



Construction Management Plan

At

BRAVO HOSTEL

(New Build Accommodation Development)

120 Finchley Road NW3 5JB

For

BLS1 Ltd

c/o Bravo Management Ltd

11-12 Hanover Street

London W1S 1YQ

February 2014

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This Construction Management Plan (CMP) prepared for the above project is to set out mitigation measures that will be implemented during construction phase in order to minimise risks, cover all aspects of health and safety, traffic management, fast track process and modern methods of construction.

INTRODUCTION

Vascroft Contractors Ltd is appreciative and enthusiastic at having the opportunity to become involved with the proposed Construction and fit out of a new 102 key hostel accommodation, over 2 buildings, with a 3 storey link building at 120 Finchley Road, London NW3 5JB.

Vascroft Contractors Ltd is confident that they have the necessary experience, management expertise and resources to undertake the project successfully in terms of time, cost and quality.

Vascroft Contractors Ltd has considerable experience in carrying out such high quality work in and around busy residential and commercial areas within and outside Greater London area.

From the site visits made to date, Vascroft Contractors Ltd are fully aware of the restrictions, which exist on and around site and the need for all surrounding buildings and roads to be able to operate in their normal manner during the course of the construction works.

Vascroft Contractors Ltd from site visits have taken a full photographic record of the site and the surrounding buildings (see attached Samples – Appendix 5). In addition a full photographic record of the road which is a red route which restricts loading and unloading.

Unloading Bay is available on Finchley Road south of the site which operates between hours of 10am to 4pm (maximum of 20minutes) which will be used for small by hand deliveries to the site.

The tender submission has been based on an 80 calendar weeks programme; this is considered to be the most economic period for undertaking the works.

Due allowance has been made to comply with all aspects of the tender documents and drawings in particular London Borough of Camden and Transport for London requirements.

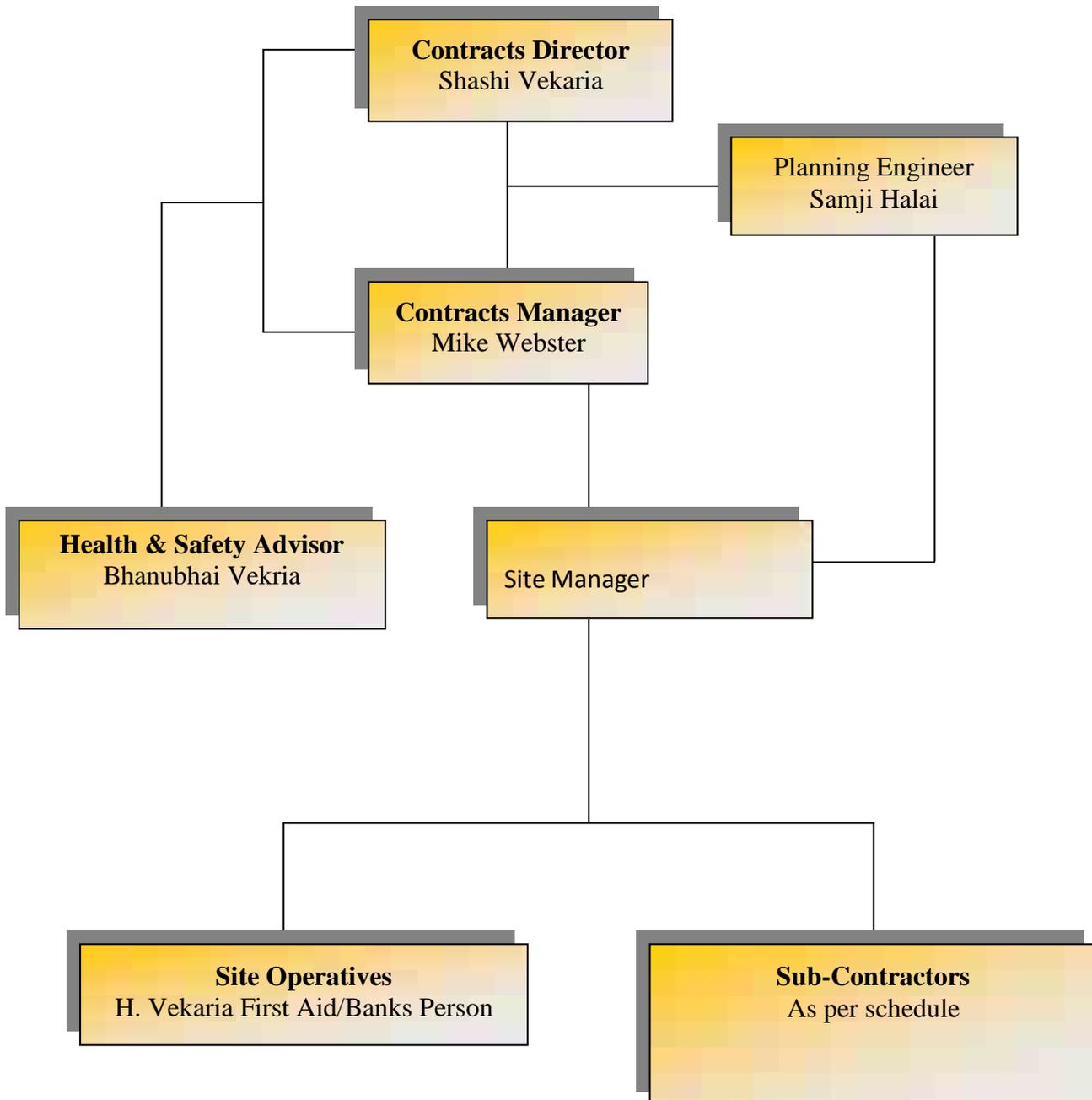
It is understood that during the course of the works all adjacent roads will be in use for access to all the adjacent dwellings by their occupiers and visitors and due consideration has been given to this requirement in preparing the tender and method statements.

Note is also made of the requirement that full access has to be maintained for the emergency services and consideration has been given to this requirement in preparing the programme.

Note is also made of the requirements of the party wall awards agreements.

Project Management

Vascroft Contractors Limited CONSTRUCTION TEAM MANAGEMENT CHART



PROJECT DESCRIPTION

The Project consists of Design, Construction and fit out of a new 102 key hostel accommodation, over 2 buildings, with a 3 storey link building. The building fronting Finchley Road comprising of 9 levels from -2 to 6; rear building comprises 6 levels from -2 to 3. Construction to include provision of 1 communal kitchen per floor and forming areas to shell and core for retail/ café at -1 and G floor with outside courtyard seating.

The works include but are not necessarily limited to the following:-

- Installation of movement and vibration sensors on adjoining properties
- Installation of bored piles for foundation
- Installation of secant piles to form contiguous pile wall to perimeter of site
- Installation of plunge piles
- Installation of piles to support a tower crane
- Alterations to access ramp to suit phasing
- Excavation of basement and sub-basement
- Construction of in-situ concrete framed structure
- Construction of external envelope to structure
- Construction of green roof
- Installation of 'pod' bathrooms
- Installation of mechanical and electrical services including sprinkler system
- Installation of mechanical plant in basement and roof mounted plant room
- Installation of drainage
- Installation of electrical sub-station
- Installation of lifts
- Fitting out communal kitchens
- Construction of terrace

The structure/substructure below second floor slab level is to be constructed in insitu reinforced concrete and structure above is to be in precast concrete units.

Extensive mechanical and electrical services are to be installed to serve bathrooms, bedrooms, lifts together with kitchens and utility rooms.

With all the above and associated FF&E works, it will create a well-balanced hostel and commercial accommodation with excellent facilities on plot of land situated at 120 Finchley Road, London NW3 5JB.

Planning permission has been granted as submitted plans and detailed designs, specifications and finishes have to be submitted to comply with the planning conditions.

First stage:

- 1) Condition Survey
- 2) Building and site survey
- 3) Temporary Accommodation and services

Second stage:

- 1) Monitoring Points
- 2) Piling -
- 3) Capping Beam
- 4) Excavation
- 5) Temp Propping

- 6) Underpin Bakarat House Wall
- 7) Crane Base
- 8) Crane Erection
- 9) Ground Floor Slab A&C
- 10) Excavation
- 11) Temp Propping B
- 12) Under Ground Drainage
- 13) Lift Pits
- 14) RC Slabs
- 15) RC Shafts & Columns + Stairs
- 16) Piles Lining
- 17) Bathroom Pods
- 18) PCC Walls & Columns + Stairs
- 19) PCC Floors
- 20) External Walls Brick/Stone/Cladding
- 21) Substation & Switchroom Works
- 22) Windows
- 23) Roof Finishes
- 24) Rainwater
- 25) Roof Plant
- 26) Acoustic Enclosure
- 27) Adjust Church Escape walkway Level
- 28) Terrace Finishes - Paving
- 29) Green & Brown Roofs
- 30) Planters
- 31) Irrigation System
- 32) Green Walls
- 33) Soft Landscaping
- 34) Partitions / Walls
- 35) Sample Unit
- 36) Screed
- 37) Joinery 1st Fix
- 38) Electrical 1 st Fix
- 39) Plumbing & Drainage
- 40) Mechanical 1st Fix
- 41) Incoming Services
- 42) Dry Lining/Plaster / Skim
- 43) Plant & Connections
- 44) Decorations
- 45) Insulation / Lagging
- 46) Balustrade & Railing
- 47) Mechanical & Control Wiring
- 48) Joinery 2nd Fix - Skirting, Architraves
- 49) Lifts Installation & Comm
- 50) Doors, Screens & Ironmongery
- 51) Electrical 2 nd Fix
- 52) Fitted Joinery / Wardrobes
- 53) Suspended Ceilings
- 54) Kitchens Fitout
- 55) Part L Tests
- 56) Mechanical 2nd Fix
- 57) Floor Finishes - Vinyl/Timber/Carpet

- 58) Test & Commissioning + Demo
- 59) FF & E + Signage
- 60) Retail Units Works
- 61) Retail Units Handover
- 62) Snag, Clean & Reinstate
- 63) Clear Out
- 64) Handover

Electrical

- 1) General lighting
- 2) Emergency lighting
- 3) External Lighting
- 4) PV/Solar Panels
- 5) Power to Mechanical plant
- 6) Small power
- 7) Fire / Smoke alarm
- 8) Security Alarm
- 9) Earthing/Bonding
- 10) Lightning Protection
- 11) Distribution Boards
- 12) Power to Kitchens
- 13) Power for Lift
- 14) Telephone
- 15) TV/Satellite/Cable
- 16) Incoming Power & Phone
- 17) CCTV
- 18) Video Entry

Mechanical:

- 1) Extract
- 2) Rainwater
- 3) Above ground soil and waste
- 4) Plumbing
- 5) Sanitary
- 6) Gas Installation
- 7) Hot and cold water
- 8) Water Storage & Booster
- 9) Heating installation
- 10) Underfloor Heating in Bathrooms
- 11) Kitchen/Kitchenette services
- 12) Insulation/lagging
- 13) Incoming Gas & Water
- 14) Commissioning

Work materials by/on behalf of the employer

- Furnishing, fittings and equipment
- Telephone system

To ensure the smooth running of the project the works will be managed by a highly skilled and experienced professional project team that has successfully completed projects of this nature to ensure the project is completed to time and budget.

Each sub contract package will be closely monitored and co-ordinated to achieve the programme.

Method statements will be produced to demonstrate our understanding of the particular requirements of the construction of new hostel accommodation and shell & core retail units at 120 Finchley Road, London NW3 5JB.

It describes proposals for site organisation and control.

Reference should be made to this plan of our submission for details of site and head office management.

It may be necessary to develop these proposals in greater detail following receipt of detailed information and discussions with specialist subcontractors.

MOBILISATION

Period of 6 weeks has been allowed for mobilisation of resources prior to starting on site.

During this period:

Designers will be appointed and/or novated and design meetings will be scheduled to finalise the design.

Local Authority and Transport for London, TFL, will be consulted to obtain necessary licences and suspensions. Approved Inspector and Health & Safety Executive will be notified of the start of the contract.

Transport for London have been consulted and working close to underground tunnel lines have been discussed and agreed with their engineers.

Owners and occupiers of buildings adjacent to the site will be notified of the intended start date of the works and they will be given details of contact in Vascroft Contractors Ltd who they can contact for any queries.

Statutory authorities will be contacted and applications will be made for temporary power and water for use during the construction works.

Local police, fire brigade and ambulance service will be notified and any special requirements by these authorities will be implemented and continued during the construction phase. (These authorities will be consulted during the construction phase whenever the conditions on site change).

The project will be registered with the Considerate Constructors' Scheme.

Construction phase Health & Safety Plan will be prepared and offered to the CDM coordinator for approval/comments. Detailed method statements for hazardous activities will be prepared and offered to CDM coordinator and consultants for approval. No meaningful work will be started until the CDM coordinator and consultants approve the method statements.

Piling, excavation and groundwork and frame contractors will be appointed.

