

The Old Dairy, WC1

**Structural Engineering notes
describing the proposed retention of
the Northern Boundary Wall during
both the Construction Works, and as
part of the proposed development**

Prepared for

WX Investments Ltd

January 2015

The Old Dairy WC1

Structural Engineering notes describing the proposed retention of the Northern Boundary Wall during both the Construction Works, and as part of the proposed development

1.0 Introduction

We have been asked by WX Investments Ltd to prepare the following notes and drawings describing how the boundary wall to the North of the Old Dairy site is retained, both in the permanent case as part of the proposed redevelopment of the site, and in the temporary case during construction.

These notes are based on:

- Visits to the building
- Our desktop research of the site
- A site investigation carried out by Site Analytical in December 2014
- A topographical and plumbline survey by Aworth
- Our work on developing the structure scheme for the new development
- Our knowledge of buildings of this age and construction
- Our assumed sequence of construction for the whole development

These notes and drawings are to be submitted by the Architect S333 Architecture in response to condition number 9 in the planning consent previously obtained from the London Borough of Camden.

2.0 History and Geology

This is a brief summary of the development of the site based on historical maps for the area. A copy of the maps is included in Appendix A.

1740 – Bloomsbury and St George's burial grounds have been laid out to the south of the site. The Foundling hospital is to the south of the burial grounds.

1815 – Sidmouth Street to the north and Hunter Street to the west of the site are developed with terraced houses.

1862 – The site is developed to produce a row of mews houses for houses on Regents Square. Wakefield Street and the surrounding area are largely developed.

1894 – The burial ground has been converted into St George's Gardens.

1945 – One of the mews houses on site is noted as having some light structural bomb damage. Many of the houses in the local area are shown to have significant structural damage.

1973 – The mews houses have been demolished and replaced with the dairy building in its current form.

A site investigation, which included three 25m deep boreholes, has confirmed the following ground conditions beneath the site: approximately 1.5m of made ground, overlying 5m of brown, sandy, gravelly clay, overlying dark grey London clay. No groundwater was encountered in any of the boreholes during the works. Several trial pits were also excavated to a depth of up to 1.5m to expose the form and condition of the existing foundations to the north wall and elsewhere on the site, and to allow a more detailed investigation of the near-surface ground conditions. The results of the Site Investigation are summarised on drawing 1492/11/SK16 in Appendix B.

3.0 Form and Condition of Existing structure

Refer to drawings 1492/10/01-03 in Appendix B which illustrates our understanding of the existing structure to the Old Dairy buildings.

The summary shows the existing boundary wall to the north of the site to be a solid, 330mm thick brickwork wall. This wall supports the existing roof structure to the Old Dairy, which in turn provides horizontal restraint to the top of the wall. This wall is also restrained horizontally by the return garden walls to the terraced houses on Regent Sq, where they abut the boundary wall, as well as by some internal walls to a mezzanine structure within the Old Dairy. This is shown on drawing 1492/20/SK14 in Appendix C.

Trial pits have shown the north boundary wall to be founded on shallow mass concrete strip foundations bearing into the brown, sandy, gravelly clay. The vertical plumbline survey has shown that the north boundary wall is generally plumb.

4.0 Brief Description of the Proposed Scheme and Proposed Restraint to Boundary Wall

It is proposed to develop the site with a mixed use, office and residential development. This involves removing the existing building, with the exception of the north boundary wall and constructing a new 2 storey building with a basement.

The design of the proposed new structure has therefore been specifically developed to enable the north boundary wall to be kept in place during the proposed construction works and as an integral part of the proposed new development.

The following notes describe how we have assumed the whole scheme will be developed, and then in more detail how the north boundary wall is temporary supported at all stages during his phased construction including as part of the new buildings.

To allow a basement to be built close to the line of the north boundary wall, the wall it is to be underpinned. A reinforced concrete lining wall will be built in front of the concrete underpins, to span vertically between the new basement slab, and a reinforced concrete beam at ground floor level, which in turn will span between new party walls between each of the residential and office units. Above ground floor level, the existing boundary wall is to be strengthened by the addition of a new 225mm thick skin of reinforced brickwork, tied to the existing brickwork, so that it too can span between the party walls between the units. This is illustrated in the permanent case on drawing 1492/11/SK14 in Appendix C.

