

Planning, Heritage and Design Statement

Flat 1, 28 Arkwright Road, NW3 6AA

Prepared on behalf of Gavin Sharpe

27 February 2015

Contact details

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1 Introduction

- 1.1 Knight Frank LLP has been instructed by Gavin Sharpe to coordinate the preparation and submission of a retrospective listed building consent application for internal alterations and the conversion of the existing basement at Flat 1, 28 Arkwright Road, London (hereafter referred to as 'the site'). A Location Plan is enclosed at **Appendix One**.
- 1.2 This Statement, along with existing and proposed plans, demonstrates that the proposed development complies with The National Planning Policy Framework, the Camden Core Strategy (adopted 8 November 2010) and the Development Policies Document (adopted 8 November 2010).
- 1.3 This Planning, Heritage and Design Statement should be read in conjunction with the submitted plans and other supporting documents which accompany the planning application. These include:
 - Existing and proposed plans (plan ref. 1010-01 and 1010-E1 prepared by Simmons Taylor Hall;
 - Photographs of the existing elevations

2 Site and Surrounding

Site

- 2.1 The site (0.1ha) is located on the corner of Arkwright Road and Frogna and comprises of a large part two and part three storey Edwardian house. The building is surrounded by a number of trees and includes ample off street parking and a patio.
- 2.2 More specifically the application site comprises a ground floor flat and basement which consists of 1 no. bedroom, a kitchen/dining room, lounge, 2 no. offices, 3 no en-suite bathrooms and a utility and dressing room.
- 2.3 The building is Grade II listed and is described in the list entry (no. 1244684) as a red brick and terracotta building with tiled roofs and tall brick slab chimney stacks.
- 2.4 A full copy of the List Entry is enclosed at **Appendix Two** and a number of photographs are enclosed at **Appendix Three**.

Surrounding Area

- 2.5 The site is located within the Redington Frogna Conservation Area to the south-west of Hampstead.
- 2.6 The surrounding area is predominantly residential. However immediately east of the site is UCS Active Leisure Centre and north east The University College School. To the south is Arkwright Road and to the west are further residential properties.
- 2.7 The site is well served by public transport and is in close proximity to Finchley Road and Frogna Rail and Tube Station (0.3 miles), Hampstead Tube Station (0.3 miles) and Belsize Park Tube Station (0.9 miles).
- 2.8 There are also a number of bus services which connect the site to central London. These are located on Broadhurst Gardens, Priory Road/Canfield Gardens and Fairhazel Gardens.

3 Planning History

- 3.1 A review of the Council's online statutory register has been undertaken and the below application, which relates to the application site, was considered to be relevant to this application.

Application reference	Description	Decision
LWX0103658	Internal works to the existing mezzanine floor within the front ground floor room – Flat 1, 28 Arkwright Rd, London.	Approved 11 September 2001

- 3.2 The applications below relate to the wider site, 28 Arkwright Road, and are considered to be relevant as they demonstrate a number of internal alterations and reconfigurations which have been approved by the Council.

Application reference	Description	Decision
2011/6430/L	Retention of 2 no. replacement double glazed windows and installation of 2 no. replacement double glazed windows to existing top floor flat (Class C3) (part retrospective).	Approved 19 July 2012
2007/6326/L	Internal alterations and reconfiguration of living space a second floor flat – Flat 5B, 28 Arkwright Road, London.	Approved 24 April 2008
2003/1105/L	The removal of non-original, non-load bearing timber stud partition and the erection of a new timber stud partition to form a larger bedroom area. The erection of a raised floor over part of the existing living room floor. – 28 Arkwright Road, London.	Approved 26 November 2003

4 The Proposal

- 4.1 Retrospective listed building consent is sought for internal alterations to the ground floor flat and the conversion and minor reconfiguration of the basement.
- 4.2 The proposed works are set below.

Layout prior to alteration/refurbishment works

- 4.3 Plan ref 1010-E1 is enclosed at **Appendix Four** and identifies the layout of the site before the works were undertaken.
- 4.4 The site comprised of a basement which was used solely for storage and was described as a shell with concrete walls and floor.
- 4.5 The ground floor included 2 no. bedrooms, a large reception room, a study, a kitchen/dining room and an en-suite bathroom.
- 4.6 The property also included a mezzanine floor which provided a further bedroom. It is our understanding that this alteration was not lawful, albeit internal works to the mezzanine were approved in 2001 (application ref. LWX013658).

Existing layout post refurbishment

- 4.7 The refurbishment commenced in January 2013 and was completed in August 2013.
- 4.8 Details of the proposed works are summarised below and identified on Plan ref. 1010-01 (enclosed at **Appendix Five**).