Job specific method statements produced by the contractors will be offered to CDM Coordinator /CA and Consultants for approval/records and inclusion in Health and Safety File.

Condition survey of the site wide elements, roads and verges will be carried out in the presence of CA and copies of photographs and the records issued to all concerned for reference. These photographic records will be made available to Local Authorities if requested.

Detailed construction programme will be produced which will show critical activities and periods required for preparing sub contract packages to establish and produce information release schedule.

SITE ESTABLISHMENT

SITE BOUNDARIES

The site is located at 120 Finchley Road, London NW3 5JB. Finchley Road is the A41 trunk road and is a Red Route. The site lies on the eastern side of Finchley Road just south of the LUL Finchley Road Station. The site is immediately adjacent to traffic lights at the junction of Finchley Road and Canfield Gardens, which include a pedestrian crossing.

Access to the site will be directly from Finchley Road. Delivery and collection times will be restricted to off peak periods by Transport for London due to Finchley Road being a Red Route. It is noted that there are existing fire escape routes from the adjacent Holy Trinity Church and Alban House.

All the roads in the vicinity of the site are subject to parking restrictions, with Residents' Parking and limited time Pay and Display bays. Delivery and collection vehicles parked in Finchley Road will create a hazard and we will make all necessary arrangements to reduce the risks to pedestrians and other road users.

The neighbouring property to the north of the site is the Holy Trinity Church and immediately adjacent to the church is an office building. The property immediately to the south contains retail premises at ground floor and offices above and has a vehicle entrance located immediately adjacent to the site which must be kept clear at all times.

To the rear of the church is an apartment block known as Alban House and to the rear of the site are substantial residential properties and an apartment block. Other properties in the vicinity include a supermarket, other retail and commercial premises and residential apartments.

Within 100 metres to the south of the site, and to the rear of 70 Finchley Road is a primary school. There is a public telephone box outside the property.

Currently there is a bus stop outside the site, adjacent to the temporary crossover, which will be temporarily relocated away from site by Transport for London for the duration of the works.

The rear of the site is open land containing a number of small buildings and slopes in a north-easterly direction up from the rear of the existing building.

The access to the site for works is to be from Finchley Road for both vehicles and site personnel. Vehicular and pedestrian routes around the site are to be kept clean and unobstructed at all times.

Finchley Road Station is located to the north west of the site on the opposite side of the road. The southbound Metropolitan Line runs in a covered way which swings round to the south as it exits the station and passes within around 6 meters of the site at the nearest point and around 7 meters at the centre of the site.

The southbound Jubilee Line and the northbound tunnels of the Metropolitan and Jubilee Line run immediately to the west of the southbound Metropolitan Line.

SITE ACCOMMODATION

Adequate site welfare facilities will be provided as required by current Health & Safety Regulations.

This has been designated in porta cabins on gantries erected over the footpath and accessed from Finchley Road for personnel for the duration of the project.

WC and washing facilities will be located adjacent existing drainage for connection of the wastes.

Newly constructed part of the building will be used for extra accommodation when the workforce increases.

Finchley Road will also be used for materials delivery and waste removal for the duration of the works.

Details of actual accommodation will be provided prior to starting work on

site. SITE INFRASTRUCTURE

Before work commences existing hoarding will be adapted and all safety signs will be erected and the site safety policy and site rules will be discussed with all staff entering the site, and each person will sign a document confirming that they have understood the site rules will adhere to them.

All persons entering the site will be required to sign in and sign out when they leave the

site. EMERGENCY ESCAPE

All escape routes will be shown on a general guide of the site. This may change as each element of the work is completed. Each time it changes the complete work force will be informed prior to starting work.

A fire safety plan will be prepared which will show location of fire points. The fire points will consist of floor plans showing escape routes, warning equipment in the form of fire alarm bell, assembly point location plan and appropriate fire fighting equipment.

Appropriate number of fire points will be placed on all floors at strategic points.

All above will be regularly reviewed and changes made to suit site conditions and any change in regulations.

HOARDING AND SCAFFOLDING ETC

The fencing will be timber and plywood type, painted to the requirements of Local Authority and the employer and approximately 2.4 m high. Lights will be fixed on the hoarding, which will be switched on during hours of darkness.

Scaffold will be erected to the perimeter of the building at the appropriate stage for access to the external walls, roofs and for installation of the windows, proprietary render and cladding. Scaffold on public highway and adjoining owners' side will have protective fans and will be fully sheeted to prevent construction debris from falling there.

CONDITION SURVEY

On taking possession of the site a photographic condition survey will be carried out of the site wide elements, trees, footpaths, roads and adjoining properties affected by the development in the presence of the CA and copies issued to CA for records.

SITE SURVEY

Detailed survey of site wide elements will be carried out on taking possession of site to determine the extent of existing services, dimensions, and levels of existing elements and relationship between adjacent elements.

The information will be forwarded to the design team so that it could be incorporated in the design.

The survey will continue during the construction works and the results recorded on record drawings. The information will be forwarded to the design team on regular basis so that it could be incorporated in the new design.

TEMPORARY SERVICES

Temporary 110V electricity will be installed in compliance with the current regulations. This will provide all temporary safety lighting and task lighting and a supply for the electrical tools.

Appropriate number of 110 V emergency lights and fire/smoke alarms will be fitted as required by the current LFEPa regulations.

All above will be regularly reviewed and changes made to suit site conditions and any change in regulations.

Applications will be made to the statutory authorities for electric power and water for use during the construction works.

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SITE ARRANGEMENTS AND SITE HOUSEKEEPING

A 'good housekeeping' policy will be applied at all times. This will include, but not necessarily be limited to, the following requirements:

- All working areas will be kept in a clean and tidy condition.
- All working areas will be non-smoking. Specific areas within the worksites will be designated as smoking areas and will be equipped with containers for smoking waste. These will not be located within the boundary of working areas.
- Open fires will be prohibited at all times.
- All necessary measures will be taken to minimise the risk of fire and the Contractor will comply with the requirements of the local fire authority.
- Radios (other than two-way radios used for the purposes of communication related to the works) and other forms of audio equipment with loudspeakers will not be operated on site.
- Any waste susceptible to spreading by wind or liable to cause litter will be stored in enclosed containers.
- Rubbish will be removed at frequent intervals and the site kept clean and tidy.
- Hoardings will be frequently inspected, repaired and re-painted as necessary.
- Adequate mess rooms and toilet facilities will be provided for all site staff.
- Food waste will be removed frequently.
- Wheel washing facility areas will be brushed or sprayed clean frequently. The wheel washing will take place near the exit of the site. Soil arising from the wheels will be cleared off site.
- Any spillages on the highway will be cleared immediately and the highway will be checked following the departure of all vehicles by the traffic marshals.

A suitable hard standing incorporating a drainage channel and pump sump will be established near the site entrance/exit to accommodate wheel washing.

The Contractor will inspect all working areas at least once weekly and will provide a written report on compliance with this section of this CMP to the Health and Safety Advisor.

A full time site based H & S personnel will carry out inspections of the site at any time without prior notice of time and place of the inspections.

Access to all areas of the works will be given to visiting inspectors and the Contractor will give inspectors all reasonable assistance during their site inspection.

FENCING

Vascroft Contractor Ltd will ensure that all working areas are sufficiently and adequately fenced off from members of the public, Site visitors and staff and prevent children and animals from straying on to the working area. The fencing will be erected during the initial stage of the construction process (i. e. during site setup).

- Weld Mesh fence will be erected where appropriate for security needs to prevent from trespassing;
- Solid Timber and plywood hoarding with access gates will be erected to the front of the site. The gates will only be opened for vehicle access and egress and will be kept closed while loading & unloading.
- Safe Pedestrian access tunnel with crash deck above will be created between the building and the loading/unloading area to prevent any small debris falling on the path while transporting concrete and such materials by crane. This will be decked with double boards with heavy gauge polythene (monarflex) sheet placed between the two layers. There will not be any protrusions and will be adequately lit all the time.
- The rear side of the site where construction works are carried out will be fenced.
- A 2.4 m minimum height, plywood faced, timber framed boundary hoarding, or other hoarding providing equivalent security and noise attenuation, in the vicinity of noise sensitive neighbours.

Weld Mesh fences that create poorly lit pedestrian routes will have lighting provided and these will be used in hours of darkness.

The location and design of site boundaries, fences and temporary structures on the public road will permit adequate visibility at junctions and proper forward visibility along the roads in accordance with the National Roads Directorate advice notes and the requirements of the Local Authorities & TFL.

All fences will be maintained in a neat and tidy condition. Vascroft Contractors Ltd will not permit display of any advertisement, notice, etc including illicit bill or fly posting on the fence.

All fencing will be removed as soon as reasonably practicable after completion of works.

LIGHTING AND VISUAL INTRUSION

Construction buildings, equipment and lighting will be sited so as to minimize visual intrusion and light spillage to nearby residential properties, in so far as is consistent with the safe and efficient operation of each work element.

Site lighting will be positioned and directed to minimise nuisance to neighbours/ residents and to minimise distractions or confusion to passing drivers on adjoining public roads. The contractors will consult with local residents in relation to lighting location, lighting direction etc. This provision will apply particularly to sites where work after dark will be carried out. The Contractor will provide appropriate lighting for these sites.

So far as is practicable, all power to temporary traffic signals, lighting etc will be taken from mains/temporary supplies rather than from generators. Where portable generators are used, industry best practice will be followed to minimise noise and pollution from such generators by use of acoustic shields.

ACCESS AND LOADING

Lorries will enter and exit the site as per the limits inside the site boundary. While reversing of vehicles into public spaces the movement will be properly controlled by a Banksman (Traffic Marshal) observing the rear of the vehicle. The sounding of audible reversing alarms will not be permitted outside normal working hours, except where this has been approved by the Local Authorities in connection with works permitted or where required for over-riding safety purposes. Entry/exit conditions will be subject to prior approval by the Local Authorities before implementation.

All loading and unloading of vehicles will take place off the public road as far as is reasonably practicable.

SECURITY

Adequate security will be exercised by the Contractor to protect the public and prevent unauthorised entry to or exit from the site. Site gates will be closed and locked when there is no site activity and site security measures will be implemented.

Where site security cameras are used they will be placed in locations that will not unduly infringe upon the privacy of local residents.

Full time static security will be located at the site entrance point and he will control the entry and exit of all personnel. The security personnel will patrol the site regularly during out of working hours.

Delivery entrance will be controlled by delivery banksmen who will only allow delivery vehicles through the delivery points.

ON SITE ACCOMMODATION

No living accommodation will be provided within any construction working area without the prior approval. Mess rooms, locker rooms and toilets will be provided on the gantry in the front of site.

CLEARANCE OF SITE ON COMPLETION

Vascroft Contractor Ltd will clear and clean all working areas and accesses as work proceeds and when no longer required for the works.

All surplus soil and materials, and hard standings, plant, sheds, offices and temporary fencing will be removed, post holes filled and the surface of the ground restored as near as practicable to its original condition, or to such condition as has previously been agreed with the Local Authorities or landowner.

SAFETY

Safety is of paramount importance on all construction sites. The following sections highlight a number of safety aspects but these are by no means comprehensive.

Detailed safety procedures will be in the construction phase health & safety plan and the method statements and risk assessments for the relevant tasks.

Resident health and safety coordinator will ensure that all health & safety measures have been risk assessed prior to allowing any task to progress and he will also monitor that all such measures are put into practise. Any diversions required will be discussed and agreed before action.

Vascroft Contractors Ltd and it's representatives will ensure full compliance with all applicable health and safety legislation.

EMERGENCY CONTACTS AND PROCEDURES

Vascroft Contractors Ltd will appoint suitably qualified personnel (marshal) who will liaise with the Other Authorities and formulate and will be in charge of emergency procedures. The marshal will prepare and maintain an Emergency Contact Procedure which will be displayed prominently on site. These Procedures will be followed in any site emergency.

The procedures will contain emergency phone numbers and the method of notifying Local Authorities/services for action by the Contractor, the Authorised Undertaker and its Agent's site staff.

Copies of the Procedures will be issued to the Local Authorities, community councils, the Fire Brigade, the Police, the Ambulance Service and the relevant statutory authorities.

Emergency telephone numbers for the Contractor's key personnel will also be included for the Authorised Undertaker's use in an emergency.

Health and Safety briefings will be conveyed to all staff before they enter the site initially and they will be asked to sign a register confirming that they have understood the rules with regular updates and awareness raising. Vascroft Contractors Ltd will provide and maintain a 24-hour Emergency Contact numbers to deal with any complaints received in connection with the construction. This will be notified to the all the adjoining owners and occupiers. The numbers will also be posted in a prominent location on the site so that anyone with any issues regarding the site could make contact.

24 Hour Contact Details: Name: Mr Shashi Vekaria Tel: 07710 037 141

CLIENT LIASION

As the Site is located adjacent to residential & commercial premises it is noted that the constructions works could have adverse effect on the occupants of these premises.