5.0 Sequence of Construction assumed in the design

5.1 Overall Phasing

Because of the long and relatively narrow shape of the site, and the limited access to the site from Wakefield Street, we have assumed that the works will be phased so that

access for construction, plant and materials can be maintained throughout the construction. Drawing 1492/11/SK15 shows how we have assumed the works are phased and how access and egress across the site is maintained at each stage of the works. This can be summarised as follows:

- Phase I: This involves providing site accommodation/storage on the southern west corner of the site and using the current access to enable the basements to the residential units to be built up to and including their ground floor slab so they are self-stable structures. Temporary propping to restrain the existing boundary wall is installed at the beginning of this phase, prior to the removal of the existing Old Dairy structure.
- Phase II: This maintains the existing site access but moves the site accommodation/site storage to be on top of the part-built residential units, allowing construction of the southern half of the office building up to and including the ground floor slab.
- The ground floor slab beneath the new office accommodation/site storage will need to be temporarily propped off the basement as necessary.
- Phase III: Access to the site is switched over to be on top of the completed ground floor to phase II with appropriate temporary protection and propping as required.
- The final part of the office development can now be built up to and including the ground floor slab, and the proposed link at basement level to phase II.
- Phase IV: Following completion of phase III the current access to the site can be reinstated over the basement link between the office buildings, with appropriate temporary protection and propping to this structure. This will also become the permanent access to the site.
- The above ground construction can now proceed on all the residential and office buildings, probably working from the east to the west to help to reduce congestion on site.

The contractor may well be able to overlap the works described in these phases, such as by constructing the above ground structure to phase I whilst phase II and III are being constructed.

5.2 Restraint to North Boundary wall

Drawing 1492/11/SK14 illustrates in principle how restraint is currently provided to the boundary wall, how we have assumed it will be restrained during construction, and how it is proposed to be restrained in the permanent case as part of the proposed development. The Contractor will be required to monitor the wall for movement throughout the works, carrying out visual inspections daily, and recording the vertical and horizontal movement of fixed points on the wall on a weekly basis.

We will set trigger levels for the extent of movement anticipated as a result of the works, based on the sequence described below, which the movement monitoring work will be measured against.

5.3 **Assumed sequence of construction affecting the North Boundary Wall**

1492/11/SK01 to SK 13 in Appendix C shows the sequence of construction we have assumed in the design of the new structure for the north Boundary Wall based on the phasing outlined above.

This can be summarised as follows:

Phase 1

- a) Site set up and strip out all non-structural finishes from the building.
- b) First level of underpinning to boundary wall in the location of the proposed temporary restraint towers.
- c) Second level of underpinning to boundary wall and works to form the bases for the temporary restraint towers
- d) Erect temporary restraint towers, and install waling beams to hold boundary wall in place following demolitions of the existing structure and during the construction of the new buildings.
- e) Complete the remaining underpinning works to the boundary wall
- f) Install temporary pad footings and raking props to the Western end of the North Boundary wall
- g) The boundary wall is now held in place by the temporary restraint towers and raking props allowing the careful removal of the existing structure, including grubbing out the existing foundations and below ground drainage. Make good the existing retained North boundary wall immediately where built in structure is removed.
- h) Install sheet piling to the remaining perimeter of the new basement (south, east and west walls).
- i) Sequentially excavate and prop the excavation, starting at the eastern end of the site, working towards the West. Maintain props to the western end of the north wall.
- j) Construct the new basement slab and walls, removing the temporary props as the restraint they provide is replaced by the new basement slab.
- k) Construct the new ground floor slab and horizontal beam to the north wall, removing any final propping to the basement excavation and north wall once the slab has gained sufficient strength to provide restraint to the walls.

Phase 2

- l) Once stage k) has been completed from phase 1, the works to construct the basement and ground floor structure to phase 2, to the South of the site can be carried out. This is to be carried out in a similar fashion to the basement in phase 1, and will not have any significant effect on the north boundary wall.

