



DESIGN AND ACCESS STATEMENT

INSTALLATION OF A GLAZED
SCREEN WITHIN THE EXISTING
BASEMENT ARCHED OPENING

26 CHESTER TERRACE

NW1 4ND

Prepared on behalf of

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by

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London

SE11 4UE

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INTRODUCTION

This Design and Access Statement has been prepared to support the Full planning Application for alteration works to 26 Chester Terrace, NW1 4ND.

It should be read in conjunction with the following documents:

- Heritage Statement prepared by Giles Quarme & Associates
- Drawings prepared by Giles Quarme & Associates
 - Survey drawings:
 - L(0)01
 - S(2)01b
 - S(3)09
 - S(3)10
 - Proposal Drawings:
 - P(2)01c Rev B
 - P(3)09 Rev C
 - P(3)10 Rev C

AUTHORSHIP

This report was prepared by Giles Quarme & Associates (GQA); a specialist historic building architectural practice with extensive experience in the UK and abroad.

LEGISLATION AND PLANNING POLICY GUIDANCE

This report was prepared taking into consideration the following documents;

- 2012, DCLG. National Planning Policy Framework (NPPF)

- 2011, Camden. Regent's Park Conservation Area Statement (CAS)
- 2009 Camden Local Development Framework (LDF).
 - 2010 Camden Development Policies (CDP).
 - 2010 Camden Planning Guidance documents (CPG).
- 2009 (Revised 2010). The Crown Estate, Guidelines to Architects and Standard Specification for The Regent's Park Estate.
- 2010, English Heritage's Guidance on PPS5, which is still held to relevant with the replacement of PPS5 with Section 12 of the NPPF in March 2012.
- The Listed Building Descriptions for the house.
- 2008 English Heritage, Conservation Principles: Policies and Guidance, for the Sustainable Management of the Historic Environment.

METHODOLOGY STATEMENT

This appraisal is the result of an extensive process which encompasses literature and documentary research review, analysis and processing of information, building surveying, and knowledge as experience of similar historic buildings.

LITERATURE AND DOCUMENTARY RESEARCH REVIEW

The documentary research was based upon primary and secondary sources of local and national archives, including maps, drawings and reports.

Attention was given to The National Archives, The Historic Environment Record, National Monuments Records, Camden Local Studies Archive, Camden Planning Department and The Crown Estate archives.

SURVEYING

A survey was conducted in May 2013, where, by visual inspection, the surviving internal and external features of the building were mapped where possible.

Consideration has been given to plan form, fabric, window and door openings, window and door frames, staircases, roof structures, ceiling structures and finishes, floor structure and coverings, mouldings, joinery and any other elements which contribute to the identification of the built form and the understanding of the historical and architectural significance of the building.

PREVIOUS EXPERIENCE

Dates of elements and construction periods and the building's condition have been identified using documentary sources and visual evidence where possible, based upon knowledge and experience gained from similar building types and construction sites.

LOCATION

26 Chester Terrace is one of 42 houses that form a listed Grade I terrace located in the Regent's Park Conservation Area within the Borough of Camden, London.



Figure 1. The red dot indicates the location of 26 Chester Terrace at the Eastern side of Regent's Park.

DESIGN PRINCIPLES

The design principles for proposed works to the 26 Chester Terrace will follow the current National Planning Policy Framework issued by DCLG, the Conservation Area Appraisal for Regent's Park Conservation Area issued by Camden Council, as well as guidance and best practice advocated by English Heritage and the Society for the Protection of Ancient Buildings (SPAB).

The main objectives of the proposals is to provide a covered and dry route between the kitchenette and vaulted cellar

Description of proposed work:

- To provide a glazed door/screen across the existing vaulted arch at the basement level courtyard
- To raise and pave the floor underneath the vaulted arch so that it matches the finished floor level of the vaulted cellar

HISTORICAL ANALYSIS

As early as 1896 there was evidence of a screen underneath the arched opening into the covered area (see Drainage Plan Fig 17 Appendix 3) in the position of the proposed screen.