Basement

- Conversion of the existing basement to form part of the existing ground floor flat;
- Internal alterations to the basement including upgrading pumps to prevent flooding, removal of a wall to create a larger office and damp proofing;

Ground floor

- Relocation of the existing boiler to utility room;
- Creation of a new en-suite shower;
- New entrance and sink (Bedroom 1);
- Relocation of wall to Study in order to create new built-in wardrobes;
- Repositioning of door to create Office;
- Removal of mezzanine floor;
- Exposure of ground floor window to office

4.9 No external alterations are proposed.

4.10 In terms of materials all floors and door frames are as existing. The walls are wood studs and plasterboard and the ceiling is as existing but will be fitted with soundproof plasterboards to improve residential amenity.

4.11 These works were carried out in order to refurbish the existing accommodation in a manner that preserves the heritage asset.

4.12 The site now comprises 1 no. bedroom, a kitchen/dining room, lounge, 2 no. offices, 3 no en-suite bathrooms and a utility and dressing room.

5 Planning Policy Justification

- 5.1 Under the provisions of Section 38 of the Planning & Compulsory Purchase Act 2004, local planning authorities are required to determine planning applications in accordance with policies contained within the Statutory Development Plan unless material planning considerations indicate otherwise.
- 5.2 This Chapter of the Planning Statement sets out an assessment of the proposal in respect of the National Planning Policy Framework (**NPPF**) (March 2012), The Camden Core Strategy (adopted November 2010), The Development Policies Document (adopted November 2010) and The London Plan

National Planning Policy Framework

- 5.3 The **NPPF** sets out the Government's planning policies and how these are to be applied. The document constitutes guidance for local planning authorities and revokes the guidance contained within the Planning Policy Statements (PPSs) and Planning Policy Guidance Notes (PPGs).

Conserving And Enhancing The Historic Environment

- 5.4 Paragraph 129 states '*Local planning authorities should identify and assess the particular significance of any heritage asset that may be affected by a proposal (including by development affecting the setting of a heritage asset) taking account of the available evidence and any necessary expertise. They should take this assessment into account when considering the impact of a proposal on a heritage asset, to avoid or minimise conflict between the heritage asset's conservation and any aspect of the proposal.*'
- 5.5 The Listed Building entry for the application site is enclosed at **Appendix Two** and sets out the value of the building as a heritage asset.
- 5.6 It is important to note that none of the internal features are listed in the description.
- 5.7 Paragraph 131 continues, '*in determining planning applications, local planning authorities should take account of the desirability of sustaining and enhancing the significance of heritage assets...*'

5.8 We consider the works set out in **Chapter Three** of this report and identified on Plan ref. 1010-01 are acceptable and appropriate in the context of the listed building.

5.9 The following explains each alteration and the impact on the listed building:

Basement

- Conversion of the existing basement – The basement is existing and was previously a shell with concrete walls. The refurbishment work included damp proofing and is not considered to negatively impact on the listed building but ensures the heritage asset is sustained for future use.
- Internal alterations to the basement including upgrading pumps to prevent flooding, removal of a wall to create a larger office and damp proofing – We do not consider the internal alterations to the basement to have a negative impact on the listed building. The works were undertaken to improve the residential amenity of the occupiers and to bring the vacant basement back into use, this securing the on-going viable use of the heritage asset. Original features such as the staircase have been retained and a number of improvement works have been carried out, for example upgrading pumps to prevent flooding and damp proofing.

Ground floor

- Relocation of the existing boiler to utility room – The boiler has been relocated to the new basement utility room in order to locate services in the basement away from the primary living quarters. It is not considered this has a negative impact on the listed building.
- Creation of a new en-suite shower – The creation of a new en-suite shower on the ground floor is not considered to have a negative impact on the listed building, the refurbishment work has been undertaken to improve the visual amenity of the bathroom and ensure it does not fall into neglect.
- New entrance and sink (Bedroom 1) – The new entrance has been created to improve access to the new en-suite bathroom and the new walls are partition to allow flexibility for any future refurbishment. It is considered that these works will result in a visual improvement to the interior of the listed building and improve internal access.
- Relocation of wall to Study in order to create new built-in wardrobes – The study wall has been relocated (approximately 1ft) in order to provide wardrobes for the bedroom. We do not consider this to have a negative impact on the listed building as it will result in a visual improvement to the interior of the listed building.
- Repositioning of door to create Office – it is proposed that the door will open inwards and has been relocated to improve the openness of the corridor. It is considered that this will enhance the visual appearance of the interior of the listed building and improve residential amenity.