Phase 3

- a. Once the ground floor structures to Phase 1 and 2 have been completed, the temporary works to the phase 3 are of the site can be adjusted to allow the basement and ground floor slab in this area to be constructed.
- b. The first level of underpinning is to be carried out to the boundary wall to phase 3.
- c. The basement area is then mass excavated to above the base of the phase 1 pins, with temporary waling beams and props installed.

- d. The second level of underpinning, excavation and propping is then carried out.
- e. The new basement and ground floor structure is then constructed, similar to phase 1.

Phase 4

- f. Construct new above ground structure and complete works to thicken the existing boundary wall.
- g. The boundary wall is now held in place by and forms an integral part of the new building allowing the removal of the temporary waling beams and supporting towers, making good any pockets left in the boundary wall.

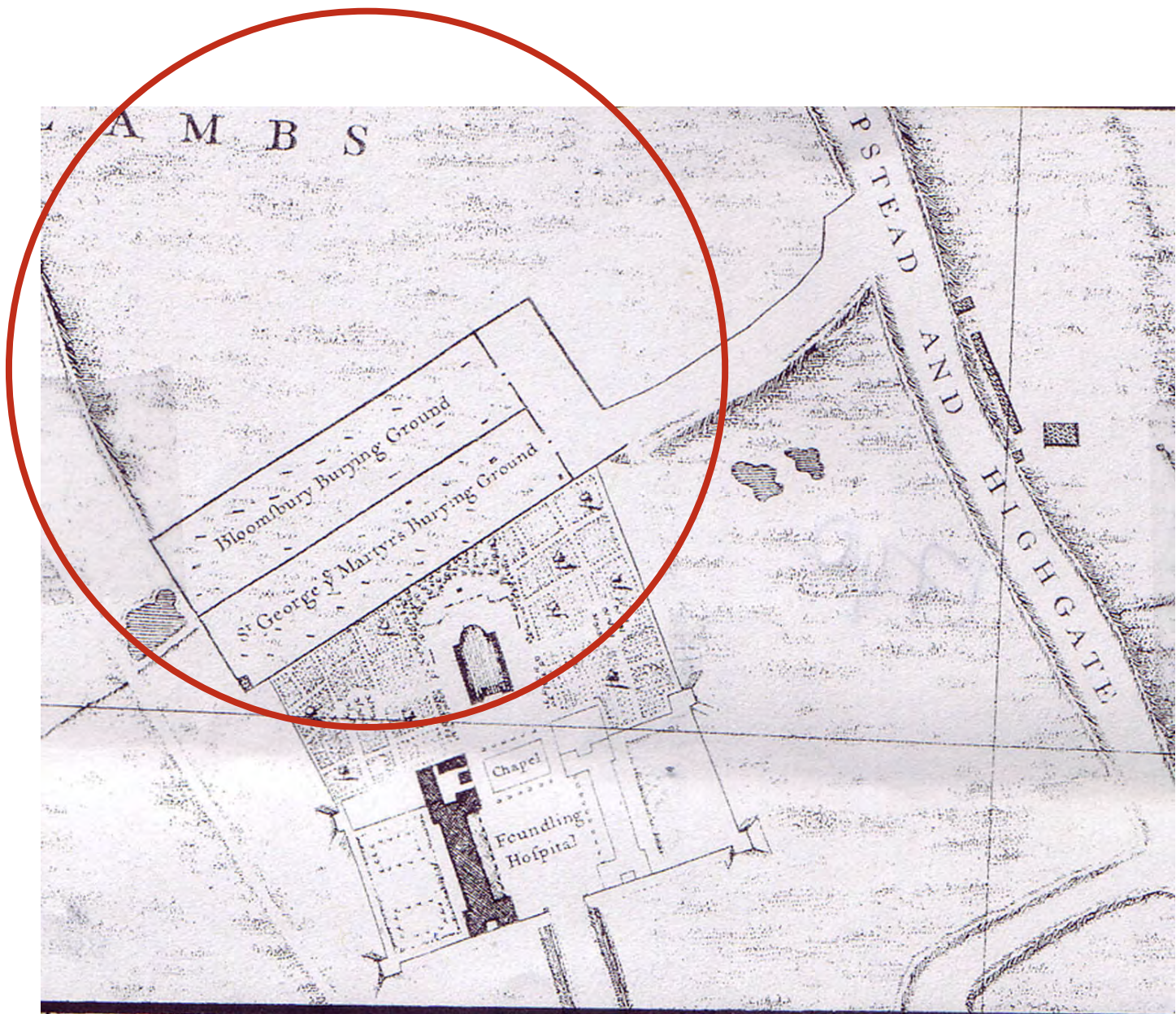
A monitoring regime will be put in place to monitor ground movements and adjacent buildings as a result of the works. The selected contractor will determine the sequence of construction to be used and this may impact on the detailed design, but it will be a contractual requirement that this meets or reduces the anticipated movement set by the trigger levels for the monitoring works, which will be based on the above sequence.