Public meeting will be arranged during the currency of the works to obtain feedback from local residents and business, and to provide an opportunity to be involved in the project and voice any concerns.

Prior to commencement of the works on site an initial letter of introduction will be sent to adjoining residents and business' to advise of the commencement of works on site and to provide an immediate point of contact should there be any concerns relating to the works being carried out.

The letter of introduction will set out dates for liaison meetings which will take place initially 6 weeks after commencement on site and thereafter at 3 monthly intervals unless circumstances arise which require interim meetings or meetings to be held more frequently.

It is the intention to agree with the adjacent Church to use a suitable area in their building as a venue for project liaison meetings, although this venue is yet to be confirmed.

HEALTH AND SAFETY AT WORK

All site work will be carried out under the provisions of the Health & Safety Act, and to the satisfaction of the local HSE officer. The Health and Safety manager will ensure compliance with all health and safety legislation.

CONTAMINATED MATERIALS (SPECIAL PRECAUTIONS)

Sites in which contaminated material is encountered, the Contractor's Health and Safety Officer will ensure that a Workers' Safety Information Sheet is prominently displayed in rest/mess rooms and wash rooms covering hygiene, work practices, clothing requirements etc.

Other environmental risks e.g. asbestos, hazardous toxins, chemicals etc. will be displayed for staff information. General provisions concerning disposal of contaminated materials will be carried out as per current regulations.

CRANE OVERSAILING

Vascroft Contractors Ltd will use Luffing jib tower cranes suitably sized to cover the site but not over sail neighbouring properties. Consultation will be undertaken with police and the appropriate statutory bodies to determine maximum heights of crane arcs within the vicinity of the site and the existing underground rail network.

USE OF EXPLOSIVES

The use of explosives will **NOT** be permitted at all on this project.

PROTECTION OF EXISTING INSTALLATIONS

Vascroft Contractors Ltd will make its own investigations and take all appropriate actions concerning existing foundations, buildings, structures, walls, roadways, sewers, cables and other services, apparatus and installations.

SAFE GUARDING

Vascroft Contractors Ltd will properly safeguard all existing and adjoining buildings, structures, works and services all in accordance with the regulations.

Vascroft Contractors Ltd will take all necessary measures required for the support and protection of all buildings, structures, pipes, cables, sewers, railways and other apparatus during the construction period.

STRUCTURAL DAMAGE ASSESSMENTS BEFORE CONSTRUCTION OF WORKS

Before commencing any underpinning, foundations, excavations or ground improvement works, Vascroft Contractors Ltd will prepare a schedule of buildings, structures, roads, footpaths and major utilities within the zone of influence of the construction work.

The schedule will identify those properties that may be at risk from ground movement (settlement or heave) or vibration arising from the construction, based upon the final design and method of construction for the works.

The employer has appointed party wall surveyors to liaise with the adjoining building owners surveyors to carry out schedule of defects in the buildings and agree party wall awards. No work will be started adjacent any adjoining buildings until the party wall awards are in place.

Vascroft Contractors Ltd will repair and decorate any defects caused by the construction activities within a short period of the completion of such notice by the party wall surveyors.

Provision will be set up to monitor any movements of the adjacent buildings considered to be at risk, if identified by the project structural engineer or as identified in Party Wall Awards

DEFECTS SURVEY AFTER CONSTRUCTION OF WORKS

After the construction works have been completed and at any time up to one year, the interested party may, upon providing the Contractor with reasonable evidence of damage (for example, a photograph), request that a second defects survey is undertaken.

This will take the same form as the first survey and will be undertaken where reasonably practicable by the same firm of Chartered Surveyors or Engineers.

In the event that the same firm of Chartered Surveyors or Engineers is unable to undertake a second defects survey, this shall be undertaken by a suitably qualified alternative firm of Chartered Surveyors or Engineers.

Any damage that can be shown to have been caused by the construction will be repaired within a reasonable time of identification at the expense of the Contractor to the reasonable satisfaction of the property owner and such that the property is returned to the standard of repair and stability existing before construction works commenced.

DEFECTS TO UNSURVEYED STRUCTURES

If it is suspected that damage has occurred to a property that was not identified as a property at risk by the surveyors, and thus not surveyed before construction commenced, the onus will be on the property owner to demonstrate that the damage was due to the construction works.

The property owner shall notify the Surveyor or Contractor, at the earliest opportunity, of the potential need for an assessment.

Such assessment should be undertaken by a suitably qualified chartered surveyors and engineers at the property owner's expense unless, in the view of the Contractor, there are reasonable grounds to investigate whether the damage has occurred as a result of the construction works.

If it is determined by the surveyors /engineers that the construction works were the cause of the damage, reasonable survey costs will be reimbursed by the Contractor in addition to the damage being made good at the Contractor's expense.

MANAGEMENT OF TRAFFIC & DELIVERIES

OVERVIEW

This section presents a Construction Traffic Management Plan (CTMP), which builds on the findings of Vascroft Contractors Ltd. during condition survey of the surrounding buildings and roads. This sets out to be an ideal plan to execute the project. (Refer to enclosed Construction Traffic Strategy)

GENERAL MEASURES TO REDUCE CONSTRUCTION TRAFFIC IMPACTS

The following measures will be implemented to reduce impacts from construction traffic.

Safety Measures

In case of road closure or other major works like crane erection etc. that prevent articulated vehicle access the contractor will provide, erect and maintain such traffic signs, road markings, lamps, barriers and traffic control signals and such other measures as may be necessitated by the construction in accordance with the recommendations of the Traffic Signs Regulations and to the approval of the Local Authorities.

Compliance with this section will not relieve the Contractor of any of its other obligations and liabilities under the Contract Agreement and under the relevant provisions of legislation.

Vascroft Contractors Ltd will not commence any work that affects a public road until all traffic safety measures necessitated by the work are fully operational. Hazard warning lamps, traffic signs and temporary road works signs will comply with British Standards. Signs and diagrams of the Traffic Signs Regulations will be of “high intensity” grade reflective materials. These will be erected and managed by experienced operatives employed by specialist contractor.

All traffic signals including temporary signals used at road works must be type approved before they can legally be installed on public roads. Portable traffic signals must also comply with the current requirements of the Traffic Signs Regulations, which prescribes the size, colour and type of traffic signals.

Vascroft Contractors Ltd will keep clean and legible at all times all traffic signs, road markings, lamps, barriers and traffic control signals and will position, reposition, cover or remove them as required by the progress of the works and to the approval of the Local Authorities.

Crane Erection

During erection of the crane, permissions will be sought for the suspension of parking bays, taxi ranks and the bus stop, together with any road closures.

This plan will be further developed by the traffic management contractors employed by the crane hire company in liaison with the highway engineers.

Works Affecting Carriageways and Footways

Before commencing works that will involve interference with a carriageway or footway, the Contractor will consult the Local Authority and / or the Roads Authority and community councils on:

- the proposed commencement date of these works;
- the area of the carriageway or footway to be occupied and duration;
- the proposed methods of construction in order to minimize inconvenience to the public.

All necessary consents and licences will be obtained in advance. In the case of temporary footways, reasonable access will be provided for people, including those with disabilities, wheelchairs and pushchairs, in accordance with the following requirements. In addition, access will be made also for all types of disabled/mobility scooter, and cyclists. Further information on the use of routes will be available from the Local Authorities' Local Access Officers.

i. Any temporary footways and carriageways will be constructed to the reasonable requirements of the Camden Council & TFL applicable in such cases and will have uniform surfaces. There will be no steps and any gradient falls will be preferably 1 in 20 and no greater than 1 in 12. In the event that steps are unavoidable, an alternative route will be identified for people with mobility impairments or disabilities.

ii. Pavement ramps will be provided at all junctions of footways with carriageways. Gradient falls must not exceed 1 in 12 and the base of the ramp must be flush with the carriageway.

iii. All temporary footways and ramps will be surfaced in non-slip materials to the satisfaction of the Highways Authority.

iv. Existing footway widths around construction sites will be maintained.

vi. If it is necessary to excavate the public road outside the building for the purposes of accessing, installing, servicing or removing any form of apparatus, written permission will be obtained from the local authority. These works will be carried out approved specialist contractors.

ix. All pedestrian routes diverted onto the carriageway will be clearly defined by continuous barriers, constructed to the reasonable requirements of the Highways Authority, which will include a build-out and ramping parallel to the kerb line.

x. So far as is reasonably practicable, all footways and carriageways will be kept free from mud and other loose materials arising from the works.

xi. Vehicles entering or leaving the site will only be allowed to traverse crossovers under the control of a competent banksmen.

xii. After completion of the works, all materials arising from the works will be cleared from the roads, leaving them in a clean and tidy condition to the reasonable requirements of the Roads Authority.

Maintenance and Repair of the Road

Vascroft Contractors Ltd will take every possible precaution to prevent its operations from damaging the roads and footpaths in the vicinity of the construction works. The Contractor will be responsible for any damage caused by their activities to the road in the vicinity of the worksites.

The Contractor will carry out a pre-construction inspection and take photographs of the public roads, footways and cycle ways in the vicinity of the Site in conjunction with the Local Authorities' Roads

Maintenance Team. The Contactor will produce a report of the results of the joint inspection. The report will establish the general road conditions within and in the vicinity of the Site and the level of reinstatement required. The report will be agreed and signed by both the Contractor and the relevant Local Authorities.

The Contractor will carry out all such maintenance works as are necessary to maintain the roads and footpaths in the vicinity of the works in a serviceable condition to the approval of the Local Authorities. Any defects caused by the Contractor will be rectified immediately if dangerous (i.e. trip or depression of 25 mm or more) or otherwise within 24 hours.

Snow clearance, salting, gritting etc will be carried out on the public roads as per normal by the Local Authorities during works.

Access Across Site and to Frontages

Vascroft Contractors Ltd will not close any road or private accesses until immediately before the area is required for construction in accordance with the Contract and the agreed programme of works. The construction of the works will follow in the area of a temporary closure expeditiously and will be carried out efficiently and in a continuous manner to ensure that all temporary closures are re-opened as quickly as possible.

Vascroft Contractors Ltd will:

- i. where it is reasonably practicable to do so, maintain any existing right of way across the whole or part of the Site and public and private accesses to adjoining frontages in a safe condition and to a standard not less than that pertaining at the commencement of the Contract Agreement.; or
- ii. Alternatively, Vascroft Contractors Ltd will provide acceptable alternative means of passage or access to the satisfaction of the persons affected. The Contractor will provide and maintain any guard rails, fences, gates, lights, crossovers, pavings, steps, handrails, etc needed and they will be of such size, strength and construction as will be adequate for their purpose.
- iii. The Contractor will, in carrying out the works, take all reasonable precautions to prevent or reduce any disturbance or inconvenience to the owners, tenants or occupiers of adjacent properties, and to the public generally.
- iv. The owners, tenants or occupiers of affected properties will be informed of the works to be undertaken, their planned duration, road and access closures and alternative access routes (where required) in writing and by locally posted public notices prior to work starting.

The Contractor will render all necessary assistance to occupiers of premises affected by the works to enable them to get materials or goods into or out of their premises during the Contractor's normal working hours.

In carrying out the work immediately adjacent to occupied premises outside the Site, the Contractor will proceed with minimum inconvenience and disturbance to occupiers and users. Access to and from such premises will be maintained at all times, other than in exceptional circumstances.

Avoidance of Nuisance

Mud on Roads:

Vascroft Contractors Ltd will implement strict measures to minimise what is considered to be one of the main environmental nuisance problems arising from construction sites. These will include, but will not necessarily be limited to, the following.

- i. The provision of easily cleaned hardstanding for vehicles entering, parking and leaving the site. This also serves to minimise dust nuisance.
- ii. The provision of wheel washing and lorry jet washing facilities on all exit routes of construction sites.
- iii. The use of a road sweeper to clean the site and hard standing of any mud or debris deposited by the site vehicles on roads or footpaths in the vicinity of the site will be employed if necessary to carry out road cleaning. The Local Authority/TFL will be contacted to agree the use of this vehicle which will be hired in together with suitable trained operator, V C L have a contract with Lynch Plant Hire at Park Royal ,and a suitable road sweeper can be available at site within 20 minutes .
- iv. The adequate sheeting of each lorry load of spoil removed, to prevent spoil falling off during its journey.
- v. Measures will be taken to ensure that mud and detritus material is not swept into gullies.

Vascroft Contractors Ltd will also comply with the requirements regarding dust outlined below.

Dust:

Vascroft Contractors Ltd will take all necessary measures to avoid creating dust nuisance and will submit a statement to the Local Authority that identifies proposed measures (see Appendix: Environment Policy Statement) before work starts. Measures to prevent dust will include the following practices:

The Contractor will:

- Provide easily cleaned hard standing areas for vehicles;
- Keep the hard surfacing of heavily used areas clean by regular brushing and water spraying;
- Completely sheet the sides of all vehicles carrying spoil and other dusty or loose materials;
- Regularly damp down and clean unsurfaced haulage routes and verges where these are located close to sensitive locations; and
- Establish and enforce appropriate speed limits for all site traffic.