- Removal of mezzanine floor – Planning application ref. LWX0103658 identifies that listed building consent was sought for internal works to the existing mezzanine floor, it is our understanding that the mezzanine floor was unlawful. The removal of the mezzanine floor restores the area back to its original form. We therefore consider this to be an improvement to the interior of the listed building.
- Exposure of ground floor window to office – We consider that the exposure of the existing window at ground floor level is an improvement to the external appearance of the listed building. Furthermore, the work will reinstate an original window and also allow natural light to enter the new office.

5.10 In respect of the proposed work, we consider these to be fairly minimal to allow a higher standard of residential amenity. The works are not considered to negatively affect the listed building; on the contrary, the proposed development will preserve and enhance the listed building.

5.11 Taking the above into consideration we consider that the works set out in **Chapter Four** of this report and assessed above are in accordance with paragraph 129 and 131 of the **NPPF** and result in an improvement to the interior of the listed building.

Local Planning Policy

5.12 The statutory plan for Camden Council consists of the Camden Core Strategy (adopted November 2008) and the Development Policies Document (adopted November 2010).

5.13 Set out below is an assessment of the relevant policies.

Core Strategy (adopted November 2010)

Policy CS14 Promoting high quality places and conserving our heritage

5.14 **Policy CS14** relates to conserving heritage and states '*The Council will ensure that Camden's places and buildings are attractive, safe and easy to use by:*

- *requiring development of the highest standard of design that respects local context and character;*
- *preserving and enhancing Camden's rich and diverse heritage assets and their settings, including conservation areas, listed buildings, archaeological remains, scheduled ancient monuments and historic parks and gardens.'*

- 5.15 The proposal does not include any external alterations, is of a high design standard and is therefore respectful of local context and character.
- 5.16 For the reasons set out in paragraph 6.9 we consider the proposal to preserve and enhance the listed building. We consider that the internal works improve visual and residential amenity and the conversion of the previously vacant basement secures a viable use of the heritage asset.
- 5.17 We therefore consider the proposal fully accords with **Policy CS14** of the Core Strategy.

Development Policies Document (adopted November 2010)

Policy DP25 Conserving Camden's Heritage

- 5.18 **Policy DP25** relates to Conservation Areas and Listed Buildings and states that *'In order to maintain the character of Camden's conservation areas, the Council will only permit development within conservation areas that preserves and enhances the character and appearance of the area.'*
- 5.19 The proposal does not include any external alterations to the building and is therefore considered to preserve the character and appearance of the Conservation Area.
- 5.20 The policy continues *'To preserve and enhance the borough's listed building, the Council will prevent the total or substantial demolition of a listed building unless exceptional circumstances are shown that outweigh the case for retention; only grant consent for a change of use or alterations and extensions to a listed building where it consider this would not cause harm to the special interest of the building; and not permit development that it considers would cause harm to the setting of a listed building.'*
- 5.21 The proposal does not include any demolition and for the reasons set out in paragraph 6.9 we consider the proposal does not cause harm to the special interest of the building.
- 5.22 More specifically the proposal seeks to improve the visual appearance of the interior which will result in a higher standard of residential amenity and secure the on-going viable use of the heritage asset for the future.
- 5.23 We therefore consider the proposal is in accordance with **Policy DP25** of the Development Policies

Document.

The London Plan July 2011)

5.24 In July 2011 the Mayor published the replacement of the spatial development strategy for London – known as the London Plan. This document sets out a fully integrated economic, environmental, transport and social framework for the capital to 2031.

Policy 7.8 Heritage Assets and Archaeology

5.25 Policy 7.8 (D) relates to planning decisions and states '*development affecting heritage assets and their settings should conserve their significance, by being sympathetic to their form, scale, materials and architectural detail.*'

5.26 For the reasons set out in paragraph 6.9 of this statement it is considered that the proposal will help to conserve the significance of the heritage asset by means of it sympathetic scale and form and the use of materials to match existing.

5.27 It is therefore considered that the proposal fully accords with **Policy 7.8** of The London Plan (2011).

6 Design and Access

6.1 This design and access element has been prepared in accordance with Section 3 of Circular 01/2006.

Use

6.2 The site will remain as a single residential unit.

Amount

6.3 The floor space will remain as existing.

Layout

6.4 Although a number of internal alterations are proposed including the relocation and erection of walls and the conversion of the basement the layout of the property will remain broadly the same.

