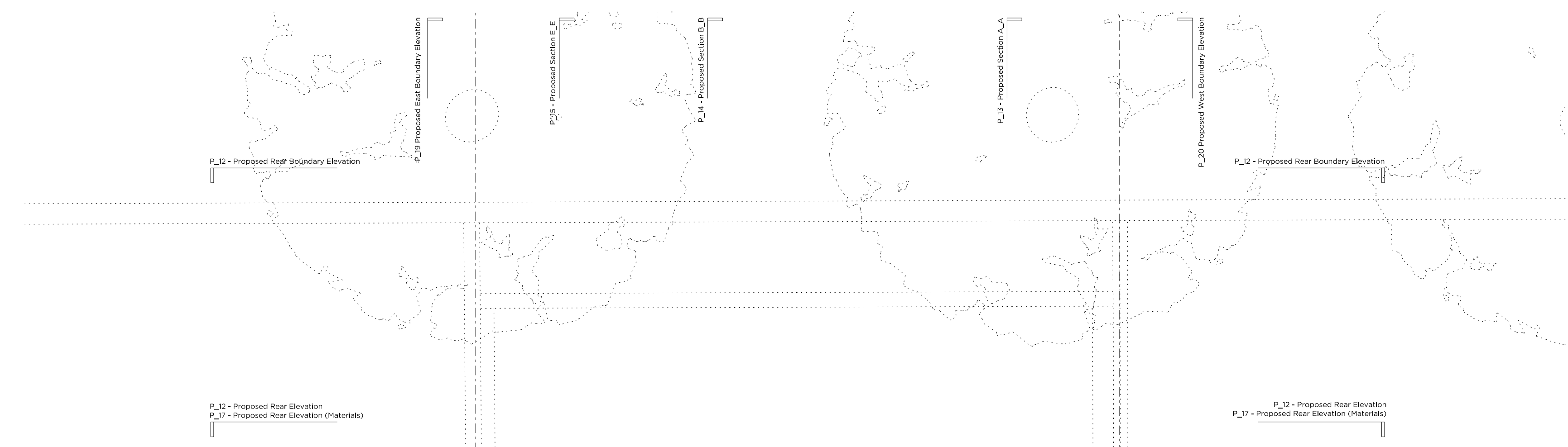
Drawing Title: Demolition and Proposed Third Floor Plans  
 Drawing No. P\_05  
 Drawn: AT Approved: MW



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Existing/Proposed Demolition - Third Floor Plan



Proposed Third Floor Plan