

GROUND FLOOR PLAN - BOOKING OFFICE - AS EXISTING

This drawing is Copyright © of GVA Grimley Limited.

Do not scale this drawing.

All dimensions to be checked on site. Drawing to be read in conjunction with any specifications, schedules and Consultants drawings and details.

Rev	Revision Details	By	Chk'd	Date
...

Billfinger Real Estate
an

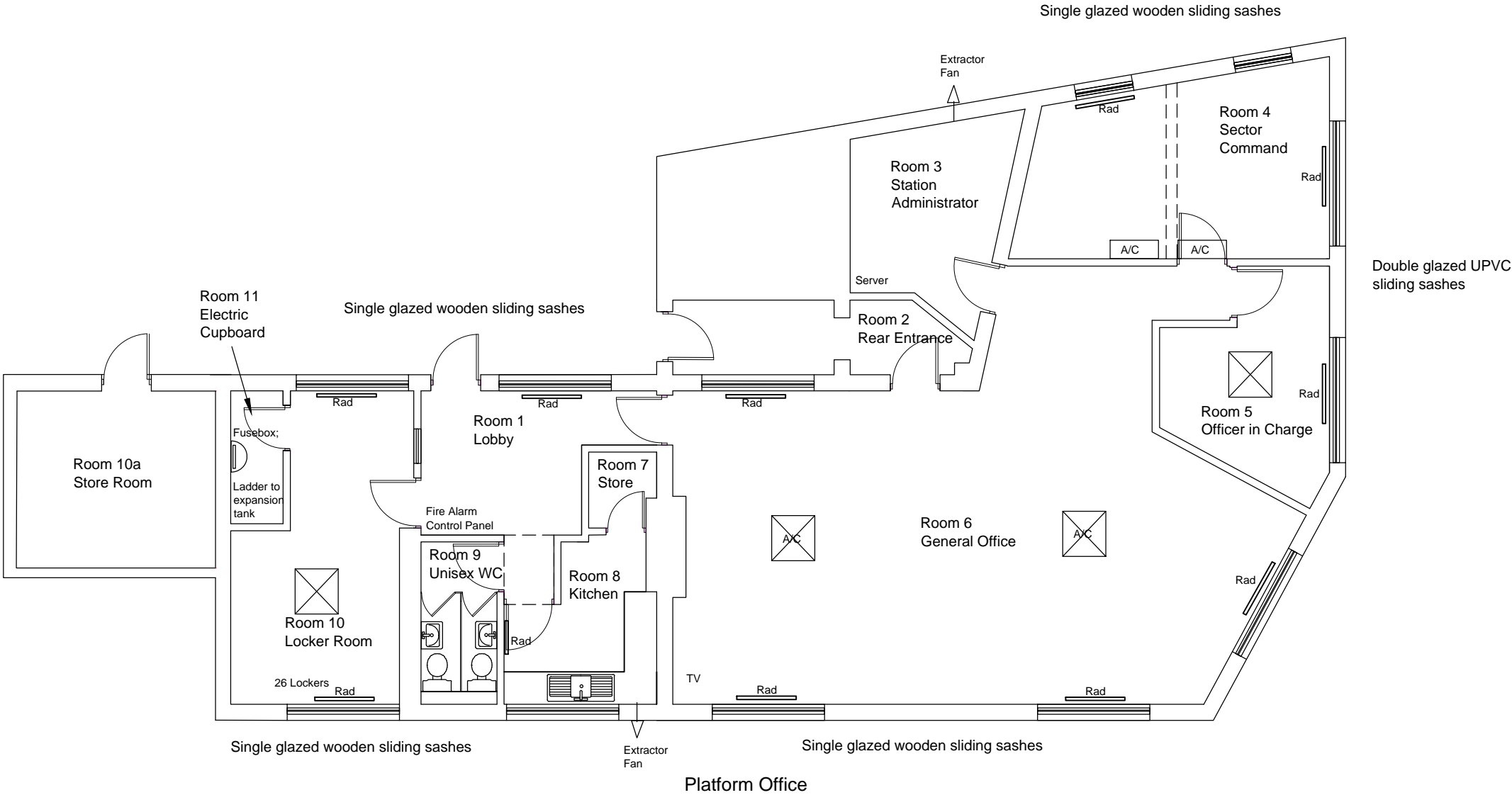


08449 02 03 04
10 Stratton Street, London, W1J 8JR
www.gva.co.uk

Project Name Camden Road Station BTP Office	Scale @ A3 1:50	Drawn RV	Checked AT	Date November 2014
Client BTP	Project No. 02B456224	Drawing No. E-01	Rev.	
Drawing Title GROUND FLOOR PLAN - AS EXISTING				

This drawing is Copyright © of GVA Grimley Limited.

Do not scale this drawing.
All dimensions to be checked on site. Drawing to be read in conjunction with any specifications, schedules and Consultants drawings and details.