This appears again as a screen with door on the proposed 1939 Drainage plans (Fig 18 Appendix 3) and again 1946 (Fig 12 Appendix 2) when the property was occupied by the Ministry of Works.

Proposed Materials

GLAZED DOOR AND SCREEN

All to be timber and traditionally detailed according to the Regency period and as per the Crown Estate Guidance.

FLOOR FINISH

To be stone paving to match the interior of the basement.

ACCESS

Pedestrian access to the house is to remain unchanged.

The front façade cannot be altered because of its Grade I status. Therefore the steps up to the front door and the steps down to the basement cannot be altered without affecting the architectural significance of the building.

However DDA can be provided via the rear basement door of Chester Close. Internally the lift is being upgraded and will provide DDA throughout all floors of the building.

CONCLUSIONS

- 26 Chester Terrace is of high significance in its townscape value contribution to the area as well as its surviving historic external fabric.
- The proposed glazed screen to be located within the existing basement arched opening has been designed in a traditional manner which respects the historic architecture and detailing.
- The proposed glazed screen is almost concealed from view.
- The interventions have been carefully formulated with regard to the historic significance of the building and its fabric.
- The proposals meet the requirements of relevant clauses of the current National and Local planning policies as detailed above, and therefore should be granted Full planning and Listed Building Consent.

APPENDIX 1

PHOTOGRAPHIC SURVEY OF FRONT BASEMENT AREA MAY 2013









APPENDIX 2

1946 MINISTRY OF WORKS PLANS CHESTER TERRACE

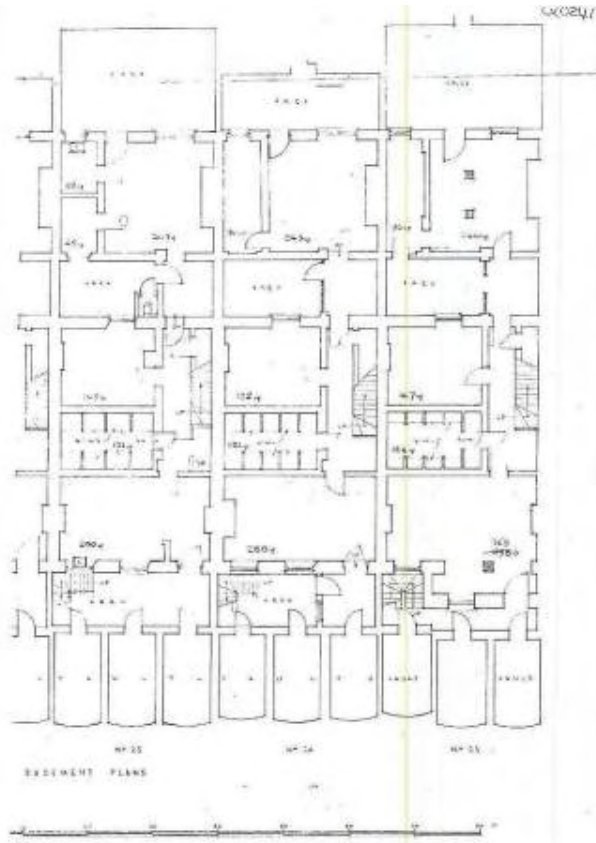


Figure 2. Extract of Ministry of Works 1946 Basement plans, Chester Terrace Nos. 25-23 Crown Estate Archive