Vehicle Emissions

The site is situated within a smoke control area under the Clean Air Act 1993 and the Contractor shall be responsible for strict compliance with the requirements thereof. No fires will be permitted on the site and all timber and combustible materials are to be carted away by the Contractor to an approved tip.

Compliance to Standards

Vehicle emissions are regulated through the Road Vehicles (Construction and Use) Regulations (as amended), and the Motor Vehicles (Great Britain) Regulations made under the Road Traffic Act 1988. Further amendments implement the European Directives on vehicle emissions known as the EURO standards. The EURO standards set emission limits for several pollutants from different types of vehicles.

Construction vehicles will be required to comply with relevant EURO standards. Drivers will be required to:

- Switch off their vehicle's engine when stationary to prevent exhaust emissions (and noise). An authorised person may request a driver to switch off their engine.
- Keep their engines in tune and their catalysts working efficiently. In practice, emissions are controlled through the MOT. All vehicles used by Contractors must comply with MOT emission standards at all times. Vehicle owners can be prosecuted if their vehicle emits substances in excess of the standards. The Vehicle Excise Duty (Reduced Pollution) Regulations 1998 enable HGVs meeting certain particulate emission standards to qualify for a Reduced Pollution Certificate.

Site Access and Lorry Movements

Site Access

Lorries will enter site by reversing, escorted by the banks men and traffic marshal and exit the site in a forward direction except in special cases where space restriction does not permit this.

The location of the site access is via the crossover from Finchley Rd

Lorry Movements

The sub contractor and suppliers who may move large and/or heavy loads, construction plant, materials and spoil (including vehicles used for carrying such when running empty) will limit the use of public roads as far as is reasonably practicable.

HGVs accessing or egressing the site will do so in accordance with the normal site working hours **8.1 to 17.30 hours**) unless otherwise agreed with the Local Authorities or unless required by unforeseen events.

Delivery vehicles will not be permitted to park on adjacent roads, and a holding area will be established adjacent to Hampstead heath, and V C L plant yard where vehicles will be called from to site to avoid any clashes on site

If appropriate to suit site conditions the gyratory system between Swiss Cottage and Canfield Gardens will be used to circulate vehicles until access to site is possible.

Vascroft Contractors Ltd when entering into any sub-contract for the execution of any part of the construction works or the supply or transport of heavy loads, construction plant, materials or spoil will incorporate in any such sub-contract provisions requiring the sub-contractor or supplier to comply with the requirements of this CMP.

Deliveries of materials for the works will be taken from Finchley Road. All suppliers and sub contractors will be notified of the vehicle requirement at the early stages of negotiations.

Delivery and collection times will be restricted to off peak periods by Transport for London due to Finchley Road being a Red Route. It is also noted that there are existing fire escape routes from the adjacent Holy Trinity Church and Alban House.

Finchley Road is the A41 trunk road and is a Red Route.

The site is immediately adjacent to traffic lights at the junction of Finchley Road and Canfield Gardens, which include a pedestrian crossing.

Delivery and collection vehicles parked in Finchley Road will create a hazard and we will therefore make all necessary arrangements to reduce the risks to pedestrians and other road users. We will provide all necessary signage and personnel to assist/direct drivers of delivery and collection vehicles and to direct other traffic and pedestrians when vehicles are entering or leaving the site. Traffic Management Plan will be included in the Construction Logistics Plan and Construction Phase Health & Safety Plan. We will include in our initial Construction Phase Plan our proposals for managing delivery of materials, plant and equipment and removal of demolition and excavated materials and general rubbish. Roadways or footpaths will not be used for stacking materials and goods for use in the works, and will be kept clean and free of rubbish.

Trained and experienced personnel (Traffic Marshals & Banksmen) will co-ordinate delivery vehicles and off loading of deliveries and ensure that it is done safely and causes minimum disruption to adjoining occupiers and other users of the access road.

Delivery vehicles will not be allowed to park on the roads near the site.

Access to the site for construction works will be maintained through the front on Finchley Road for the whole duration.

Sub contractors will be required to schedule their materials delivery to coincide with the progress of works.

Materials as far as possible will be distributed to their designated areas thus avoiding the overloading of the existing floors and any excess materials will be stored in the constructed sections of the building or on loading gantries and off site as situation demands.

All concrete will be ready - mixed and placed using chutes and pumps. Concrete vehicles will be parked on the site in the contractor's compound/,and not on the road .

Tower crane, conveyor belts and hoists will be employed for vertical transportation of materials as situation demands.

NOISE CONTROL VIBRATION AND POLLUTION

NOISE CONTROL

The Contractor will have a general duty to take all practicable measures to minimise nuisance from noise.

Normal working hours will be 8.00 AM to 5.30 PM Mondays to Fridays and 8.00 AM to 14.00 PM on Saturdays (Noisy works restricted between 10.00 AM and 13.00 PM on Saturdays). No work at all is to be carried out on Sundays and Bank Holidays.

Any further restrictions imposed by the Local Authority or adjacent occupiers will have effect on the progress of the works.

The local authority & all neighbours will be regularly consulted and any recommendations will be taken aboard and the CA will be updated. VCL site management will carry out a weekly noise survey whilst construction works are in progress using a hand held 3M Sound Detector SD 200 kit to monitor noise levels which will be recorded on a site log for future reference.

Should any new equipment be employed on site or operations undertaken that are likely to exceed permitted noise levels, further on site surveys will be carried out to ensure permitted noise levels are not being exceeded.

All plant and equipment will conform to current regulations and if necessary extra precautionary measures such as mufflers or silencers will be provided.

During demolition and clearing out the debris and rubble will be regularly sprayed with water.

Screens will be erected to stop spread of dust from demolition blowing onto adjacent properties, retained structures or preserved trees.

Wherever possible electrically powered tools and plant will be used to minimise pollution from fumes.

Sub contractors and plant hire companies will be asked to ensure that all plant used on site should be regularly serviced and are fitted with pollution reducing devices.

VIBRATION CONTROL

Subject to the specific requirements of the Local Authorities, the following minimum requirements will be met.

i. To protect the neighbours and users of buildings from nuisance and harm the Contractor will, as far as practicable, not exceed Vibration Dose Values as specified in British Standard, which will result in a 'low probability of adverse comment',

ii. To protect buildings from physical damage, peak particle velocity levels should not exceed 5 mm/s except for particularly sensitive buildings where the level should not exceed 3 mm/s. Those buildings which are to be considered as sensitive will be agreed with the Local Authorities. If vibration levels are predicted to exceed the criteria specified then vibration monitoring will be undertaken by a suitably qualified practitioner during the activity and the Contractor will adopt alternative methods of working to reduce vibration levels as necessary.

The monitoring programme will be agreed between the Contractor, the owner, and Local Authorities. This programme will include the location and frequency of readings and will identify to whom the results should be made available.

In the event of a complaint, the Contractor will investigate the cause and apply mitigation measures as necessary (e.g. change the method of working) as outlined.

All buildings and other structures, including scheduled ancient monuments (if found during excavation works)or listed buildings, within or adjacent to any working area which may be at risk of physical damage from vibration will be identified by the Contractor and discussed with the neighbouring properties owners and Local Authorities if appropriate.

A record of the conditions and survey of any defects will be prepared by the Contractor prior to commencement of construction. The results of this record of the conditions and survey of any defects will be provided to the Local Authorities, the property owner and occupier.

DUST AND OTHER AIR POLLUTION

Vascroft Contractors Ltd and its contractors will take all necessary measures to avoid creating a dust nuisance during both construction and demolition works. Measures to prevent dust will include the following practices.

- i. The provision of easily cleaned hard standing for vehicles.
- ii. The enclosure of material stockpiles at all times and damping down of dusty materials using water sprays during dry weather.
- iii. Drilling and excavation surfaces to be wetted, where appropriate.
- iv. Debris piles to be kept watered or sheeted as necessary.
- v. The hard surfacing of heavily-used areas which will be kept clean by brushing and water spraying regularly.
- vi. Control of cutting or grinding of materials on site.
- vii. The complete sheeting of the sides and top of all vehicles carrying spoil and other dusty materials.
- viii. Watering of unpaved surfaces and roads.
- ix. Limit vehicle speeds to 20 kph near the construction site.
- x. Wheel washing of vehicles leaving the construction site to minimise there- suspension of dust due to construction traffic.

Vascroft Contractors Ltd and subcontractors will monitor the level of dust pollution initially by visual means as it is considered that the majority of works to be undertaken on site will not create high levels of dust.

If regular visual checks for dust pollution detect high levels of dust arising from the works Vascroft Contractors Ltd will employ Dustscan Ltd to carry out dust monitoring during these operations.

Where dust generating works (*e.g.* excavation, demolition) are undertaken close to buildings such that there is soiling of windows and ledges with dust the Contractors will clean those windows and ledges as necessary – and at least weekly - during periods of dust generating work and on completion of works. Access for cleaning works will be from scaffold towers .ladders or cherry pickers .The Contractor will take precautions to prevent the emission of smoke or fumes from construction vehicles, site plant and stored materials volatile substances. Vehicles and plant will be well maintained and measures will be taken to ensure that engines and motors are not left running for long periods when not in use.

The engines of all parked vehicles or vehicles waiting to enter any work area will be switched off within two minutes of arrival.

Work compounds will be laid out so that accesses and loading areas are located as far away from sensitive neighbours as practicably possible and so that temporary structures screen noisy areas where practicable.

There will be no burning of waste on site.

The Contractor will comply with the provisions of the Environment Act, the Clean Air Act and the Health and Safety at Work. The Contractor will comply with the Control of Substances Hazardous to Health Regulations (COSHH). The Contractor will comply with Health and Safety Executive (HSE) Guidance Notes and Occupational Exposure Limits.

The Contractor will take precautions to prevent the occurrence of smoke emissions or fumes from site plant or stored fuel oils. Plant will be well maintained and measures will be taken to ensure that it is not left running for long periods when not in use.

The Contractor will ensure that bitumen is not overheated, pots and tanks containing bitumen will be covered, spillages will be minimised and where possible, bitumen will not be heated with open flame burners.

TREE PROTECTIO

There are no trees on site ,however there are few trees located on the other side boundary at the rear of the site which have branches overhanging inside the site and these branches may need to be trimmed/lopped during the piling and construction works. .A full survey of all trees and hedges on the boundaries of the site will be carried out prior to construction works starting to establish any protection measures required, and to establish if any protection orders are existing.

Vascroft Contractors Ltd have carried out works on properties where protected trees are located very close to the construction works and successfully carried out the works without causing any harm to the roots and/or trunks and branches.

Before any construction work is started protective barriers consisting of scaffolding and shuttering boards will be erected around any affected trees at radiuses directed by the specialist and local authority/conservation officer. Notices 'Tree Protection Zone' will be erected on the protection hoarding. These will be of high visibility and all weather material.

The protection system will remain in place and will be regularly inspected and maintained for the duration of the construction works.

Site manager and other supervisors will be inducted on this Arboricultural requirement to protect the trees and all sub contractors will be made aware of these restrictions at tender stage and on their first arrival on site.

CONTAMINATED SOIL REMOVAL

Soil report provided with the tender documents states that the soil is not contaminated although the site has been developed before therefore Vascroft Contractors Ltd are not too concerned with this aspect of the works.

However the removal and disposal of contaminated soil if any discovered will be carried out and disposed at appropriate licensed waste transfer station by a licensed sub contractor to the current Environment, Health & Safety Acts and Regulations. All the appropriate documents will be obtained from the sub contractor and passed on to the Project CDM Coordinator for his approval before carrying out any work.

The asbestos survey report confirms that following the demolition works there is no asbestos material on site, if found the site manager will ensure that all the works associated with the asbestos and contaminated soil is carried out strictly in accordance with current Health & Safety Rules and Regulations.

The site manager will obtain consignment and disposal notes from the sub contractor and forward them to the Contractor Administer, CA, for the Health and Safety File. Copies of these documents will be kept in the file kept in the site office and the Head Office.

ASBESTOS REMOVAL

The asbestos survey and report carried out by Matrix environmental confirms that any asbestos in the existing building has been removed by the demolition contractor prior to the demolition of the existing buildings and further asbestos containing materials are not identified in the tender documents so Vascroft Contractors Ltd is not too concerned with asbestos removal.

However Vascroft Contractors Ltd has worked on a number of projects where asbestos removal was part of the contract and therefore has good knowledge of current regulations and has good relationship with licensed sub contractors who deal with safe removal and disposal of materials containing asbestos.

The removal and disposal of asbestos and contaminated soil (if any discovered during site survey/clearance/stripping out works) will be carried out by a licensed sub contractor to the current Health & Safety Rules and Regulations. All the appropriate documents will be obtained from the sub contractor and passed on to the CDM Coordinator for his approval before carrying out any work.