UPPER FLOOR PLAN - OFFICES AND ANCILLARY ACCOMMODATION - AS EXISTING



...
Rev	Revision Details	By	Chk'd	Date

Billfinger Real Estate

an

08449 02 03 04

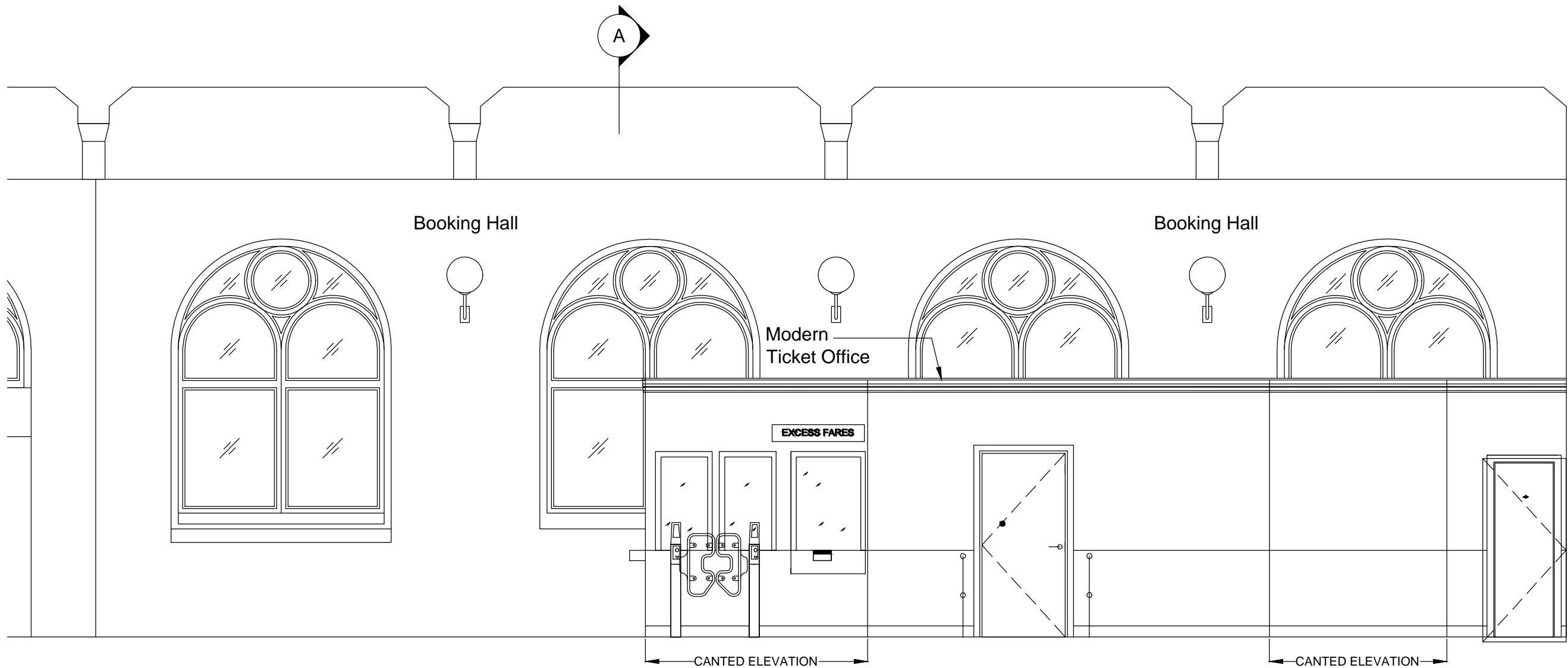
10 Stratton Street, London, W1J 8JR

www.gva.co.uk

GVA

Project Name Camden Road Station BTP Office	Scale @ A3 1:100	Drawn RV	Checked AT	Date November 2014
Client BTP	Project No. 02B456224	Drawing No. E-02	Rev. -	
Drawing Title PLAN UPPER FLOOR - AS EXISTING				

Information



SECTION THROUGH BOOKING HALL (STATION SIDE) LOOKING TOWARDS BOOKING OFFICE - AS EXISTING

This drawing is Copyright © of GVA Grimley Limited.

Do not scale this drawing.
All dimensions to be checked on site. Drawing to be read in conjunction with any specifications, schedules and Consultants drawings and details.

Rev	Revision Details	By	Chk'd	Date
...