Scale

6.5 The scale of existing accommodation remains unchanged.

Appearance

6.6 Whilst internal alterations have been undertaken including new partition walls and the relocation of existing doors, the external appearance remains unchanged.

Landscaping

6.7 No landscaping amendments are proposed.

Access

6.8 The access will remain, for pedestrians from Arkwright Road.

7 Conclusion

- 7.1 Knight Frank LLP have been instructed by Gavin Sharpe to prepare, coordinate and submit a retrospective application for Listed Building works for internal refurbishment to Flat 1, 28 Arkwright Road, London.
- 7.2 The proposal comprises works to the interior of the building which are proposed to improve the visual and residential amenity and retain the existing viable use of the heritage asset.
- 7.3 We have assessed the proposal against the relevant national and local planning policies and consider that it fully accords with paragraphs 129 and 131 of the **NPPF** and **Policy CS14** of the Core Strategy and **DP25** of the Development Policies Document and **Policy 7.8** of The London Plan.
- 7.4 It is therefore considered there are no reasons why the application should be not approved.

Appendix 1 - Site Location Plan

Flat 1, 28 Arkwright Road, NW3 6BH



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This map was created with Promap

Appendix 2 - List Entry Description

List Entry Summary

This building is listed under the Planning (Listed Buildings and Conservation Areas) Act 1990 as amended for its special architectural or historic interest.

Name: NUMBER 28 AND ATTACHED BOUNDARY WALLS AND PIERS

List Entry Number: 1244684

Location

NUMBER 28 AND ATTACHED BOUNDARY WALLS AND PIERS, 28, ARKWRIGHT ROAD

The building may lie within the boundary of more than one authority.

County: Greater London Authority

District: Camden

District Type: London Borough

Parish:

National Park: Not applicable to this List entry.

Grade: II

Date first listed: 11-Jan-1999

Date of most recent amendment: Not applicable to this List entry.

Legacy System Information

The contents of this record have been generated from a legacy data system.

Legacy System: LBS

UID: 476620

Asset Groupings

This List entry does not comprise part of an Asset Grouping. Asset Groupings are not part of the official record but are added later for information.

List Entry Description

Summary of Building

Legacy Record - This information may be included in the List Entry Details.

Reasons for Designation

Legacy Record - This information may be included in the List Entry Details.

History

Legacy Record - This information may be included in the List Entry Details.

Details

CAMDEN

TQ2685SW ARKWRIGHT ROAD 798-1/37/56 (North side) No.28 and attached boundary walls and piers

II

Detached house. 1891. By Robert A Briggs. Red brick and terracotta. Tiled roofs with tall brick slab chimney-stacks. EXTERIOR: 2 storeys and attics. Asymmetrical design. Irregular windows. Central entrance has round-arched gauged brick heads on pilasters with enriched terracotta capitals; double panelled doors with shaped glazing and stained-glass fanlight. 1st floor 2-light oriel window with colonnette. Most windows have heads of a row of small panes below a rectangular window with inset rectangle surrounded by irregular stained glass; 1st floor with cambered bases to upper sashes. To right, a 3-storey octagonal turret, with enriched panelled window aprons and mullions, terminating in an ogee copper cupola with weathervane. Left hand has bay window of 3 windows to each floor, the 1st floor central window being round-arched. 4-light attic window in shaped gable. Right hand return to Frognal has large Flemish gable, the whole bay being enriched in gauged and rubbed brick and terracotta in Queen Anne style; ground floor central window has large open pediment. To right, a tented balcony. INTERIOR: not inspected. SUBSIDIARY FEATURES: attached boundary walls of brick and terracotta; panelled piers with inset terracotta swag plaques.