The site manager will ensure that all the works associated with the asbestos is carried out strictly in accordance with current Health & Safety Rules and Regulations.

The site manager will obtain consignment and disposal notes from the sub contractor and forward them to the CDM Coordinator for the Health and Safety File. Copies of these documents will be kept in the file kept in the site office and the Head Office.

DEMOLITION / SITE CLEARING

Demolition and site clearing of the existing building elements has already been carried out by experienced specialist licensed demolition contractor.

Any minor demolition required for structural alteration works will be carried out by specialist contractors or competent operatives and supervised by Vascroft Contractor's operatives who are experienced in this type of work.

Job specific Method Statement and programme of work detailing the methods to be used, plant, safe system of work, special requirements for dealing with health hazards, precautions and sequence of work, etc will be produced and offered to both CDM Coordinator and engineer for approval/comments.

Demolition of any load bearing element will only be carried out after appropriate propping/retention work has been carried out to the engineer's requirement and approval. Design and installation of temporary works will be offered to the engineer for approval prior to proceeding with the works and after installation is complete before any demolition is carried out.

This method Statement and programme will be issued to the CDM Coordinator and engineer for approval and approved copy will be issued to site manager/supervisor responsible for the work on site.

Site supervisor will ensure that the work is carried out in accordance with the relevant standards.

Appropriate scaffold will be erected around the building at appropriate stages for access to carry out the works. This will be fully debris netted / monarflex adjacent the public access areas. Handrails and edge protections will be erected where required in accordance with Working at Height regulations.

Permit to Work system will be operational on site and permission would not be given to carry out any demolition of structural element until site manager is satisfied that the temporary support work has been satisfactorily carried out.

M & E will be removed with the aid of abrasive wheels in safe accessible areas but the removal of existing services in fire risk areas will be carried out by dismantling wherever possible. If it is not possible to dismantle then it will be cut using hand held nibbler machines so that fire causing sparks are not produced.

Temporary propping up of floors will be carried out from below as and when required to carry out any structural alteration works.

Demolition will be carried out from top working down and the scaffold will be adapted/struck to suit the progress of the works.

Site supervisors will ensure that continuous damping down is carried out to minimise nuisance caused by dust.

WASTE MANAGEMENT

Vascroft Contractors have been very conscious of controlling waste on sites and have signed up with the Environmental Policy because of its concern for the quality of environment and therefore Vascroft Contractors Ltd tries to minimise environmental pollution resulting from our activities and also try to influence others wherever possible.

Demolition waste is crushed and reused as hardcore on the same site if required or else taken to other sites.

Timber/ply off-cuts are used as noggins for electrical and mechanical fittings or other accessories.

Examples of materials usually recycled are bricks, blocks, roof tiles and slates, structural steel, timber floors, doors, joinery, Sanitaryware etc. Some of these items are reused for the setting up of site accommodation. Timber is processed in our joinery and converted into joinery for fixing on sites.

On sites where storage space is limited the removed materials are taken to our storage depot and transported back to the site for use when required.

Vascroft contractors Ltd will closely work the client's design team in setting a requirement for good practice WMM and outline relevant communication.

Vascroft Contractors Ltd project manager will identify key opportunities for Waste Minimisation in conjunction with the design team at design and works procurement stages to develop and implement waste minimisation strategies and practices. Waste reduction opportunities for the project will be outlined.

Development of the Site Waste Management Plan (SWMP) will include appointment of a person or 'Waste Champion' to take responsibility for the SWMP, identify waste arisings and disposal routes through a pre-build waste audit and forecasting and prioritising waste production.

Packages Tender and contractual requirements for good practice will be requirements for good practice WMM that the contractor may be required to meet at the key stages of procurement (pre-qualification, tender and contract clauses) are outlined.

Outline how to set targets and Key Performance Indicators (KPIs) for waste recovery based on standard industry KPIs or internally established targets where WMM has been embedded into the organisation.

Outline & allocate typical waste management responsibilities for the main contractor, subcontractors and waste management contractor and provide comprehensive model contract clauses.

Identify waste arisings, reuse and recycling routes: include preparing waste management action plans, forecasting total waste costs and undertaking a site clearance waste audit once construction has finished.

Developing site design and training: include actions required for the effective segregation of waste on site and training site labour.

The key considerations Monitoring and Reporting Waste Management performance include recording waste data and then comparing it with the quantities forecasted prior to construction.

Review performance of the SWMP and lessons learnt during construction and at the end of the project and embed lessons learnt within company practices and procedures.

Site managers are required to work out accurate quantities of materials to minimise waste. Leftover materials are stored either on site or offsite as practical for use for snagging.

Materials surplus to requirement due to design changes are taken to our other sites or storage yard for use on other projects at later date.

Whenever possible local materials are sourced to cut down on transport and packaging.

UNDERPINNING

Underpinning works required in the front wall of the Barkat House prior to the piling works will either be carried out by a specialist subcontractor or by Vascroft Contractor operatives who are trained and experienced to carry out this type of works.

Before any under pinning work commences all the operatives will be inducted and instructed about the sequence of under pinning works and the safe method of carrying out the works.

The site managements will carry out survey of any existing services present in the vicinity of the under pinning works and will ensure that they are made safe before commencing any underpinning works.

Datums will be marked on the walls to be underpinned to enable measurement of the depths to ensure that the excavations do not exceed the intended depths.

Underpinning will be carried out in blocks not exceeding specified lengths at a time and that either at least 2 bay lengths of undisturbed ground remains on either side or that there is at least one completed section of dry packed underpinning on either side of the excavation. At no time should more than 25% of the length of any wall be left undisturbed.

Spoil will be cleared away as it is brought out of the excavations. Excavations will be kept clean and dry. When the excavation is at right depth approval will be obtained from Engineer and Building Control Officer before concreting the section.

The concrete will be allowed to cure for at least 24 hours before dry packing. Dry packing between underpinning concrete and soffits of existing footing will be carried out with 1:3 (cement: coarse sharp sand) gauged mortar with only sufficient water to thoroughly moisten it, using (hard) wooden ram to hammer the mortar hard, in strips not exceeding 75 mm deep into gap working symmetrically from the rear towards the face so as to completely fill all space between underpinning concrete and existing footing / stage 1 underpinning.

Dry-pack will be left to cure for minimum 48 hours before starting any adjacent excavations.

Underpinning will be carried out in the approved sequence. All soil and loose concrete, etc will be removed from adjacent completed pins to form a good key between the two pins. Joggle joints will be created between adjacent underpinning sequences or dowel/starter bars inserted as required.

General jacking/Monitoring operating procedures:

System Overview

A specialist contractor(to be appointed) will install their jacking system along any walls where required and at the same time the monitoring system is installed as below.

Detailed, drawings of jacking systems and proposals will be produced and approved prior to works commencing as at this stage the precise requirements cannot be identified pending further investigation works on site

The specialist are to install a system to detect and quantify any structural movement on existing retained wall during underpinning work and the construction of a basement.

It is understood that the primary requirement is to monitor vertical settlement, although the detection of relative horizontal lateral displacement (leaning) of the wall may also be of interest.

Monitoring System

Specialist contractor will install a monitoring system based upon the installation of electronic instrumentation to measure vertical settlement along a linear array of 1 - 2m beams spanning the wall of interest.

The sensors will be connected into a self-contained monitoring system, with remote communications for data retrieval and SMS alarm generation via GSM modem (subject to signal strength)

The monitoring system will comprise the following 3 key elements:

Vertical Movement Monitoring (settlement)

Horizontal movement monitoring (leaning)

Monitoring and Alarm System

Positioning

Exact locations, beam lengths and number of sensors are yet to be confirmed.

Two arrangements of the sensors will be used. One arrangement will be used to measure the vertical movement along the length of the wall, another arrangement will be used to measure the lateral movement (leaning) of the wall.

Vertical Movement

The relative vertical movements will be monitored using an array of beam-tilt sensors.

The sensors will be mounted onto a metal beam, pinned onto the wall using studs.

The sensors will effectively measure the relative vertical movement of one end of the beam to the other in units of mm.

One end of the array will be assumed to be at a fixed point. The tilt recorded by the sensors (in mm/m) will then be converted into mm movement over the length of the beam.

By integrating across multiple beam sensors, it will be possible to quantify relative vertical movements along the entire array relative to one end.

Lateral Movement

The lateral (leaning) movement of the wall will be monitored using identical sensors, configured to measure relative lateral (out-of-plane) movement between the top and bottom of each beam sensor.

PROTECTION TO EXISTING BUILDING ELEMENTS

Following appointment, Vascroft Contractors Ltd would commence the schedule of Condition Survey and identify those specific areas of the existing buildings which are to remain, together with those requiring general and specific protection.

Once identified, protection would be designed to suit the particular surfaces, but in general terms Vascroft Contractors Ltd prefer to use timber and plywood sheeting to box in particular items in a permanent secure manner.

Continual monitoring and vigilance by Vascroft Contractors Ltd site management ensures that protection remains in place and if this should become damaged is repaired immediately.

Appropriate weather protection will be provided at roof level and to the elevations to ensure that water penetration does not occur during the construction phase.

All scaffold tubes will be fitted with protective caps where they abut the building, and where ever possible monitoring of the erection of scaffolding will take place to prevent tubes from touching the building unless absolutely necessary.

Operatives on site will be appraised of the need to protect elements of the existing building and of any specific areas requiring special attention.

Where listed elements of the building exist works will be undertaken under close supervision by Vascroft Contractors Ltd Site Management to ensure damage does not arise.

PROGRAMME

POSSESSION AND COMPLETION DATES

The site possession date adopted is Monday ,TBC, as discussed at the meeting for site set up so that the piling works could start immediately and it is envisaged that **80** calendar weeks will be required to complete the works. Thus completion will be achieved on TBA. This is based on the suggested method and sequence of construction by Project Structural Engineer.

Packages and package procurement schedules and information required schedules will be prepared and agreed with the project team at an early juncture and regularly monitored to ensure that procurement and information is acquired at or before scheduled time.

PROGRAMME

We have included within this section our proposed preliminary programme of works to comply with the requirements of the tender documents.

Methods and sequences are based upon the information available at the time of tender submission and dictated by the restrictions imposed by the site location, working times and design.

Where information is only available on a general basis, without details, with particular reference to P.C. and provisional sums, assumptions have been made on the sequence and duration of the operations.

PROGRAMMING AND ORGANISATION OF WORK

Vascroft Contractors Ltd will consult the specialist package contractors early and discuss and agree if any part of the package works could be carried out earlier than programmed so that other remaining parts of the works on critical path could be completed with ease.

Vascroft Contractors Ltd have produced a critical path, network analysis and subsequently from the network produced a bar chart programme which is attached to this plan (see appendix)

Should any variance occur on the bar charts they can be incorporated back into the network to ascertain the effects upon the stage and final completion dates and thereby allows early action to be taken to minimise or mitigate the problems. Progress of the works will be monitored regularly on a percentage done basis complete with a Sub-Contractors' status report.

The information available has been analysed and considered in detail and the program is based upon the most economical and efficient working methods and resource level to achieve completion in **80** weeks including holidays. The piling, underpinning and excavation / ground works are to be carried out during the winter period and are the most critical operations and therefore great consideration will be given to these operations during preparation of detailed construction programme.

QUALITY AND SITE CONTROL

GENERAL

Quality control on site is implemented by a continual monitoring by experienced personnel relevant to each trade. As and when necessary, expert advice is sought from and inspection on site is undertaken by external professionals to the company.

The subcontract works packages will contain a selection relating to quality control to ensure that all Sub Contractors are aware of the quality required and allow for this within their tenders.

Where any works are found to be substandard these are immediately rectified to ensure that the initial quality requirements are maintained throughout the works.

Materials will be purchased according to the required specification and the delivery dates and Vascroft Contractors Ltd Management staff will monitor quality of these.

Vascroft Contractors Ltd Site Management will carry out their own inspections of completed areas of work and snag and de-snag works prior to them being offered for handover.

Sample panels and sample unit will be completed and approved by all concerned early and will be used to set the standard of the remaining works and apartments.

Quality Control Checklists for each activity are used during the construction works to ensure that the works are being carried out to specifications and manufacturers recommendations. Any deviations discovered are rectified before the work is allowed to progress further.

QUALITY STANDARDS / CONTROL

SUPERVISION

Competent trade supervisors will ensure that quality and progress of works under their control is maintained in addition to the constant management and supervision of the works provided by the person in charge of the site.

Majority of Vascroft Contractors site management staff have appropriate knowledge and experience of general mechanical and electrical engineering services to ensure compatibility between engineering and the rest of the works. They are assisted by visiting M & E services coordinator to ensure that the works are carried out to relevant regulations and specifications.

On large projects Vascroft Contractors Ltd employ dedicated specialist M&E Coordinators to supervise the services installations.

DOCUMENTATION

Where and to the extent that products or work are not fully documented, they will be of a kind and standard appropriate to the nature and character of that part of the works where they will be used. Suitable for the purposes stipulated in the project documents.