Appendix A

Historical Maps

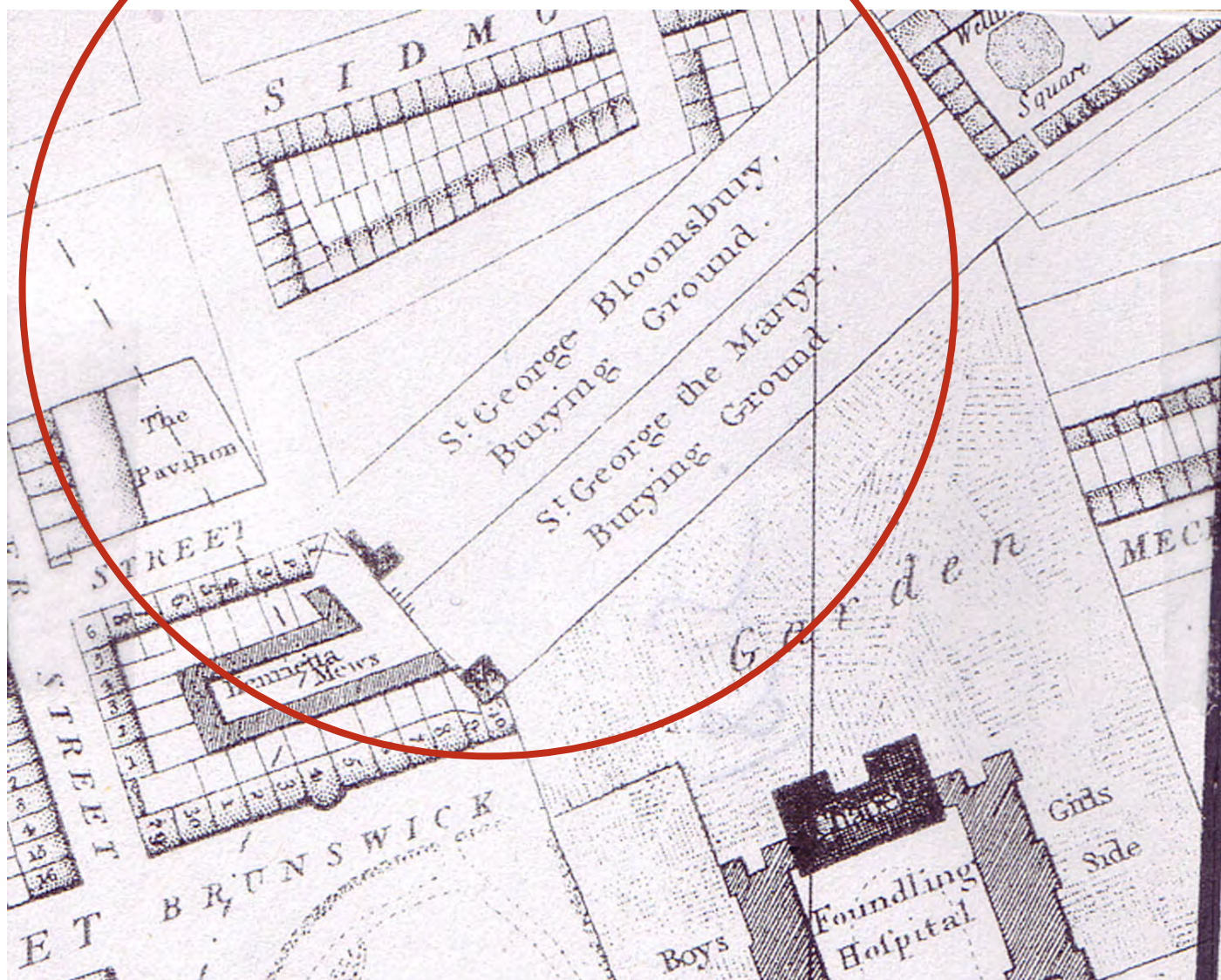
1740

Rocque



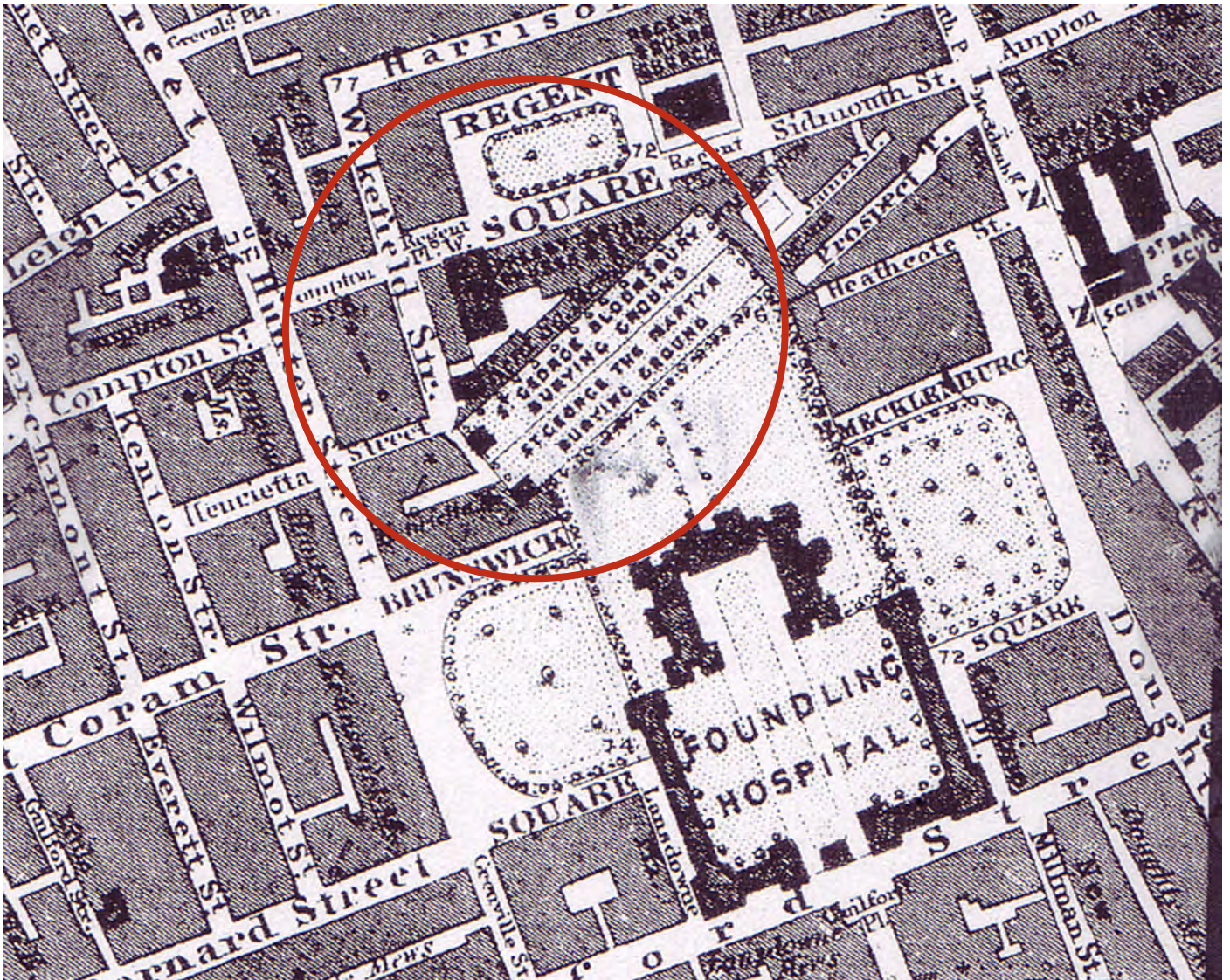
1815

Horwood



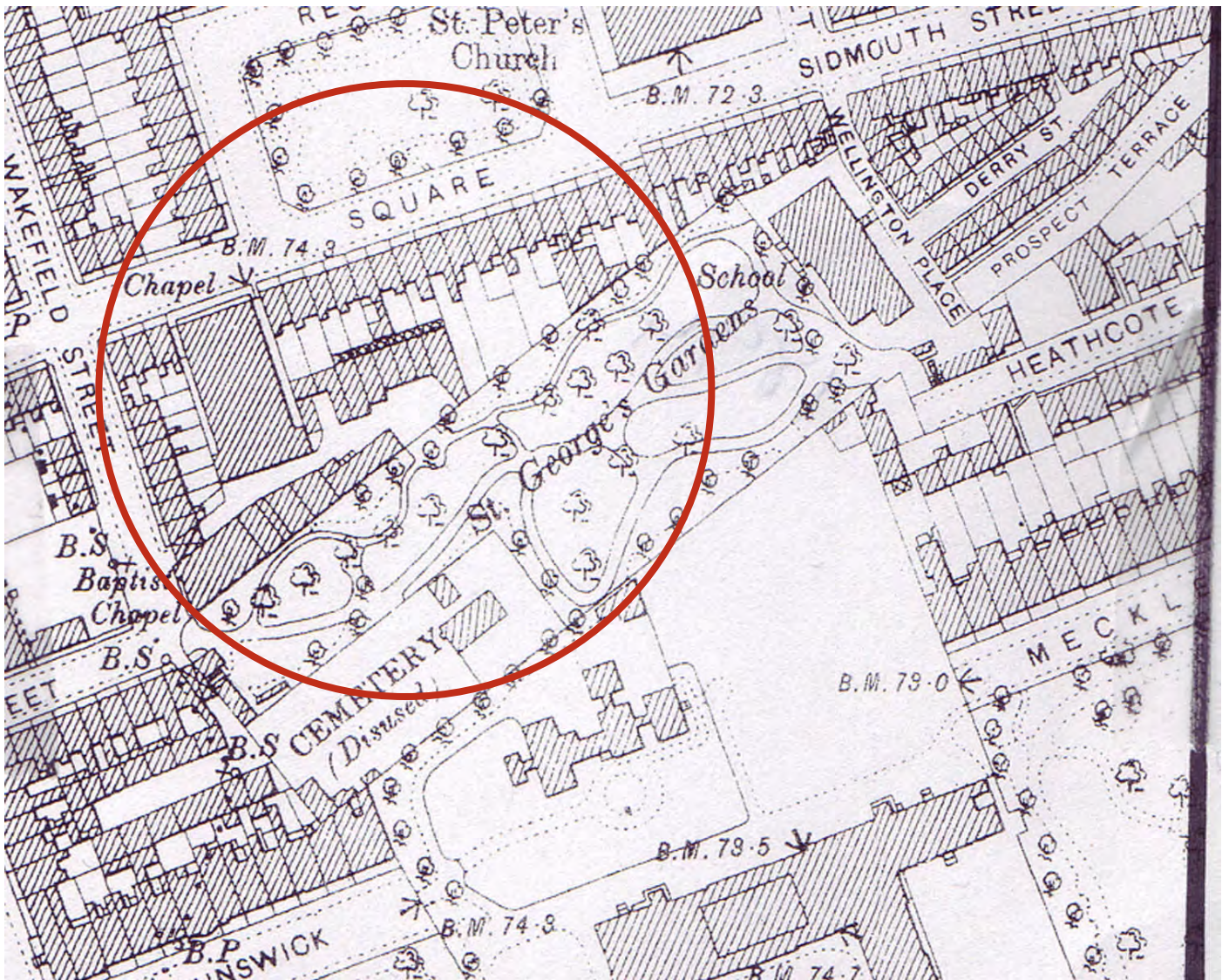
1862

AG OS



1894

AG OS Sheet



1939/45

LCC Bomb Damage Map



**Colour Key
References**
(for guidance only)

Black
Total
destruction

Purple
Damaged beyond
repair

Dark Red
Seriously damaged;
doubtful if
repairable

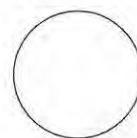
Light Red
Seriously damaged,
but repairable
at cost