Bilfinger Real Estate

an

08449 02 03 04

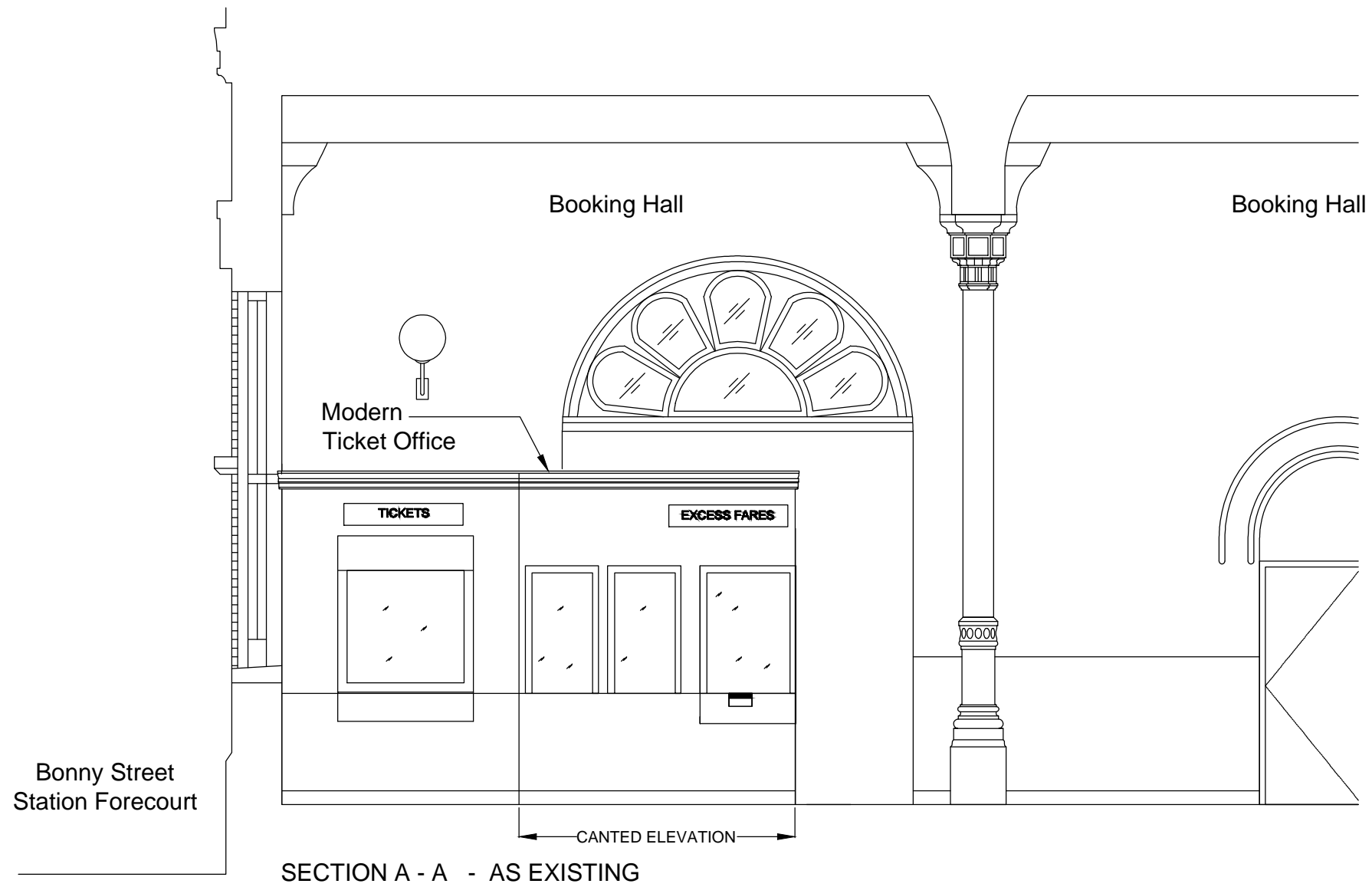
10 Stratton Street, London, W1J 8JR

www.gva.co.uk

GVA

Project Name Camden Road Station BTP Office	Scale @ A3 1:50	Drawn RV	Checked AT	Date November 2014
Client BTP	Project No. 02B456224	Drawing No. E-03	Rev. -	
Drawing Title SECTION THROUGH BOOKING HALL - AS EXISTING				

Information



This drawing is Copyright © of GVA Grimley Limited.

Do not scale this drawing.

All dimensions to be checked on site. Drawing to be read in conjunction with any specifications, schedules and Consultants drawings and details.