WORKMANSHIP

Operatives will be appropriately skilled and experienced for the type and quality of work. Where required the operatives will be registered with Construction Skills Certification Scheme or manufacturer's own training programme. Operatives' evidence of skills / qualifications will be available for inspection on request.

PRODUCT QUALITY

New products will be used unless recycled products are specified on the project or the product has to match existing in a listed building.

Each type of product will be procured from the same source or manufacturer.

Whole quantity of each product required to complete the works will be from the same source to maintain consistency in kind, size, quality and overall appearance of the finished product.

Where tolerances are critical sufficient quantity will be measured to determine compliance. Products will be ordered in sufficient quantities suit programme and for use in appropriate sequence to prevent deterioration due to unsuitable storage.

EXECUTION

Products will be fixed, applied, installed or laid securely, accurately, plumb, neatly and in alignment. Same colour batches will be used where they can be seen together.

On-site dimensions will be checked and any discrepancy will be reported to the architect.

Finished work will not be defective, e.g. not damaged, disfigured, dirty, faulty, or out of tolerance. Joints open to view will be adjusted so they are even and regular.

COMPLIANCE

Copies of consignment notes will be retained on site as evidence that the proprietary product specified has been supplied.

When required tests will be carried out and reports will be produced as evidence that the products comply with performance specification. Test reports will include properties tested, pass/ fail criteria, test methods and procedures, test results, identity of testing agency, test dates and times, identities of witnesses and analysis of results.

INSPECTIONS

Inspection or any other action by architect or engineer will not be taken as approval unless expressly confirmed as approved.

RELATED WORK

All trade and specialist subcontractor will be provided with all necessary details of related types of work. Before starting each new type or section of work it will be ensured that the previous related work is appropriately complete, in accordance with the project documents, to approved standard and in a suitable condition to receive the new work.

Person in charge will ensure that all necessary preparatory work has been carried out before

allowing proceeding with the next stage.

MANUFACTURERS RECOMMENDATIONS/ INSTRUCTIONS

Person in charge will ensure that all current manufacturer's printed recommendations and instructions have been complied with.

Details of any changes to recommendations or instructions will be submitted before proceeding with the works.

Only ancillary products and accessories supplied or recommended by main product manufacturer will be used.

Any limitations, recommendations and requirements for Agrément certified products noted in the relevant certificates will be complied with.

SAMPLES / APPROVALS

SAMPLES

Products or applications will comply with all other specification requirements and in respect of the stated or implied characteristics either to an express approval or to match a sample expressly approved as a standard for the purpose.

APPROVAL OF PRODUCTS

Submissions of samples for approval, inspections and tests will be undertaken or arranged to suit the programme of works. Samples will not be concealed until characteristics of the sample have been approved. Orders will not be confirmed until samples have been approved.

Approved sample will be retained on site in good, clean condition will only be removed when it is no longer required.

Details of methods and equipment to be used in setting out the of the works will be agreed in advance.

Levels and dimensions and will be checked and results recorded on a copy of drawings retained on site. Relevant consultant will be notified of any discrepancies and instructions obtained before proceeding further.

APPEARANCE AND FIT

Surveys will be carried out early and any critical tolerances and dimensions difficult to achieve will be notified to the architect. Wherever possible proposals will be submitted for approval by the architect or CA. Tolerances will be to relevant British Standard.

Critical dimensions will be set out and works constructed to ensure compliance with the tolerances stated in the Standards.

SETTING OUT

By including within the Site Management team fully qualified engineers of all disciplines it is expected that the Principal Contractor would take full responsibility for the accuracy of setting out from appropriate datums identified by the designers.

A condition of any sub contract package relate to accuracy of setting out and quality of workmanship through continual site monitoring by appropriately trained Management staff, the quality of the specification will be maintained.

SECURITY

During the sub contract works the individual contractors will retain responsibility for the security of their plant and equipment however the overall security of the site will remain the responsibility for the Main Contractor.

Security positions will be established to prevent unauthorised access and egress to the site and the site and working areas will be secured by suitable hoarding/fencing and regularly checked.

A general foreman from the Management team on site will be given the responsibility for ensuring these checks are made.

The site and the set up will be remotely monitored by a security company outside the normal site working hours. In the latter stages of the project, as finishes are progressing and equipment is installed on site, a static security guard will be engaged to protect finished areas of the site outside normal working hours.

MANAGEMENT STRUCTURE

Vascroft Contractors Ltd will employ one senior site manager and one assistant site manager with previous experience on similar type of projects in Central London who will manage overall works for the duration of the project and separate coordinator whom will supervise/manage deliveries and movement of materials. They will be assisted by specialist sub contractor or trade supervisors when specialist trade works are carried out.

The structure of the Management and Supervision at site level is described in the method statement and pricing documentation for the management fee.

Organogram representing the management structure for the project, together with their CV s will be forwarded to the Employer Agent, EA, before starting work on site.

C D M

Vascroft Contractors Ltd will comply with all the regulations concerning health and safety of all the operatives and visitors to site.

A resident operative knowledgeable in Health & Safety will deal with general site safety matters. All visitors to the site including the Employers Personnel would be required to sign in and out at the site entrance prior to entering any parts of the site.

All operatives and visitors to the site would be required to wear appropriate safety equipment dependant on the areas of site they are visiting. Suitable signage would be installed on site and all

visitors would be required to comply with Vascroft Contractors Ltd rules and requirements relating to safety on site.

The method statements and site rules would form an integral part of the sub contract packages and the relevant safety policies and statements together with necessary method statement would be obtained from all contractors working on the project.

In view of the deep excavations are to be carried out, it may be necessary to restrict access to these areas during the construction phase, and access to these areas will only be permitted if accompanied by Vascroft Contractors Ltd site management.

Particular precautions will be taken and the relevant package contractors asked to prepare detailed method statements and risk assessments for carrying out the following tasks:

- Deep excavations.
- Top Down construction and excavation below structures.
- Delivery and waste removal from site from red routed road.
- Handling and installation of formwork panels, pcc units.
- Lifting, manoeuvring and storing of heavy items such as mechanical plant, pods etc.
- Installation of temporary props.
- Transporting of materials through restricted routes.

Strict permit to work and Hot Work Permit system will be in operation throughout the duration of the project.

SERVICES INSTALLATION CO-ORDINATION

Installation and co-ordination of engineering services is monitored progressively through the works by Vascroft Contractors Ltd site management and Mechanical/Electrical co-ordinator /designer.

Regular progress meetings are held with the services contractors to monitor progress and the procurement of materials and information necessary to execute the works successfully.

The monitoring of the works on site are undertaken by Vascroft Contractors Ltd Management and as appropriate at key stages of the installation, test certificates are obtained to ensure accuracy and quality of work.

The services contractors are encouraged to identify at an early stage the builders work requirements to enable their installations to progress, to ensure that this work is undertaken in good time to achieve the required programme.

At an early juncture key items of plant to be installed are identified and problems associated with lifting and siting plant are fully addressed and course of action acceptable to all parties are agreed.

The services contractors are encouraged to produce procurement schedules to enable these to be monitored on a regular basis together with the detailed programmes.

LIAISON WITH FIRE AND BUILDING CONTROL OFFICERS

Vascroft Contractors Ltd execute the majority of their works in the Greater London area and have great experience of dealing with Fire Officers and Building Control Officers, and involve all people who have an interest in the project at an early stage to identify any specific requirements.

Vascroft Contractors Ltd has a policy of open communication, which enhances a good working relationship with all inspecting authorities and statutory authorities.

DESIGN CO-ORDINATION

The scope of the progress control task covers all aspects of the project. This includes

- Client decision making
- Design by the professional team
- Design by the Sub Contractors
- Procurement
- Off-site manufacture and production
- Site works
- Statutory works
- Statutory approvals
- User interface
- Project close out
- Latent defects rectification

Vascroft Contractors Ltd will set up a structured reporting and review process to ensure that progress on all the above items are consistently and comprehensively considered and reported upon including confirmation of the appropriate corrective action.

During the early stages of the project we would expect to hold fortnightly Design Team meetings. These would cover all aspects of design.

Vascroft Contractors Ltd would also expect to convene Design Team meetings as necessary (every 2 weeks) to discuss topical and urgent design matters.

As the project progresses and all sub contract works have been let we would expect the design meetings to only be held monthly.

At the Design Meetings we discuss both design and procurement matters. Separate procurement meetings would also be arranged to discuss specific issues.

We would hold weekly meetings with all sub contractors attending but separate sub contractor meetings would also be arranged on an ad hoc basis. We would expect Architect's meetings to primarily discuss and review project wide issues and is an overview meeting attended by senior representatives of each organisation.

APPENDICES

1. COMPANY POLICY STATEMENT FOR HEALTH, SAFETY AND WELFARE
2. MANAGEMENT OF HEALTH & SAFETY
3. CDM REGULATION
4. PRELIMINARY CONSTRUCTION PROGRAMME
5. SITE & SURROUNDING PHOTOGRAPHS
6. ENVIRONMENT POLICY & SITE ENVIRONMENT INFORMATION (DUST, NOISE, VIBRATION & WATER)



APPENDIX 1

COMPANY POLICY STATEMENT FOR HEALTH, SAFETY AND WELFARE



**COMPANY STATEMENT FOR HEALTH, SAFETY AND WELFARE
February 2014**

Bravo Hostel and Retail Units Construction

AT

120 FINCHLEY ROAD, LONDON NW3 5JB

It is Vascroft Contractors Ltd's intention that its work will be carried out in accordance with the relevant statutory provisions and all reasonably practical measures taken to avoid risk to its employees or others that may be affected.

Management and Supervisory Staff have the responsibility for implementing this policy throughout the Company and must ensure that Health & Safety considerations are always given priority in planning and day-to-day supervision of work.

All employees and sub-contractors are expected to co-operate with the Company in carrying out this policy and must ensure that their own work, so far as is reasonably practicable, is carried out without risk to themselves or others.

The Board of Directors has appointed the Contracts Director Mr S. K. Vekaria as having particular responsibility for Health, Safety and Welfare and to whom reference should be made in the event of any difficulty arising in the implementation of this Policy. Mr B K Vekria will co-ordinate the Health & Safety matters between the site, head office and Vascroft Contractor's Safety Supervisors.

The Management and Staff of the Company will monitor the operation of this Policy. To assist them in this respect, the Company has appointed LOGIC SHE, as Safety Supervisors to visit all sites and workplaces and give advice on the requirements of the relevant statutory provisions and safety matters generally.

This Statement of Company Policy will be displayed prominently will also be available at each site and workplace for reference by any employee as required.



APPENDIX 2

MANAGEMENT OF HEALTH & SAFETY

MANAGEMENT OF HEALTH & SAFETY

The Construction Management Team generally undertakes the Management of Health & Safety and the requirements of the Vascroft Contractors Ltd Safety Policy document and Safety Plan for individual contracts are adhered to rigidly.

A copy of our Health and Safety policy is kept on every site.

A consulting safety company is retained on a permanent basis to carry out regular inspections and monitoring of all Vascroft Contractors Ltd sites and to produce reports for the directors of the company following site inspections.

The consulting Safety Company provides regular up dates of changes in legislation and suggestions for the implementation of further training and instruction as necessary.

Where complicated areas of works are encountered, detailed programming and method statements are produced by the Construction Management to ensure that at all times a safe system of work is used.



APPENDIX 3

CDM REGULATION

CONSTRUCTION DESIGN MANAGEMENT REGULATIONS 2007

Construction Phase Health & Safety plans are developed by the Construction management team together with Health & Safety Coordinator to the requirements of the Construction Design Management Regulations 2007, CDM. No work is undertaken until such time as the Safety Plan has received the approval of the project CDM Coordinator. The Safety Plan will be distributed to operatives and works contractors as required by the regulations and a copy kept on site in a place accessible to all.

Whenever any changes are made to the method and sequence of operations the Health & Safety Plan is reviewed and updated, identifying any significant changes from any assessments or foreseen or identified hazards.

Safety audits are carried out at least once every two weeks by either site safety representative, Vascroft Contractor's Health & Safety Co-ordinator based in head office or by appointed Safety Supervisors, MSM Group, depending on the size and complexity of the project. Copies of these safety audits are forwarded to the project team with the general progress reports.

Prior to the appointment of a Works Contractor, a pre-order meeting will discuss and agree a safe method of working and obtain whatever safety documents are required from the relevant contractor.

As previously stated an outside Consulting Safety Company and the Construction Management team at Vascroft Contractors Ltd undertakes the monitoring and implementation and compliance of Health & Safety legislation.

The Contracts Director of the company has overall responsibility for Health and Safety in accordance with the company's Safety Policy and these responsibilities are passed down through Construction Management to Site Management as appropriate.