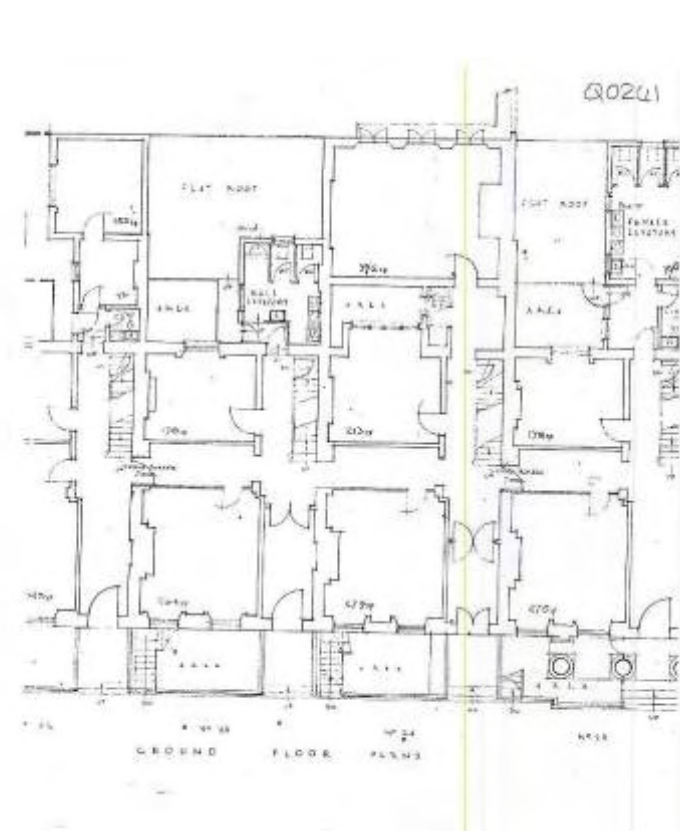


Figure 3. Extract of Ministry of Works plans, 1946 Ground Floor for Chester Terrace Nos. 25 – 23. Crown Estate Archive

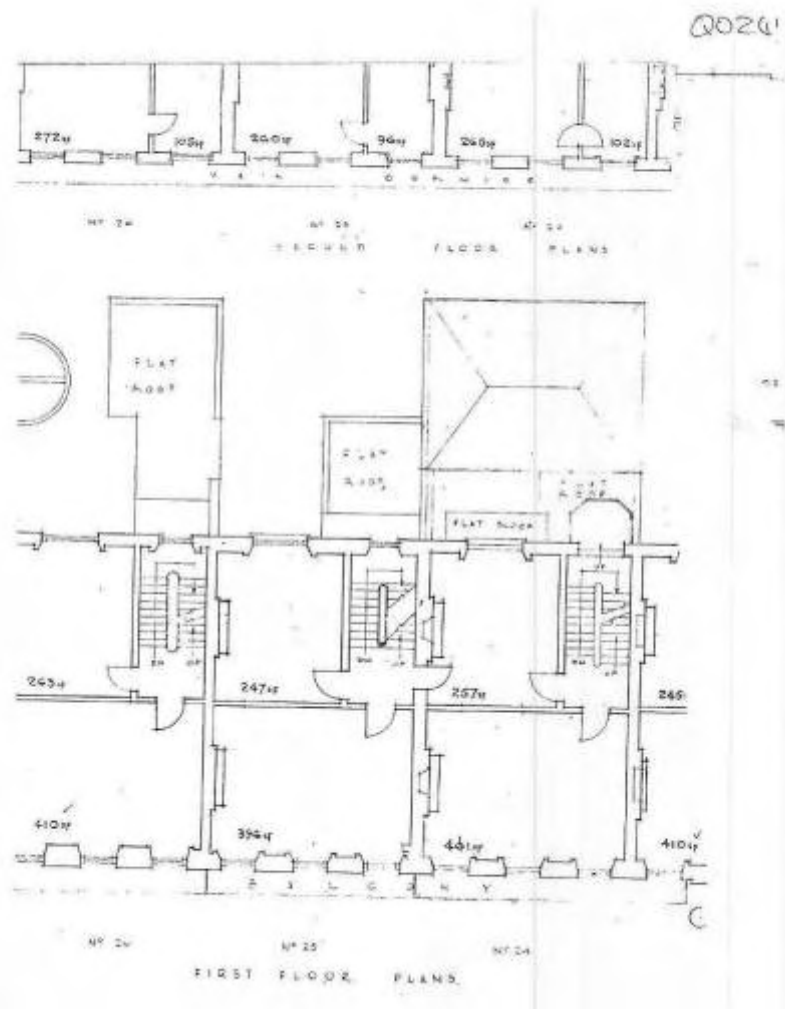


Figure 4 Extract of Ministry of Works plans 1946, First Floor plan for Chester Terrace Nos. 26 – 24. Crown Estate Archive.