Orange
General blast
damage – not
structural

Yellow
Blast damage,
minor in nature

Light Blue
Clearance
areas

Light Green
Clearance
areas



V1 flying bomb



V2 long
range rocket

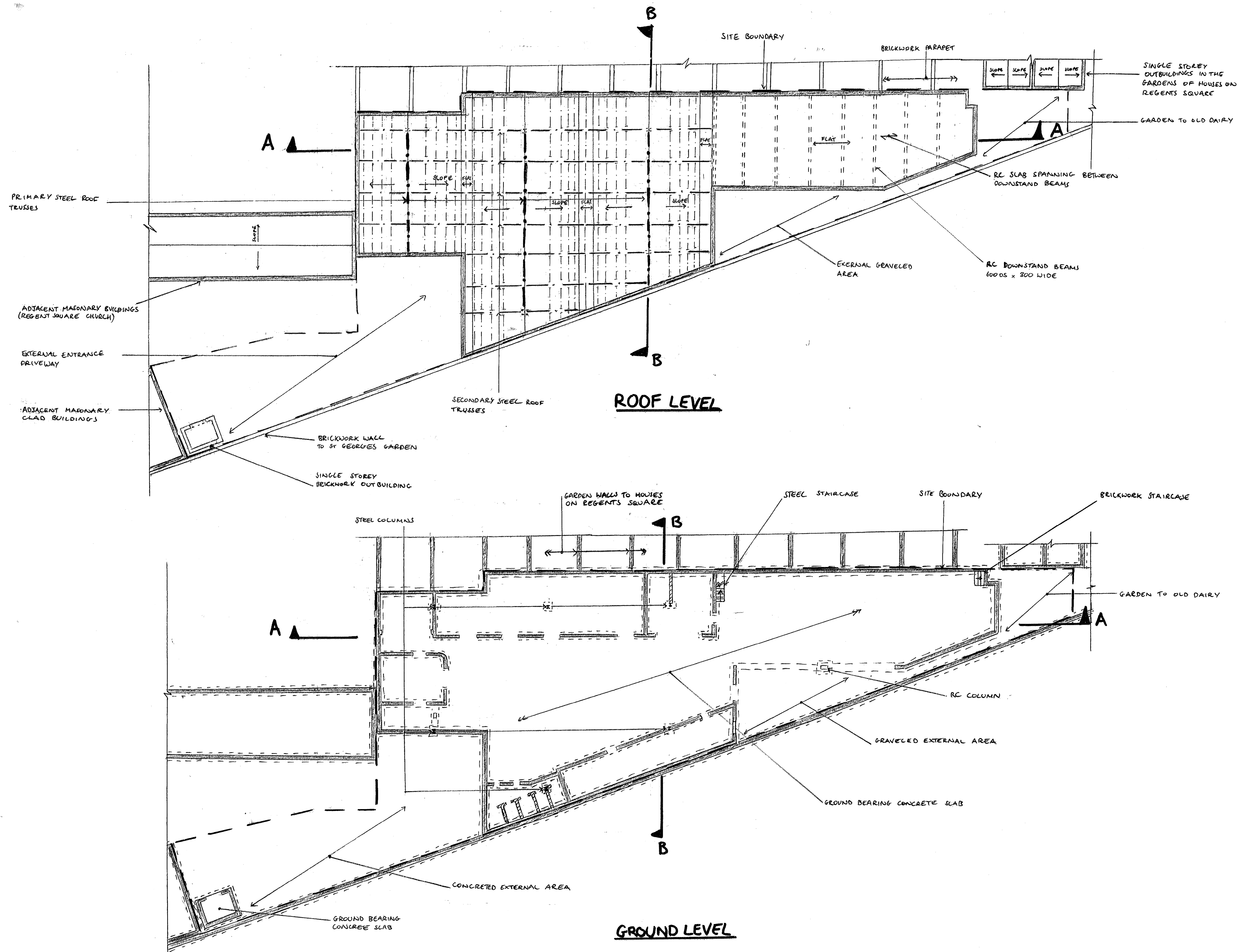
1973-82

OS TQ3082



Appendix B

Existing Structure Drawings



notes

1. THIS DRAWING IS TO BE READ IN CONJUNCTION WITH ALL OTHER RELEVANT ARCHITECT'S AND ENGINEER'S DRAWINGS.

16.1.15 ISSUED AS PART OF A REPORT DP

job
THE OLD DAIRY

title