Statutory inspections and the completion of testing and certification is undertaken in accordance with the requirements of the existing Health and Safety legislation

Plant owned by Vascroft Contractors Ltd is serviced and maintained in accordance with current regulations by directly employed operatives at Vascroft Contractors Ltd premises. Vascroft Contractors Ltd considers Health and Safety to be of paramount importance and insist that all directly employed operatives and sub contractors comply with the requirements of Health and Safety Law. Initial meetings address these requirements prior to the placing of orders and as appropriate written undertakings are obtained where specific problems are identified.

Vascroft Contractors Ltd ensure that sub contractors provide the documents required under the existing Health and Safety requirements, and Site Management rigorously enforces these requirements.

Through regular monitoring by the Consulting Safety Company all levels of management within Vascroft Contractors Ltd are appraised of any problems to enable remedial action to be taken.

It is the policy of Vascroft Contractors Ltd to dismiss any operative or refuse access to the site by a sub contractor should safety requirements not be adhered to.

It is the policy of Vascroft Contractors Ltd to provide protective clothing and equipment to Vascroft Contractors operatives and visitors as required by Safety legislation.

Where specific training is required under existing Health and safety legislation, this is provided normally on site by the Consulting Safety Company or an alternative appropriate scheme. Safety refresher courses are held on a regular basis at Vascroft Contractors Ltd head office to ensure that all site managers and personnel in a supervisory capacity are appraised of the requirements for Health and Safety, and any new developments. Where these courses identify the need for specific training for particular operatives or employees, appropriate courses are arranged to ensure that all employees receive adequate training.

All sites are provided with the Company Safety Policy document, and the Company Standard COSH files and assessments.

All registers and safety notices are maintained on site as required by existing legislation.

The following are methods used to ensure co-operation of other contractors or other persons engaged directly by the employer on site under the jurisdiction of the main contractor:

- Emergency arrangements and procedures
- Use and shared use of work equipment
- Co-ordination and planning of site activities including phasing so that they do not create hazards for each other.
- Ensuring other contractors receive relevant information to ensure Health and Safety compliance within a project.
- Ensuring safe and compliant methods of working are adopted to comply with Health and Safety legislation.

Prior to placing orders with any other contractors on any site, a detailed interview is held to ensure that contractors have made adequate allowance within their tenders for safety matters and are appropriately qualified to undertake the specific work. The sub-contractors Safety Policy and Method Statements are obtained to ensure that from a safety point of view the contractor fully appreciates the complexity of the works to be undertaken. At the initial interview emergency procedures, the use of shared welfare facilities Co-ordination and planning of site activities and the agreement to safe methods of working are addressed.

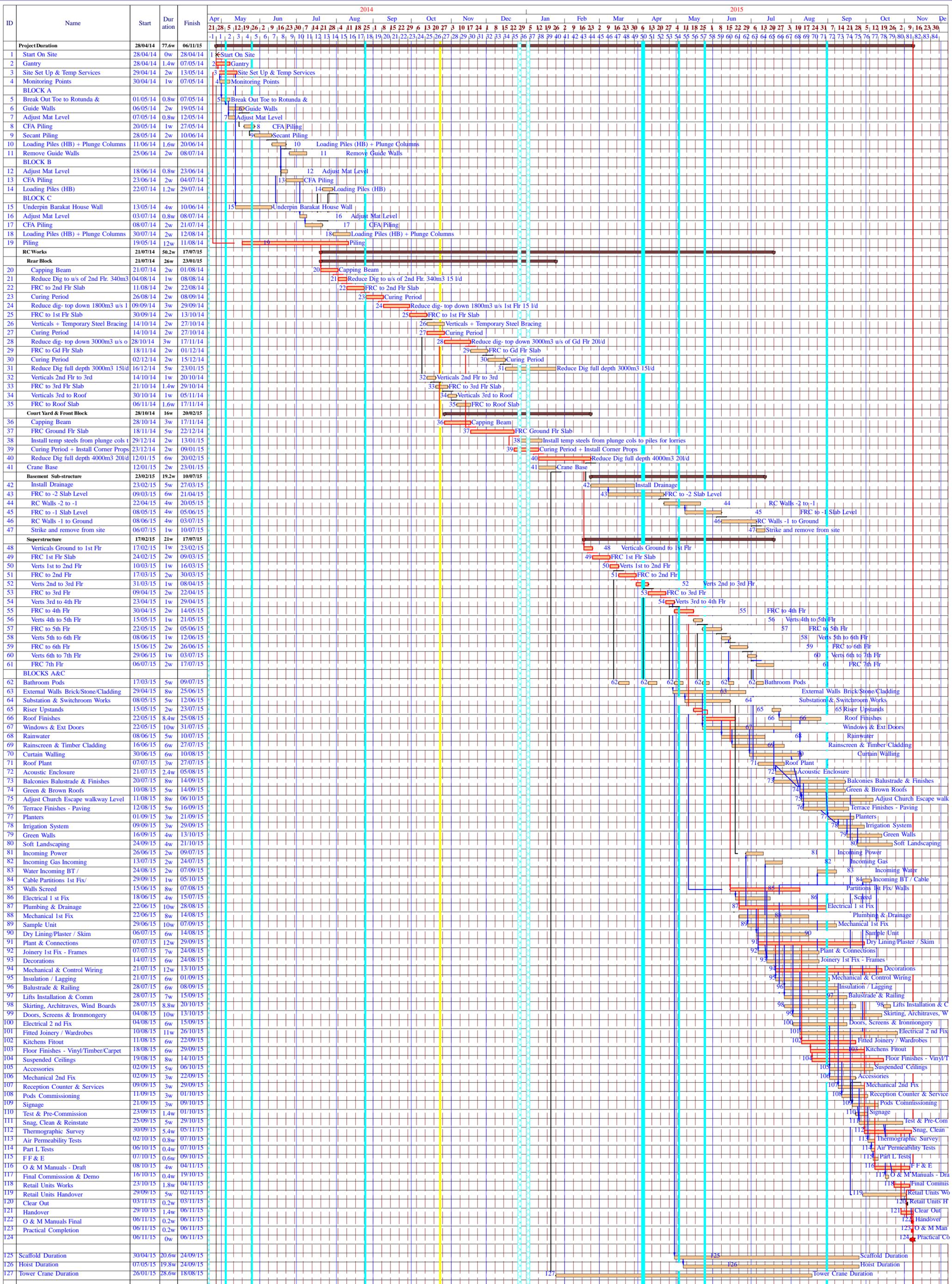
Regular sub contractor meetings are held on all Vascroft Contractors Ltd sites to monitor progress and address safety matters.

The visits to site by the Consulting Safety Company also encompass the works being undertaken by sub contractors and reports are issued to the management of the company as appropriate.



APPENDIX 4

PRELIMINARY CONSTRUCTION PROGRAMME



APPENDIX 5

SITE GENERAL & SURROUNDING PHOTOGRAPHS



Fig 1 Front Elevation of 120 Finchley Road with Barkat House to RHS & Holy Trinity Church To LHS.



Fig 2.0 – Existing crossover at existing site entrance from carriageway, at 120 Finchley Road (A41).



Fig 3- Exit of alley serving Holy Trinity Church adjacent to site boundary and beyond existing site hoarding



Fig 4- Existing party wall along alleyway serving Holy Trinity Church with Alban House visible in the rear.



Fig 5 – Entrance to alley way serving Holy Trinity Church with temporary separation by Heras fencing.



Fig 6 – Existing alley way and balustrading serving Holy Trinity Church.



Fig 7 Existing party wall line with Barkat House and the Rotunda Building with temporary separation in place using Heras fencing as seen from site entrance.



Fig 8– Existing tiled external elevation of Barkat House as seen from site border with Holy Trinity Church.

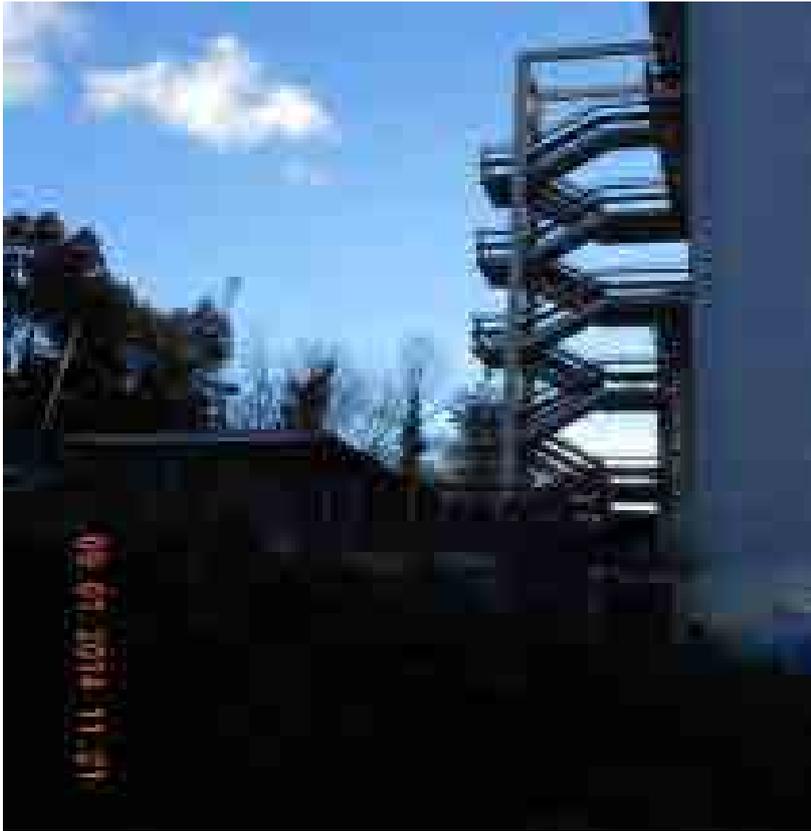


Fig 9 – Side elevation of external staircase serving Barkat House as seen from side of site bordering Holy Trinity Church.



Fig 10 - Loading Bay adjacent to site on Finchley Road, displaying the Red Route restriction sign

APPENDIX 6

ENVIRONMENT POLICY &

SITE ENVIRONMENT INFORMATION

(DUST, NOISE, VIBRATION & WATER)



Vascroft
Contractors Ltd

Environmental Policy

Vascroft provides a comprehensive design and build service to commercial and public sector clients across London and the South East. Our Company's concern for quality extends to the environment. It is therefore our policy to minimise environmental pollution resulting from our activities and, where possible by our influence over others. Vascroft commits itself to UK Environmental Legislation Act 1990/1995, further adhering to implement the ISO 14001:2004 Environment Management System to enhance environmental performance with the following core objectives and commitments in place to:

- **Meet or exceed** all legal and contractual requirements relating to the environment.
- **Promote** the conservation and sustainable use of natural resources by encouraging resource efficiency amongst our staff and, where possible, procure products responsibly that have a lesser environmental impact.
- **Source** our timber according to government timber procurement policy
- **Reduce, Reuse, Recycle** our waste wherever possible. We employ waste management experts to manage waste from sites, hence reduce waste going to landfill. Further timber, metal, bricks and aggregate are reused at sites. We also recycle office paper, waste electrical and electronics equipment, and its accessories.
- **Minimise** smoke, dust, noise, and vibration nuisance. The potential risk of these will be identified during individual site assessments.
- **Prevent** pollution of watercourses by taking appropriate measures such as blocking off drains, bunding storage areas and providing spill kits.
- **Encourage** the integration of environmental considerations into business planning and decisions, including design, procurement, production, and facilities management support.
- **Expect** similar environment standards from all our suppliers and contractors.

We regularly review our objectives and act wherever necessary in order to meet our commitments and continually improve our environmental performance.

This policy statement is communicated to all staff, contractors and is available to the public on request through our website.

Signed by

Date: 10th January 2014

MITESH VEKARIA

Managing Director, Vascroft Contractors Ltd.

NOISE AND VIBRATION	Issue:
	Date:

WHAT?

The Construction Industry is one of the leading sources of noise complaints made to Local Authorities.

Something is considered 'noisy' when the sound is unwanted by the listener. Noise and vibration emissions can disturb local residents and give rise to complaints and delays.

Noisy activities include: excavation, tunnelling, concrete cutting, piling, using un-silenced generators and concrete pours.

WHY?