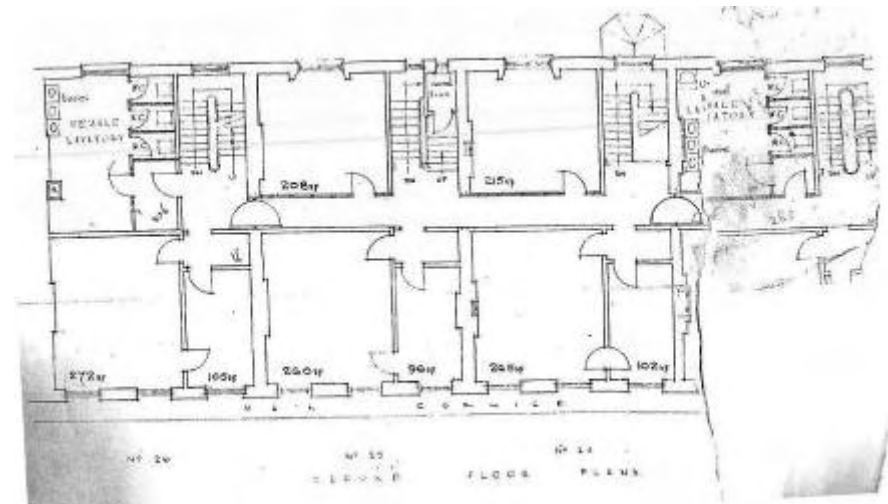


Figure 5. Extract of Ministry of Works plans 1946, Second Floor plan for Chester Terrace Nos. 26 – 24. Crown Estate Archive.

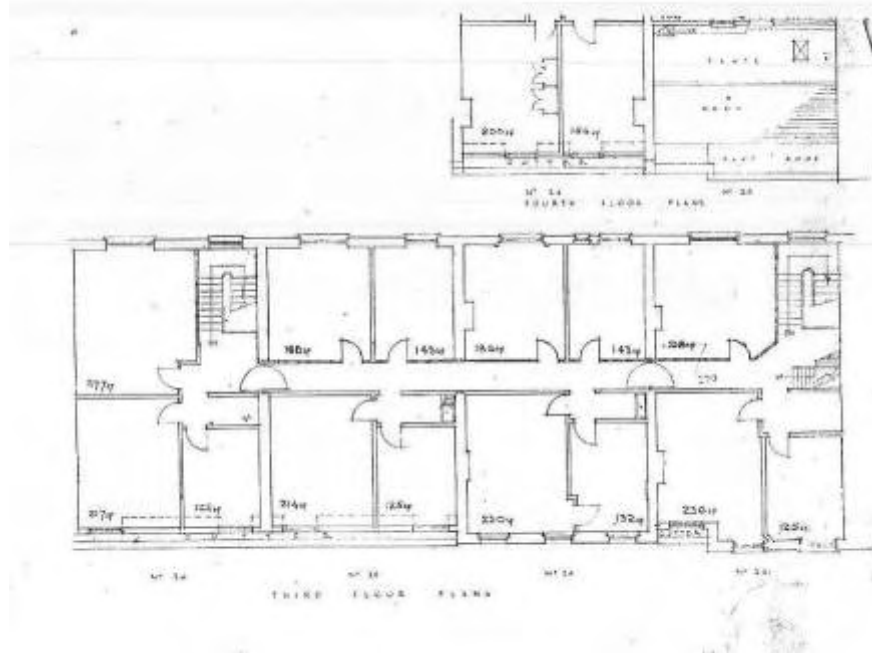


Figure 6. Extract of Ministry of Works plans 1946, Third Floor plan for Chester Terrace Nos. 26 – 24. Crown Estate Archive.