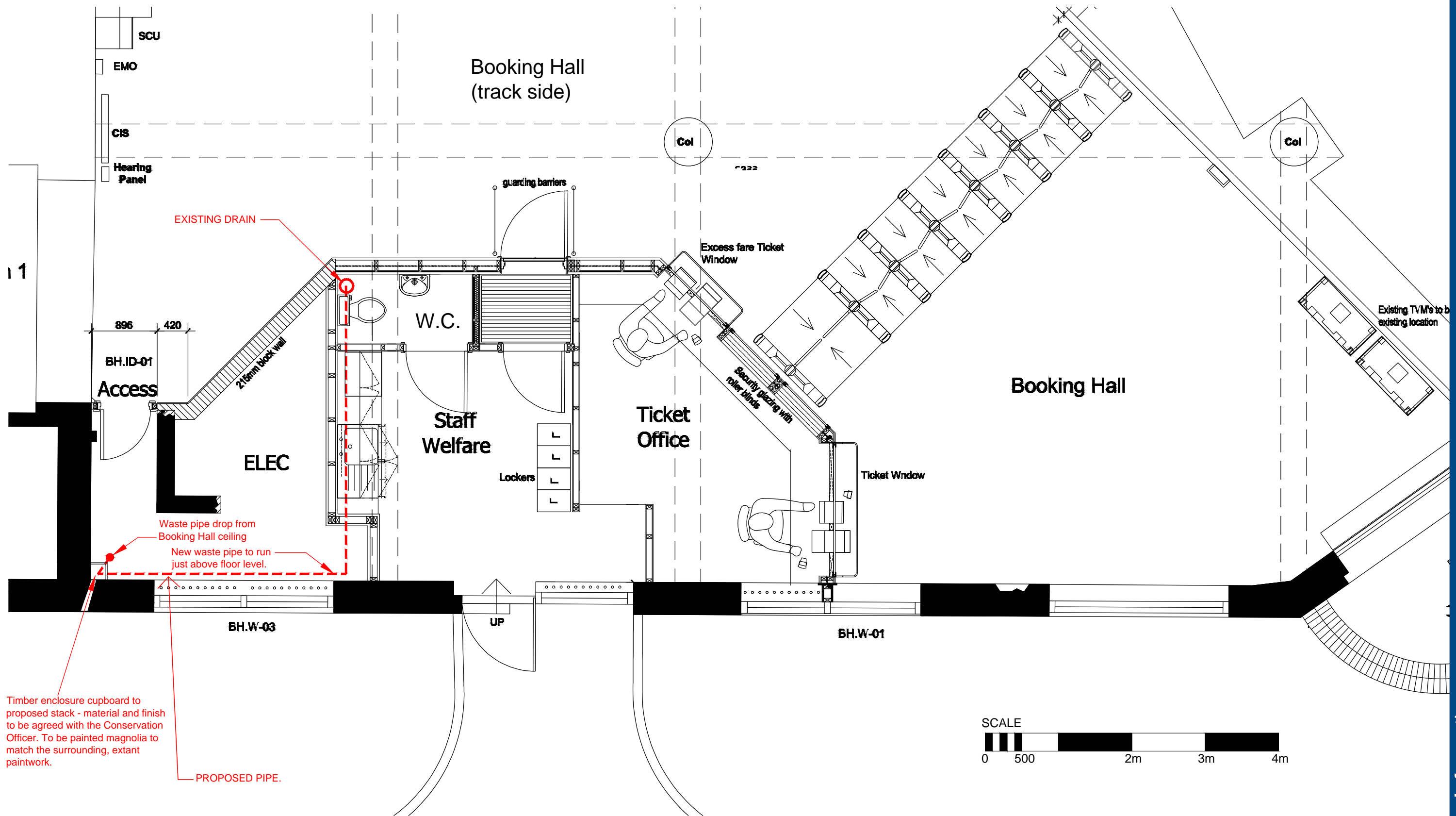
Rev	Revision Details	By	Chk'd	Date

Billfinger Real Estate
an



08449 02 03 04
10 Stratton Street, London, W1J 8JR
www.gva.co.uk

Project Name Camden Road Station BTP Office	Scale @ A3 1:50	Drawn RV	Checked AT	Date November 2014
Client BTP	Project No. 02B456224	Drawing No. E-04	Rev. -	
Drawing Title SECTION A-A THROUGH BOOKING HALL - AS EXISTING				



GROUND FLOOR PLAN - BOOKING OFFICE - PROPOSED WORK

This drawing is Copyright © of GVA Grimley Limited.

Do not scale this drawing.
All dimensions to be checked on site. Drawing to be read in conjunction with any specifications, schedules and Consultants drawings and details.

A	Note added re: proposed timber enclosure cupboard to new pipe.	RV	AT	26/01/15
Rev	Revision Details	By	Chk'd	Date

10 Stratton Street, London, W1J 8JR
www.gva.co.uk

08449 02 03 04

Project Name Camden Road Station BTP Office	Scale @ A3 1:50	Drawn RV	Checked AT	Date 26/01/2015
Client BTP	Project No. 02B456224	Drawing No. P-01	Rev. A	
Drawing Title GROUND FLOOR PLAN - PROPOSED WORKS				