- 🕒 **To act as a good neighbour:** avoid complaints and maintain good relations with the local community
- 🕒 **To avoid programme delay:** The Local Authority have the power to stop works if noise from the site is causing a nuisance
- 🕒 **To avoid fines:** Failing to meet noise constraints can result in fines.
- 🕒 **To avoid structural damage:** vibration may cause structural damage
- 🕒 **To comply with contractual requirements**
- 🕒 **To prevent harm to wildlife:** Noise can disturb wildlife as well as humans

DO	DON'T
<ul style="list-style-type: none"> ✔ If possible, restrict noisy activities to certain times of the day ✔ Adhere to working hours. Some sites are only consented to work at certain times ✔ Plan deliveries. Arrange routes and times to minimise potential nuisance to the local community ✔ If possible, keep noisy plant away from public areas ✔ Minimise drop heights into hoppers, lorries and other plant ✔ Use local screening where necessary. Noise can be reduced if a screen is placed between plant and nearby sensitive locations eg. houses. Screens can be straw bales or ply board ✔ Use silenced generators and tower lights where necessary ✔ Keep acoustic doors and hoods on plant closed – it does make a difference! ✔ Contact your Manager if you are in doubt about noisy activities 	<ul style="list-style-type: none"> ✘ DON'T undertake noisy works during the evening, at night or very early in the morning if it can be avoided ✘ DON'T leave doors and hoods open on plant ✘ DON'T leave plant running unnecessarily ✘ DON'T use poorly maintained plant ✘ DON'T ignore complaints from the local community ✘ DON'T undertake activities that could cause damage to structures through vibration unless approved by your line manager

SPILL CONTROL	Issue:
	Date:

<p>WHAT?</p> <p>Accidental releases of oils and chemicals from construction sites make up a large number of pollution incidents that occur each year.</p> <p>Many spillages can be prevented. It is important that everyone on site knows how to control a spill to minimise its impact.</p> <p>Would you know what to do?</p>	
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<p>WHY?</p> <ul style="list-style-type: none"> ☑ Minimise potential harm: Spills spread very quickly and lead to environmental harm. ☑ Avoid prosecution: Fines and clean-up costs can be expensive ☑ Public relations: Avoid negative publicity for the company and our clients and maintain
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<p>DO</p> <ul style="list-style-type: none"> ✔ Stop work immediately ✔ If spillage is flammable, extinguish all possible ignitions ✔ Identify the source of pollution and rectify the problem Contain the spillage – on land use earth/sand to construct bund around the spill to stop it spreading. Use booms to contain spill that already have entered a water course ✔ Contact your Manager ✔ Put on appropriate PPE – typically rubber gloves ✔ Protect sensitive areas (e.g. watercourses or surface water drains- use drain covers or use earth/sand to construct a bund). ✔ Clean up spill. Use absorbent granules/pads to mop up spills. Large pools of oil or spills which cannot be absorbed should be removed by gulper ✔ Dispose of all contaminated materials (soil/absorbent materials) correctly – those containing substances such as diesel or paint will be hazardous waste. Ensure that any contaminated water is taken to an appropriate licensed disposal site. ✔ Notify your Manager of actions taken. 	<p>DONT</p> <ul style="list-style-type: none"> ✘ DON'T ignore it! STOP WORK and immediately. ✘ DON'T hide the incident – ensure you report it and implement measures ✘ DON'T ever hose a spill into the drainage system. Always use absorbent material
	

DUST & AIR QUALITY	Issue:
	Date:

WHAT?

Dust, emissions and odours can annoy neighbours and may cause health risks at very high concentrations.

WHY?

- ☑ **Avoid nuisance to neighbours:** Dust can settle on neighbours' properties and give rise to local dispute. Poorly controlled emissions and odours from plant or works may give rise to valid complaints.
- ☑ **Avoid programme delays:** The Local Authority has the power to stop works if dust is causing a nuisance. Emission of dark smoke from plant and fires is illegal.
- ☑ **Avoid health problems:** Dust may cause eye irritation or make asthma worse
- ☑ **Avoid impact on ecology:** Dust can damage the ecology of a watercourse and affect plant growth, including crops

DO	DON'T
<ul style="list-style-type: none"> ✔ Keep surfaces swept and damp down with water at regular intervals ✔ Minimise drop heights into haulage vehicles and into conveyors ✔ Ensure cutting and grinding operations are adequately shielded or wetted ✔ Sheet lorries carrying dry materials off site ✔ Sheet skips placed in site area ✔ Keep to site speed limits to minimise dust generation ✔ Use the wheel wash, for appropriate vehicles, if one is provided on site ✔ Store fine, dry materials within buildings or provide adequate protection from the wind ✔ Store bulk cement and bentonite in silos ✔ Position silos and stockpiles away from residential areas or watercourses. ✔ Clean up or damp down any spillage of dry dusty materials ✔ Notify your Line Manager if work activities are causing poor air quality. 	<ul style="list-style-type: none"> ✘ DON'T burn materials on site without approval from your Project Manager. Permission is required first from the Environment Agency. ✘ DON'T use poorly maintained plant. Black smoke may give rise to poor health and can cause a nuisance ✘ DON'T leave plant running if not in use ;DON'T ignore complaints

Water Pollution (Cement and Concrete)	Issue:
	Date:

<p>WHAT?</p> <p>Cement and concrete are probably the most common materials used in construction.</p> <p>Cement is a highly alkaline material and is corrosive. If cement or concrete is allowed to enter a watercourse in an uncontrolled manner it can have a devastating impact on wildlife.</p>	
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<p>WHY</p> <p>☒ Avoid environmental harm: Water contaminated with cement is highly alkaline and can be toxic to fish, plants and animals living in watercourses. Cement particles entering a watercourse can clog fishes' gills and also destroy their spawning grounds.</p> <p>☒ Avoid prosecution: It is illegal to allow cement, unset concrete or washout water containing cement to enter a watercourse or drain. (Special permission is needed before construction work can take place in a watercourse).</p>
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<p>DO</p> <ul style="list-style-type: none"> ✔ Identify all watercourses, gullies and drains prior to commencing work ✔ Store bulk and bagged cement and concrete additives at least 10 metres away from watercourses, gullies and drains ✔ Undertake mixing/batching works well away from watercourses and drains. ✔ Use only designated areas for concrete washout where necessary protect nearby drains against washout water running into them. ✔ NOTIFY your manager IMMEDIATELY if you see any concrete spillages or concrete washout likely to cause pollution. 	<p>DONT</p> <ul style="list-style-type: none"> ✘ DON'T hose down spills of concrete or cement into surface water drains. ✘ DON'T allow washout water to flow into any watercourse or drain. ✘ DON'T allow ready-mix trucks to washout anywhere other than in areas designated for the purpose. ✘ DON'T wash off any tools or plant in watercourses
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APPENDIX 7

GANTRY AND HOARDING LICENCES

Board Notice

24 hour Emergency Contact:
Streets Customer Services - 0845 305 1234

London Streets



Reference: TFL06147

Pursuant to the Highways Act 1980, a Hoarding Licence at A41, 120 Finchley Road is granted to:

Raj Vekria	861 Coronation Road Park Royal London NW10 7PT
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Upon the following conditions:

The outside hoarding from the standards which sits 450mm from the kerb at low level are to have boxed standards only, not fully enclosed standards across the front.

Hoarding and scaffold to be erected and removed between 10:00 and 16:00.

This consent is also subject to conditions as enclosed.

Limit of structure

The structure shall not exceed the dimensions below:

Street in which structure is required	Length	Height	Projection over public highway from back line of public footpath
A41, 120 Finchley Road	18m	2.4m	

MAYOR OF LONDON



Hoarding Licence No: TFL06147

Transport for London hereby grants to:

Raj Vekria

Of Vascroft Contractors Ltd

(The "licence") to erect and maintain hoarding over the highway known as:

A41, 120 Finchley Road

Subject to the following terms:

1. No Hoarding shall stand before 10/03/2014
2. No Hoarding shall remain after 19/05/2014
3. No Hoarding shall be erected by virtue of this licence except in the position specified in the licence application.
4. Vascroft Contractors Ltd hereby agrees to comply with the attached Conditions for Hoarding Licences.
5. Transport for London reserves the right to revoke this licence, by written notice to the licensee, in the event of any breach of the Terms and Conditions.

Signed on behalf of and with the authority of Transport for London:

A handwritten signature in black ink, appearing to read 'Tim Pope', with a horizontal line underneath.

Tim Pope

Technical Support Manager

Transport for London

Date: 10/03/2014

24 hour Emergency Contact: Streets Customer Services - 0845 305 1234

Board Notice

24 hour Emergency Contact:
Streets Customer Services - 0845 305 1234



Reference: TFL06146

Pursuant to the Highways Act 1980, a Scaffold Licence at A41, 120 Finchley Road is granted to:

Raj Vekria	861 Coronation Road Park Royal London NW107PT
------------	--

Upon the following conditions:

The outside hoarding from the standards which sits 450mm from the kerb at low level are to have boxed standards only, not fully enclosed standards across the front.

Hoarding and scaffold to be erected and removed between 10:00 and 16:00.

This consent is also subject to conditions as enclosed.

Limit of structure

The structure shall not exceed the dimensions below:

Street in which structure is required	Length	Height	Projection over public highway from back line of public footpath
A41, 120 Finchley Road	18m	9m	





Scaffold Licence No: TFL06146

Transport for London hereby grants to:

Raj Vekria

Of Vascroft Contractors Ltd

(The "licence") to erect and maintain scaffolding over the highway known as:

A41, 120 Finchley Road

Subject to the following terms:

1. No Scaffolding shall stand before 10/03/2014.
2. No Scaffolding shall remain after 19/05/2014.
3. No Scaffolding shall be erected by virtue of this licence except in the position specified in the licence application.
4. Vascroft Contractors Ltd hereby agrees to comply with the attached Conditions for Scaffold Licences.
5. Transport for London reserves the right to revoke this licence, by written notice to the licensee, in the event of any breach of the Terms and Conditions.

Signed on behalf of and with the authority of Transport for London:

Tim Pope

Technical Support Manager

Transport for London

Date: 10/03/2014

24 hour Emergency Contact: Streets Customer Services - 0845 305 1234



ADDENDUM 1

Liaison with TFL



Email Trail 1

From: [Raj Vekria](#)
To: [Mandy Sihra](#)
Subject: FW: 120 Finchley Road-Permitted Loadings
Date: 01 April 2014 15:31:07
Attachments: [120 Finchley Road Site Boundary.pdf](#)
[image001.jpg](#)
[8083_201_rev_C_Perimeter Wall Sections 1_1 & 2_2 Sheet 2 o.pdf](#)
[Proposed Tower Crane Location.pdf](#)
Importance: High

Kind regards,

Raj Vekria - Assistant Project Manager
For and on behalf of Vascroft Contractors Limited
T: 02089633400
F: 02089633401
W: www.vascroft.com

Vascroft Estate 861 Coronation Road Park Royal London NW10 7PT

From: Raj Vekria
Sent: 25 March 2014 09:45
To: 'paullevett@tube.tfl.gov.uk'
Cc: Hogan Jonathan; Pak-Lim Wong; Mike Webster; Ramesh Varsani
Subject: RE: 120 Finchley Road-Permitted Loadings
Importance: High

Dear Paul

Further to our telephone conversation with Shahina and subsequent conversation with yourself please see indicative details of the proposed location of our tower crane at the above for which we would like to enquire of permitted loadings of mobile crane with regards to the close proximity of the tunnels serving Finchley Road station.

For the erection of the tower crane the mobile crane will access our site however for dismantling purposed it would be required to be located on the carriageway.

Your assistance in this matter would be very much appreciated. We await your valued reply.

Kind regards,

Raj Vekria - Assistant Project Manager
For and on behalf of Vascroft Contractors Limited
T: 02089633400
F: 02089633401
W: www.vascroft.com

Vascroft Estate 861 Coronation Road Park Royal London NW10 7PT

From: Mackay Timothy (ST) [<mailto:Timothy.Mackay@tfl.gov.uk>]
Sent: 25 March 2014 09:11
To: Raj Vekria
Cc: Hogan Jonathan; Pak-Lim Wong; Mike Webster; Ramesh Varsani
Subject: RE: 120 Finchley Road-Permitted Loadings

Good morning Raj,

Unfortunately, this is not information I have direct access to, although I am aware that the tunnels (and part of the station structure) are located directly below the carriageway and footway of Finchley Road at this location.

I would advise you to contact Shahina Inayathusein, Information Manager within the LUL Infrastructure Protection Team for advice. Contact details are as follows: 020 7918 0016, or email locationenquiries@tube.tfl.gov.uk

Best wishes,

Timothy Mackay
Senior Regional Planner (Camden)
Capital Development
Central Area Team, Road Space Management

Transport for London, 8th Floor Palestra, 197 Blackfriars Road, Southwark, London SE1 8NJ
E: Timothy.Mackay@tfl.gov.uk | T: 020 3054 2194 | Int: 82194



Visit www.tfl.gov.uk/yearofthebus for information about Year of the Bus.

From: Raj Vekria [<mailto:rajv@vascroft.com>]
Sent: 25 March 2014 08:42
To: Mackay Timothy (ST)
Cc: Hogan Jonathan; Pak-Lim Wong; Mike Webster; Ramesh Varsani
Subject: 120 Finchley Road-Permitted Loadings
Importance: High

Timothy

We understand Jonathan and Pak-Lim are on annual leave, would you possibly be able to assist in advising permitted vehicular loadings outside of 120 Finchley Road given the proximity of the underground tunnels?

Kind regards,

Raj Vekria - Assistant Project Manager
For and on behalf of Vascroft Contractors Limited
T: 02089633400
F: 02089633401
W: www.vascroft.com

Vascroft Estate 861 Coronation Road Park Royal London NW10 7PT

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