APPENDIX 3. DRAINAGE PLANS 26 CHESTER TERRACE

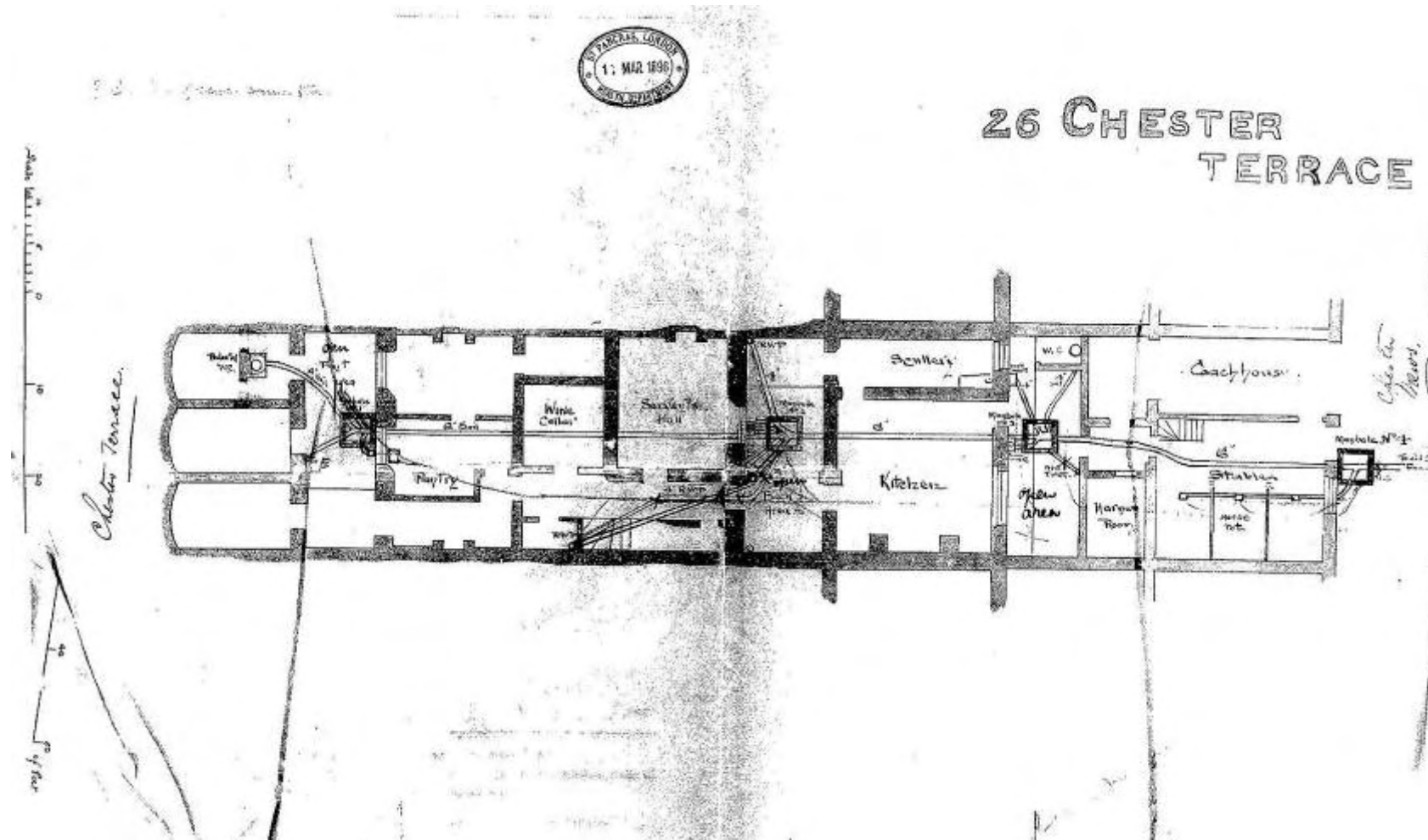


Figure 7 1896 Drainage plan by T.M.England & Co. Ltd.