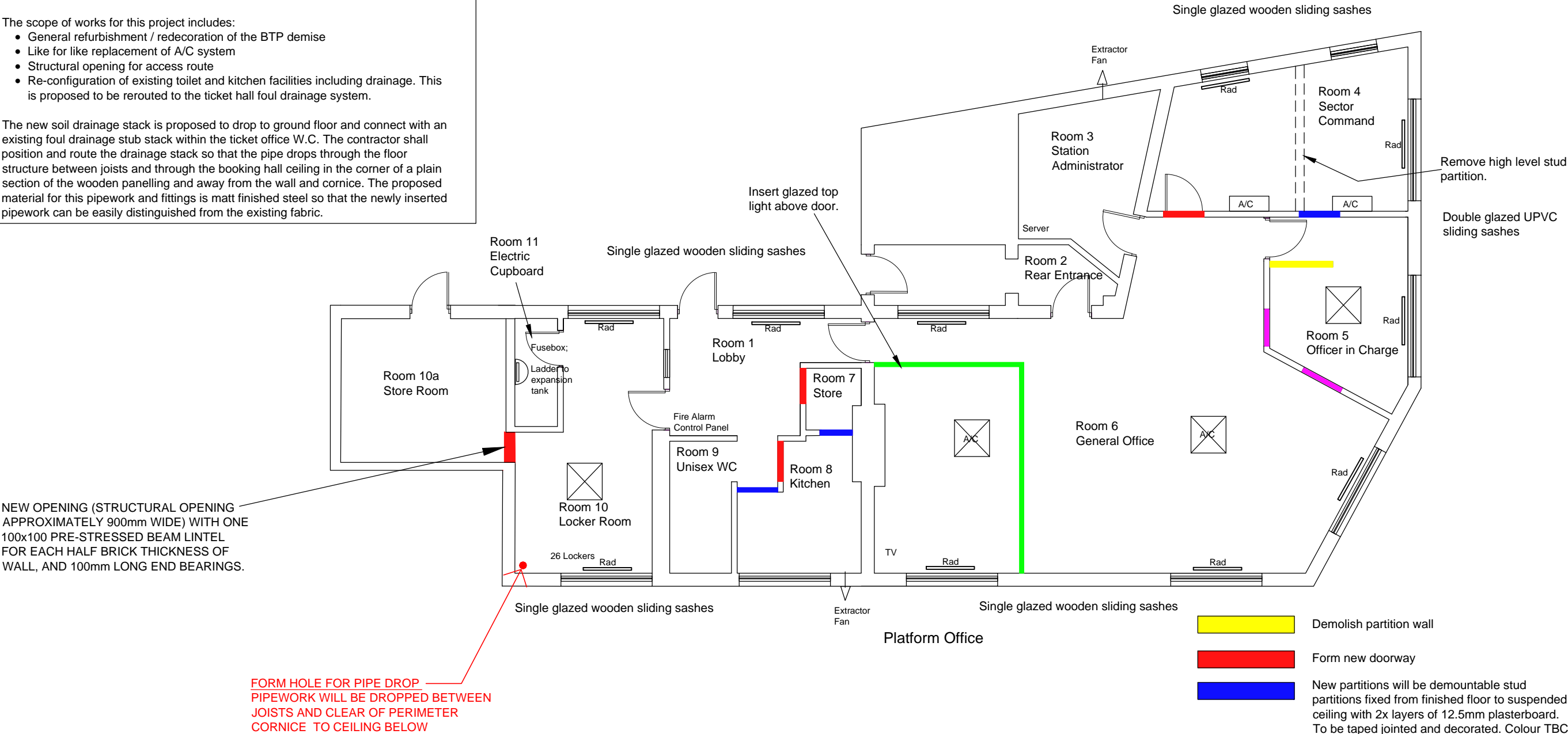
Scope of Work

The existing first floor accommodation includes offices, a locker room, two W.C.s with wash hand basins and kitchen. The drainage from these areas has failed. There are three macerator units pumping waste from the W.C.s and kitchen sink to a drainage stack on the station platform. It is likely this stack connects to the surface water system which is an unsatisfactory arrangement.

The scope of works for this project includes:

- General refurbishment / redecoration of the BTP demise
- Like for like replacement of A/C system
- Structural opening for access route
- Re-configuration of existing toilet and kitchen facilities including drainage. This is proposed to be rerouted to the ticket hall foul drainage system.

The new soil drainage stack is proposed to drop to ground floor and connect with an existing foul drainage stub stack within the ticket office W.C. The contractor shall position and route the drainage stack so that the pipe drops through the floor structure between joists and through the booking hall ceiling in the corner of a plain section of the wooden panelling and away from the wall and cornice. The proposed material for this pipework and fittings is matt finished steel so that the newly inserted pipework can be easily distinguished from the existing fabric.



UPPER FLOOR PLAN - OFFICES AND ANCILLARY ACCOMMODATION - PROPOSED ALTERATIONS



This drawing is Copyright © of GVA Grimley Limited.

Do not scale this drawing.