Listing NGR: TQ2621485254

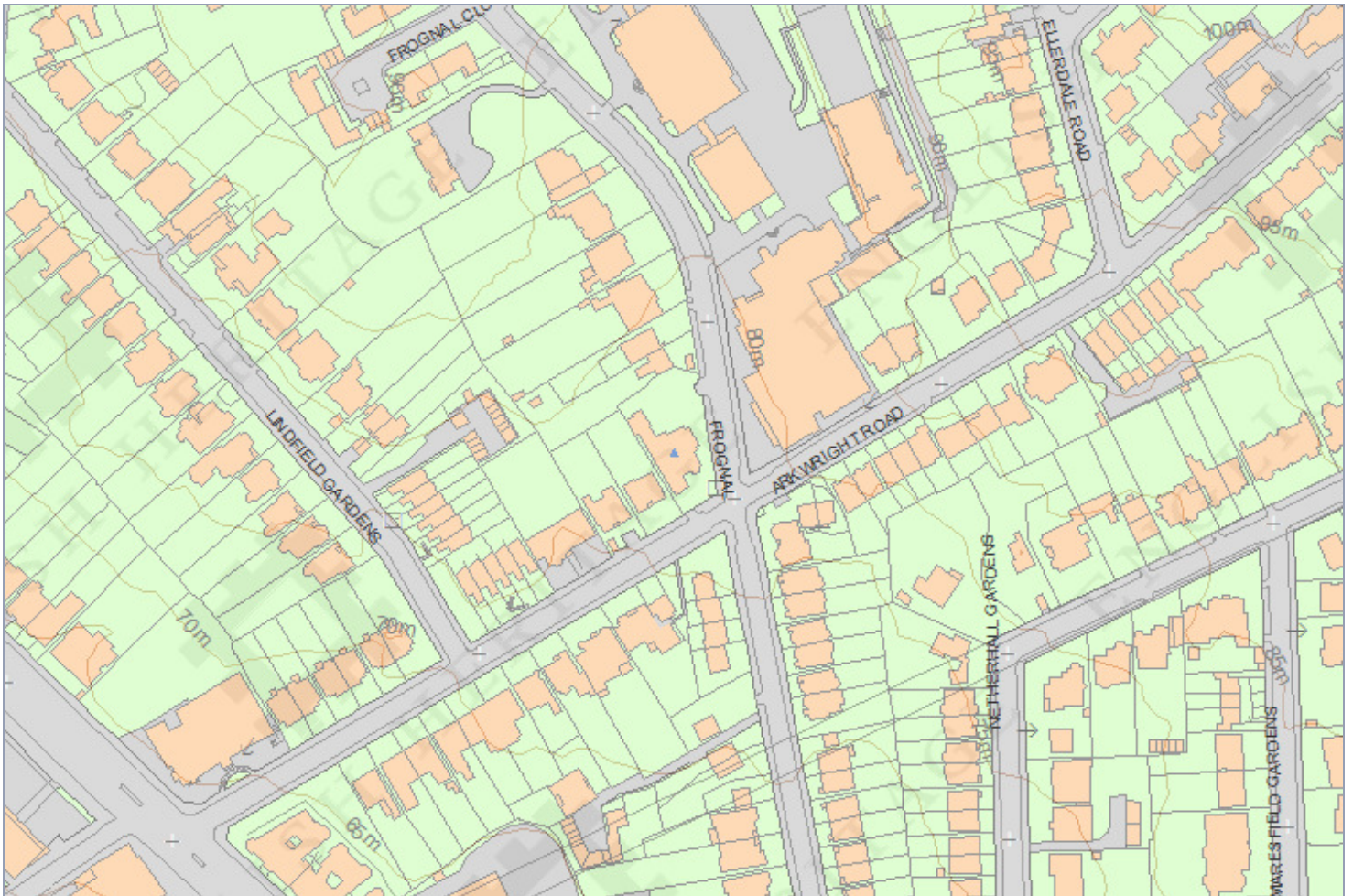
Selected Sources

Legacy Record - This information may be included in the List Entry Details

Map

National Grid Reference: TQ 26214 85254

The below map is for quick reference purposes only and may not be to scale. For a copy of the full scale map, please see the attached PDF - [1244684.pdf](#) - Please be aware that it may take a few minutes for the download to complete.



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Appendix 3 - Photographs of existing elevations