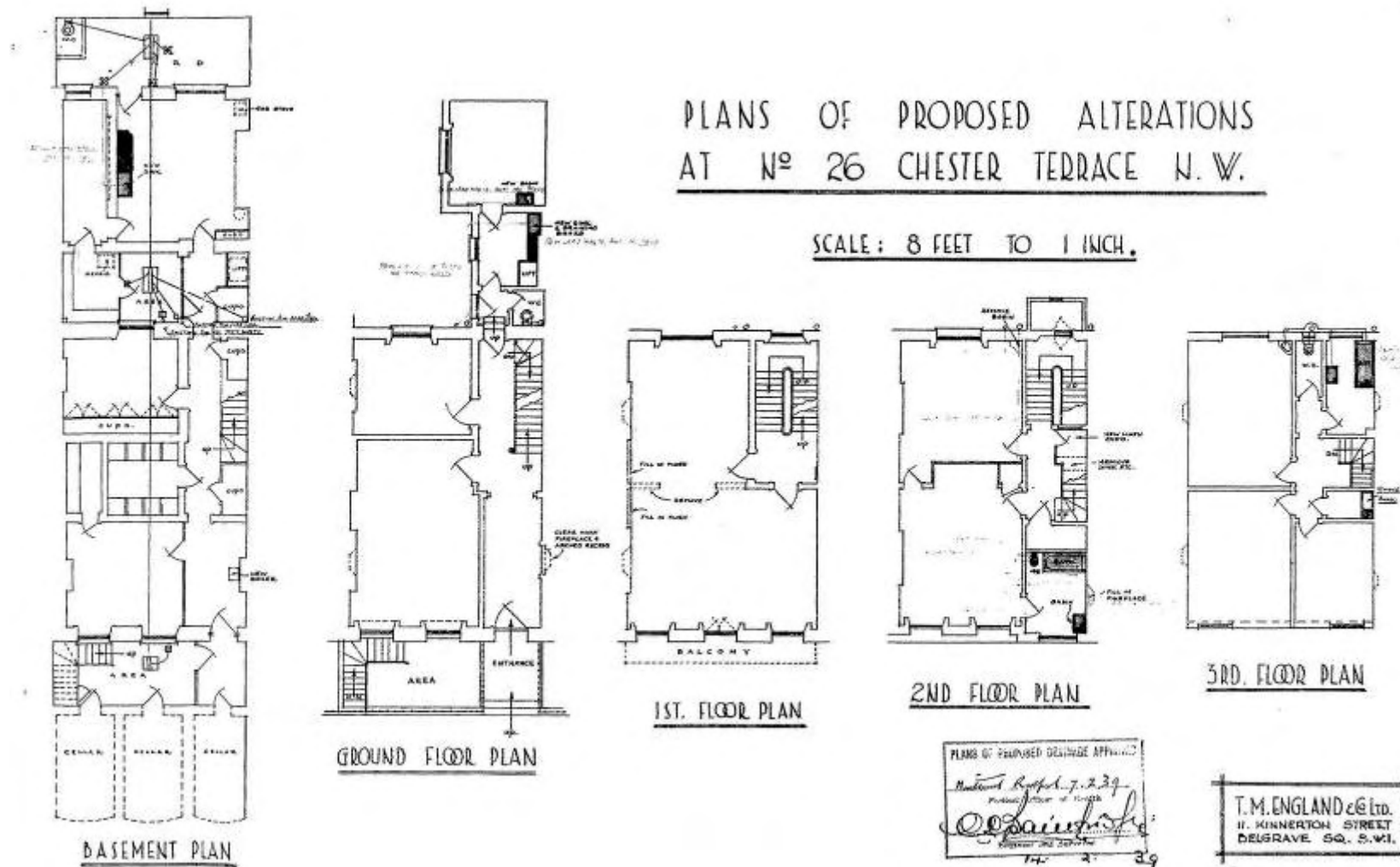


Figure8. 1939 Drainage Plans

COMBINED DRAINAGE

Metropolitan Borough of St. Pancras.