All dimensions to be checked on site. Drawing to be read in conjunction with any specifications, schedules and Consultants drawings and details.

A	New stud partitions noted as 'demountable', glazed fanlight added over Mess Room door, high level partition noted to be removed from Room 4.	RV	AT	26/01/15
Rev	Revision Details	By	Chk'd	Date

A Bilfinger Real Estate company

GVA

08449 02 03 04

10 Stratton Street, London, W1J 8JR

www.gva.co.uk

Project Name Camden Road Station BTP Office	Scale @ A3 1:100	Drawn RV	Checked AT	Date 23/01/2015
Client BTP	Project No. 02B456224	Drawing No. P-02	Rev. A	
Drawing Title PLAN UPPER FLOOR - PROPOSED ALTERATIONS				

Do not scale this drawing.
All dimensions to be checked on site. Drawing to be read in conjunction with any specifications, schedules and Consultants drawings and details.

Proposed Finishes, Fixtures and Fittings
(FS - Refer to 'Scope & Finishes' Schedule)

- Room 1** (Lobby) - FS 3, 4, 7, 8, 9
- Room 2** (Rear Entrance) - FS 3, 4, 7, 8, 9
- Room 3** (Station Administrator) - FS 3, 4, 7, 8, 9, 17, 18
- Room 4** (Sector Command) - FS 3, 4, 7, 8, 9, 17, 18
- Room 5** (Officer in Charge) - FS 3, 4, 7, 8, 9, 18, 20
- Room 6** (General Office) - FS 3, 4, 7, 8, 9, 17, 18
- Room 6a** (Mess Room) - FS 1, 4, 5, 7, 8, 9, 10, 11, 12, 18
- Room 7** (Shower Room) - FS 2, 4, 6, 7, 8, 9, 13, 14
- Room 8** (Male Toilets) - FS 1, 4, 5, 7, 8, 9, 15, 16
- Room 9** (Female Toilet) - FS 1, 4, 5, 7, 8, 9, 15, 16
- Room 10** (Locker Room) - FS 1, 4, 7, 8, 9, 18
- Room 10a** (Locker Room) - FS 1, 4, 7, 8, 9, 18

Also -
Ground floor Booking Hall - High level exposed pipe work - FS 19

Other Works

Lighting - Rooms 1-6 - new PIR-controlled LED luminaires
Rooms 7-10a - new manually switched LED luminaires

Doors - Repaint Dark Blue and fit new ironmongery

Blinds - Install window blinds throughout, colour RAL 5013 Blue

IT / Power - All to be replaced and moved to new positions

TV - Move to new position and install new aerial point

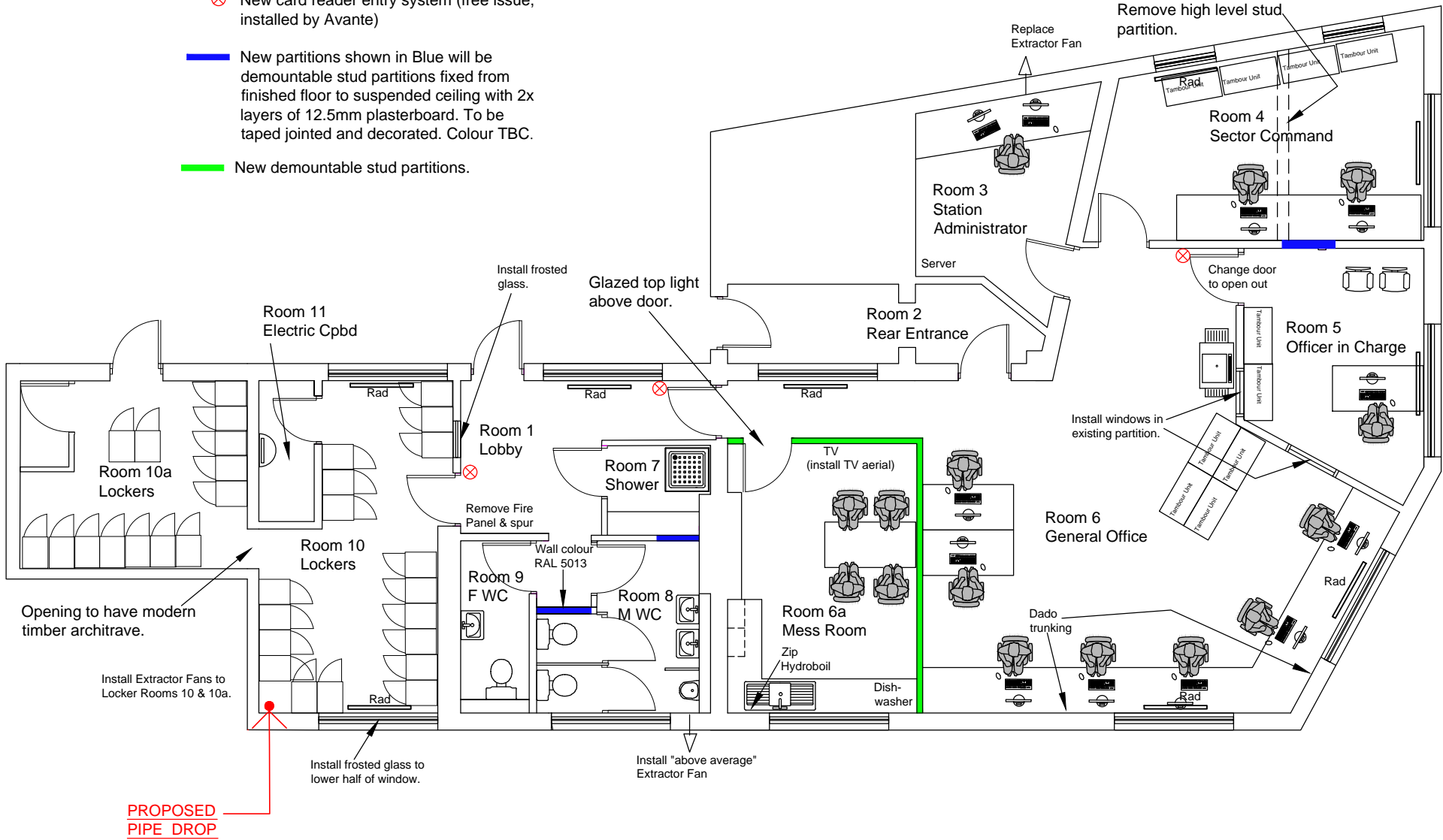
Heating Pipework - Room 6 - Case in existing heating pipework at low level for protection