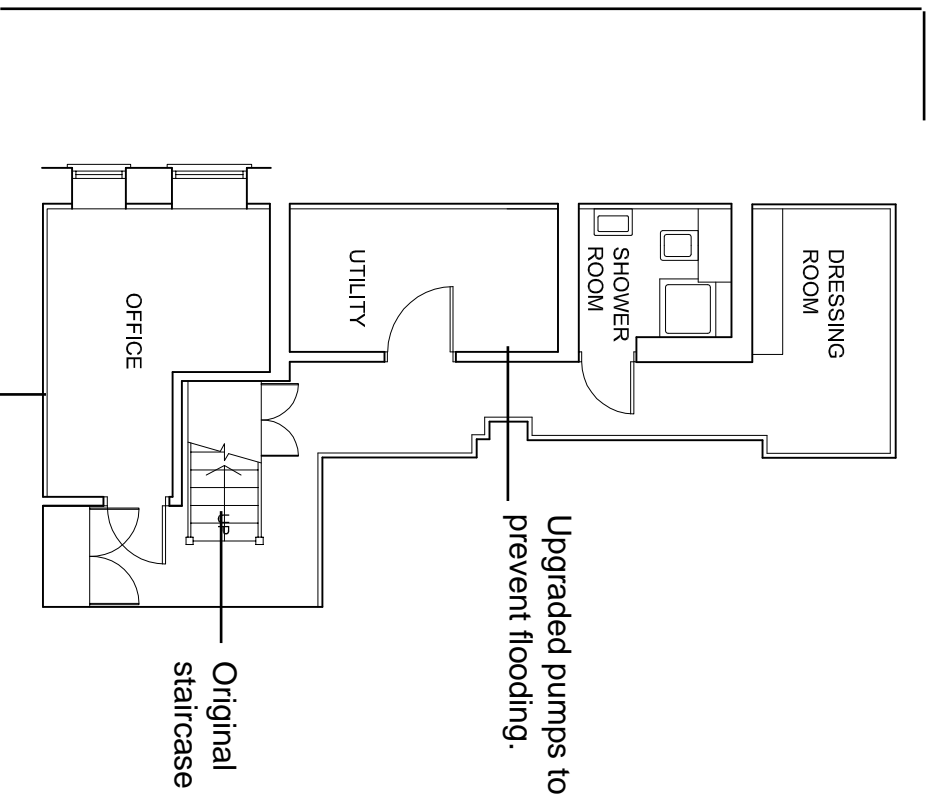


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**Appendix 4 - Layout prior to alteration/refurbishment works (plan ref.
1010-E1)**

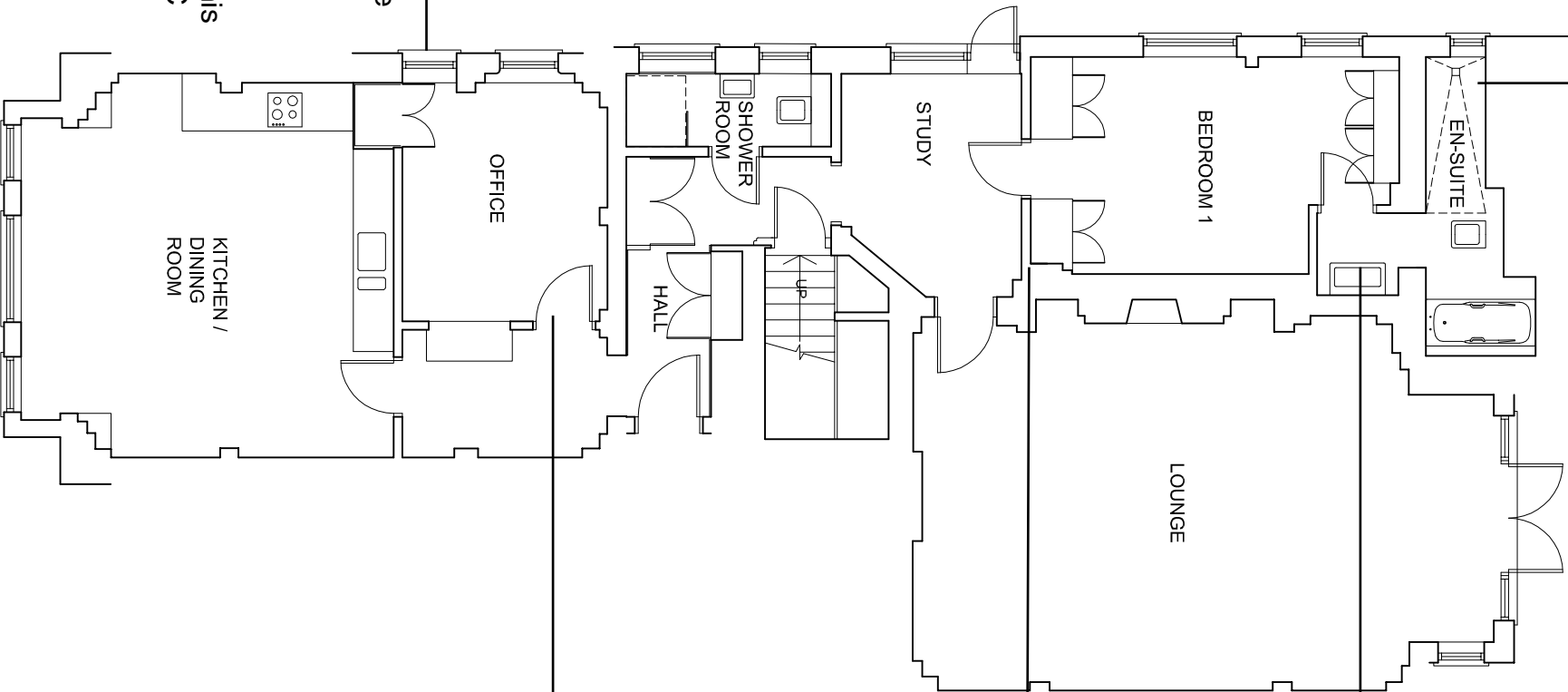
All dimensions must be checked on site and not scaled from this drawing.
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 Any discrepancies between this drawing and other documents or drawings to be referred to should refer to the original drawing.
 This drawing is to be read in conjunction with drawing No. 04

Basement conversion was previously shell/ concrete walls and floor. Has been damp proofed and refurbished.