PUBLIC HEALTH DEPARTMENT.

DRAINAGE OF PREMISES.

THE SAINT PANCRAS BOROUGH COUNCIL. Plan No. 3.6.3.14

Geofferson,

The undersigned hereby gives notice of intention to carry out at the premises described below
 drainage works shown upon the accompanying plans and sections, and described in the particulars deposited
 herewith at the Office of the Borough Council.

Dated this 21st day of June 1936.

Situation and Description of Premises referred to above:—
Chester Terrace Development, Regent's Park, N.W.1.
Formation of New Block of Flats, Steps, Underground Garage, Surface Lock-up Offices and Transformer Chamber

Signature of person intending to execute the works L. G. Jones
 Louis de Selasoom, Hancock, Hodges, Robertson & Fraser.

Address 1 Park Square, York, Essex Street, London, W.C.1.

Name of the Owner of the Premises Willmark Securities Limited,

Address 26/27 Regent Square, Brighton 1.

TAKE NOTICE.

- 1.—Before beginning to lay or dig out the foundation of any house or building, or to rebuild any house or building, seven days' notice in writing shall be given to the Borough Council by the person intending to build or rebuild such house or building. (Sec. 39, Public Health (London) Act, 1936.)
- 2.—Before making any drain for the purpose of draining directly or indirectly into any sewer, seven days' notice in writing shall be given to the Borough Council by the person intending to make such drain. (Sec. 30, Public Health (London) Act, 1936.)
- 3.—Every builder who is about to execute any work as defined in these by-laws shall serve upon the Sanitary Authority at least 24 hours' notice in writing of the day and time at which such work is to be commenced together with such detailed descriptions as shall sufficiently describe the proposed work. (By-laws London County Council (water closets, &c., and the proper accessories thereof), 1930, and Public Health (London) Act, 1936.)
- 4.—Every person about to construct, reconstruct or alter any drainage work, shall deposit in duplicate, 7 days before the work is commenced, the plans, sections and particulars necessary for the purpose of ascertaining whether such construction, reconstruction, or alteration will be in accordance with statutory provisions and by-laws. Such persons shall also serve at least 24 hours' notice in writing of the day and time at which the work is to be commenced. (Drainage By-Laws, London County Council, 1934, and Public Health (London) Act, 1936.)

Forms to be obtained from, Notices given to, and Plans, Sections, and Particulars deposited,
 at the Public Health Department, Town Hall, Euston Road, N.W.1.