Toilets - Replace hand dryers and install paper towel dispensers

⊗ New card reader entry system (free issue, installed by Avante)

■ New partitions shown in Blue will be demountable stud partitions fixed from finished floor to suspended ceiling with 2x layers of 12.5mm plasterboard. To be taped jointed and decorated. Colour TBC.

■ New demountable stud partitions.



UPPER FLOOR PLAN - OFFICES AND ANCILLARY ACCOMMODATION

A Modern architrave noted to Locker Room opening, new stud partitions noted as 'demountable', high level partition noted to be removed from Room 4.

Rev	Revision Details	By	Chk'd	Date
-----	------------------	----	-------	------

A Bilfinger Real Estate company
GVA
08449 02 03 04
10 Stratton Street, London, W1J 8JR
www.gva.co.uk

Project Name Camden Road Station BTP Office	Scale @ A3 1:100	Drawn RV	Checked AT	Date 26/01/2015
Client BTP	Project No. 02B456224	Drawing No. P-03	Rev. A	
Drawing Title PLAN UPPER FLOOR - PROPOSED LAYOUT				

Within the Booking Hall at Ground floor level, the Contractor shall allow for the use of matt finished steel pipe sections and fittings for the vertical section passing from First floor to low level Ground floor so that the newly inserted pipework can be easily distinguished from the existing fabric.

DROP FROM ABOVE AND SET BACK TO WALL BEHIND EXISTING ELECTRICAL SERVICES.
NB: PIPE TO BE DROPPED THROUGH CEILING CLEAR OF PERIMETER CORNICE.

DROP WITHIN LOCKER ROOM

Precise height to be agreed with the Conservation Officer. Timber enclosure cupboard as currently proposed to start 300mm below the cornice.

Timber enclosure cupboard to proposed stack - material and finish to be agreed with Conservation Officer. To be painted magnolia to match the surrounding, extant paintwork.

Drainage pipework installed to 1:80 falls.

Pipework turned to run horizontally, see plan for route.

Point of existing soil drainage connection in existing W.C.

SECTION THROUGH BOOKING HALL (STATION SIDE) LOOKING TOWARDS BOOKING OFFICE

This drawing is Copyright © of GVA Grimley Limited.

Do not scale this drawing.
All dimensions to be checked on site. Drawing to be read in conjunction with any specifications, schedules and Consultants drawings and details.

A	Proposed timber enclosure cupboard to new pipe and note added.	RV	AT	26/01/15
Rev	Revision Details	By	Chk'd	Date