Removal of the mezzanine exposed this window. Removed mezzanine - this never had LBC

Boiler moved to utility room and created a new shower.



GROUND FLOOR

Rev.	Date	Revisions
A	26.11.14	Revised to reflect layout as of 20.11.14



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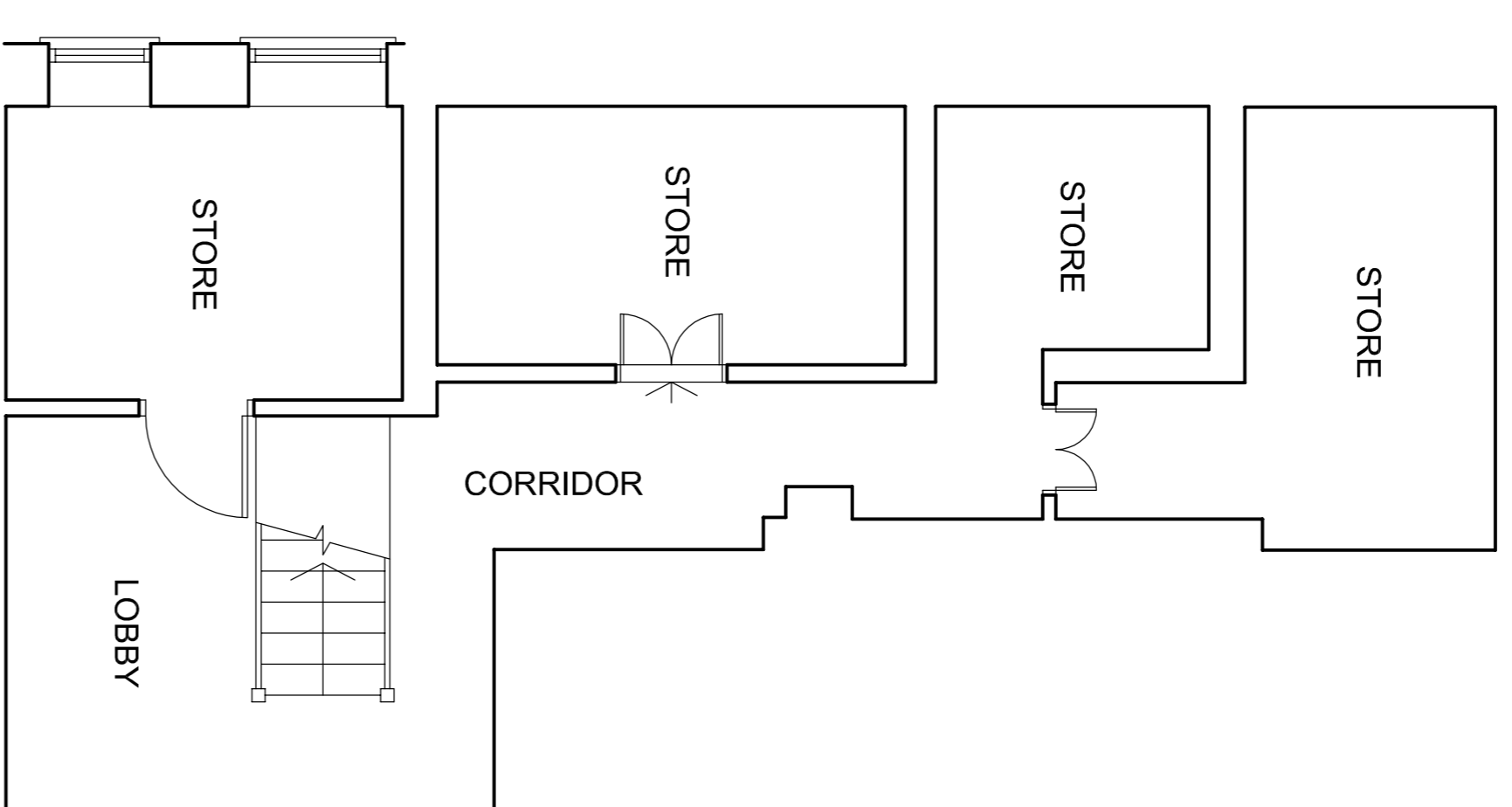
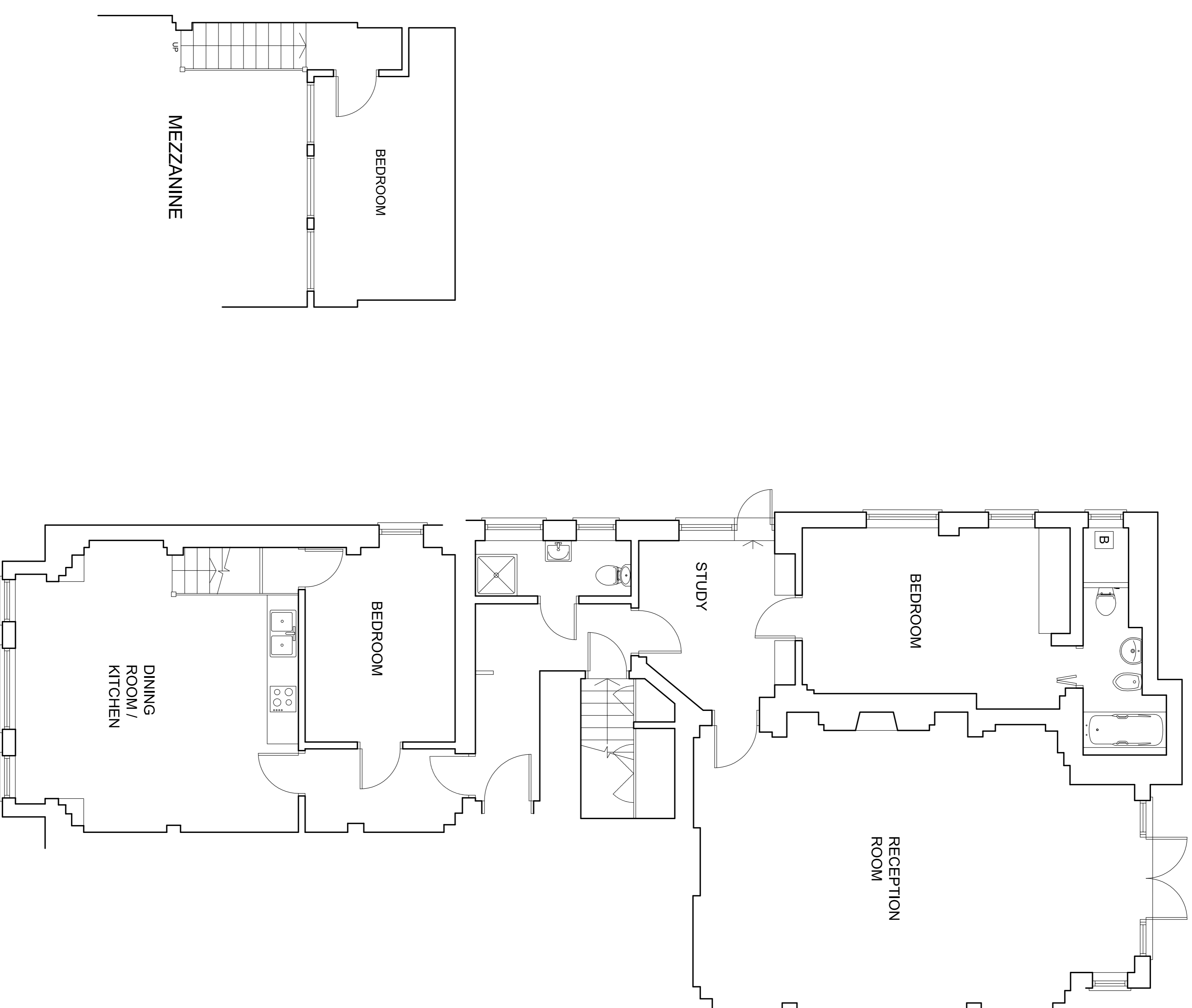
Project Title
 Mr GAVIN SHARPE
 FLAT 1
 28 ARKWRIGHT ROAD
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 LONDON
 NW3 5BH

EXISTING FLOOR PLANS

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Appendix 5 - Existing layout post refurbishment (plan ref. 1010-01)

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BASEMENT



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Client
Mr GAVIN SHARPE

Project Title
**FLAT 1
28 ARKWRIGHT ROAD
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LONDON
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