Figure 9. Proposed Drainage notice for the Chester Terrace Development on 1936

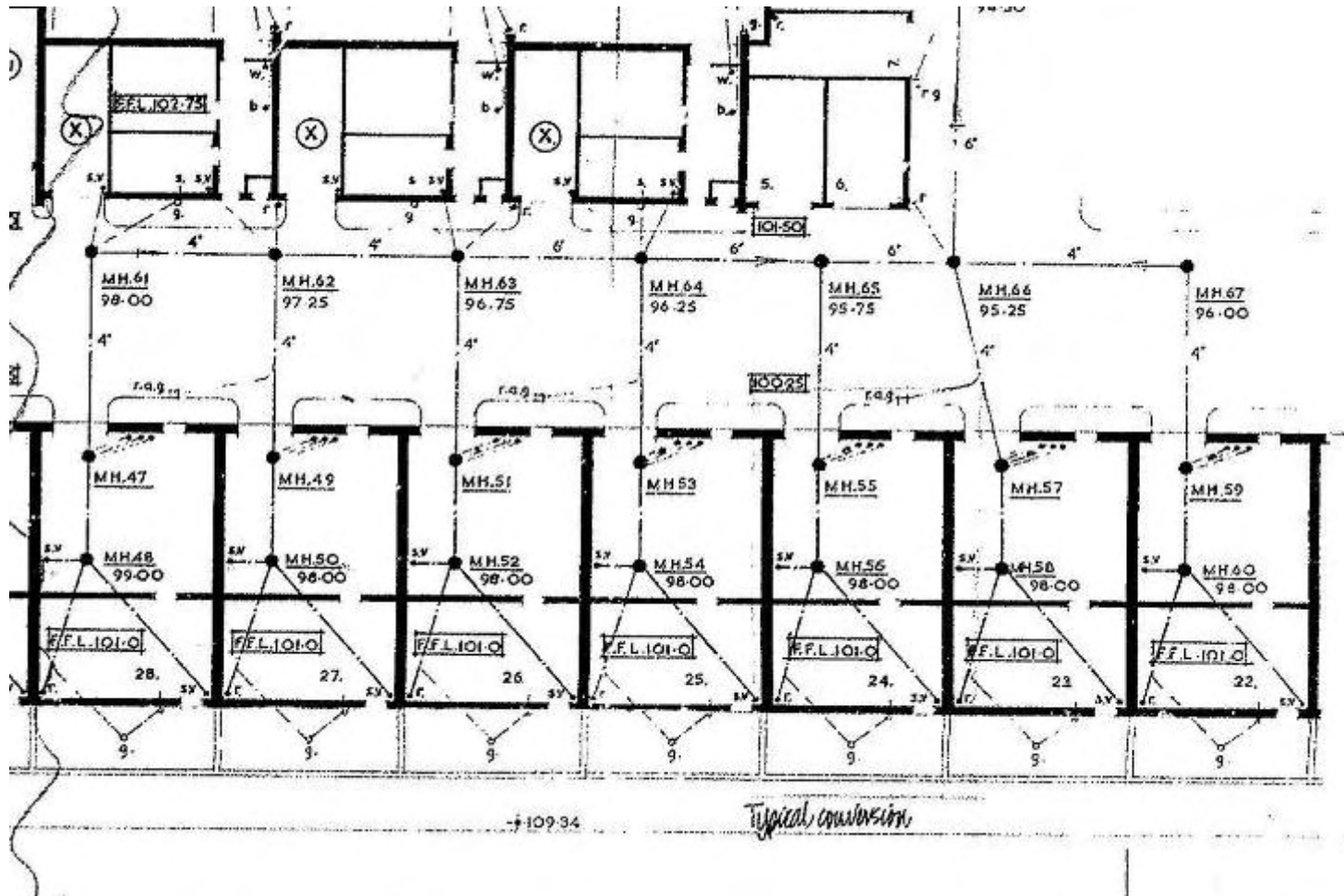


Figure 10. Extract from the 1963 Chester Terrace Development drainage plan by Louis de Saisons, Peacock, Hodges & Robertson. This plan shows the location of the new drainage of gulleys underground drainage connections, etc.

APPENDIX 4. PLANNING HISTORY OF 26 CHESTER TERRACE



Figure 11. 1959 Chester Terrace Development, typical floor plans by Louis de Soissons, Peacock, Hodges & Robertson

SOURCES AND REFERENCES

- The National Archives
- London Metropolitan Archive
- The Crown Estate
- Camden Local Studies
- Camden Planning Department
- Survey of London Volume 19, The Parish of St Pancras part 2: Old St Pancras and Kentish Town 1938
- 1949, Summerson, J. *John Nash: Architect to King George IV*. London, 2nd Ed. Published by George Allen & Unwin Ltd.
- 1995, Camden History Society. *From Primrose Hill to Euston Road*.
- 1981, Saunders, A. *Regent's Park: from 1086 to the Present*. Published by Bedford College, London.