A Bilfinger Real Estate company



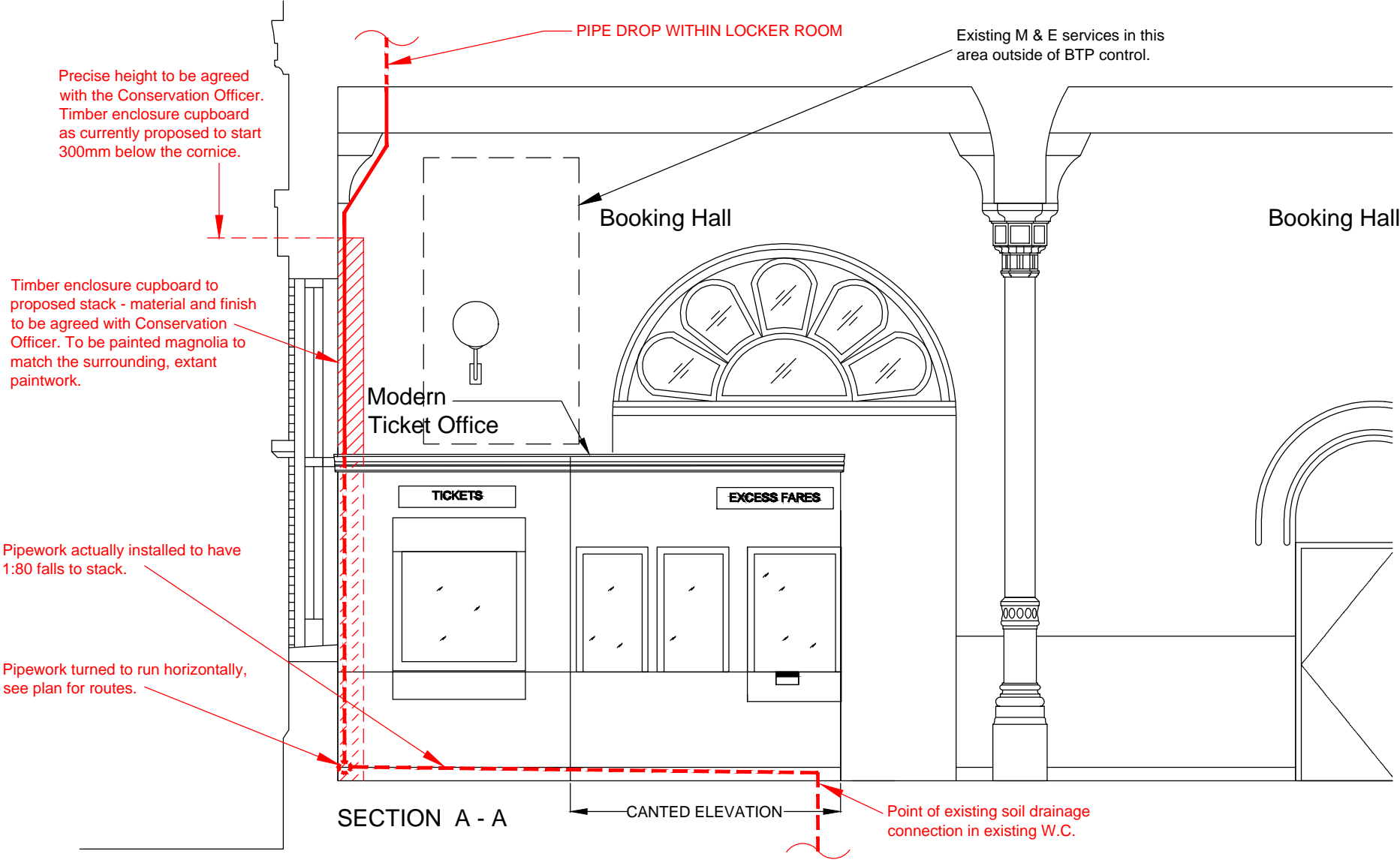
08449 02 03 04

10 Stratton Street, London, W1J 8JR

www.gva.co.uk

Project Name	Camden Road Station BTP Office	Scale @ A3	1:50	Drawn	RV	Checked	AT	Date	26/01/2015
Client								Project No.	
BTP								02B456224	
Drawing Title								Drawing No.	Rev.
SECTION THROUGH BOOKING HALL - PROPOSED WORKS								P-04	A

Within the Booking Hall at Ground floor level, the Contractor shall allow for the use of matt finished steel pipe sections and fittings for the vertical section passing from First floor to low level Ground floor so that the newly inserted pipework can be easily distinguished from the existing fabric.



This drawing is Copyright © of GVA Grimley Limited.

Do not scale this drawing.
All dimensions to be checked on site. Drawing to be read in conjunction with any specifications, schedules and Consultants drawings and details.

A	Proposed timber enclosure cupboard to new pipe and note added. Existing M & E services outside of BTP control indicated.	RV	AK	26/01/15
Rev	Revision Details	By	Chk'd	Date

A Bilfinger Real Estate company

08449 02 03 04
10 Stratton Street, London, W1J 8JR
www.gva.co.uk

Project Name Camden Road Station BTP Office	Scale @ A3 1:50	Drawn RV	Checked AT	Date 26/01/2015
Client BTP	Project No. 02B456224	Drawing No. P-05	Rev. A	
Drawing Title SECTION A-A THROUGH BOOKING HALL - PROPOSED WORKS				