**EXISTING STRUCTURE
ROOF AND GROUND FLOOR PLAN**

drawn
DP
date
NOV'14

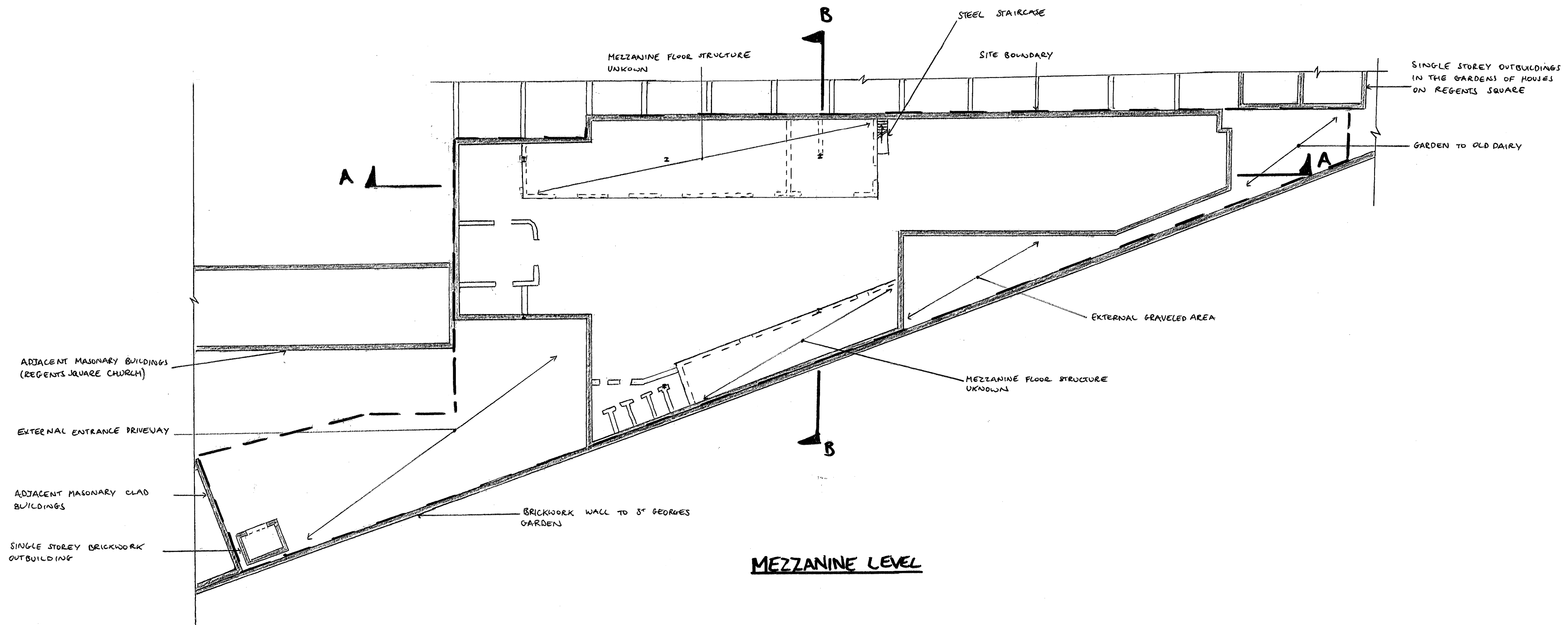
checked
WG
scale (original - A1)
1:200

Alan Baxter

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orig. no.
1492/10/01

rev.



notes

1. THIS DRAWING IS TO BE READ IN CONJUNCTION WITH ALL OTHER RELEVANT ARCHITECT'S AND ENGINEER'S DRAWINGS AND THE SPECIFICATION.

16.1.15 ISSUED AS PART OF A REBET DP

THE OLD DAIRY

EXISTING STRUCTURE
MEZZANINE FLOOR

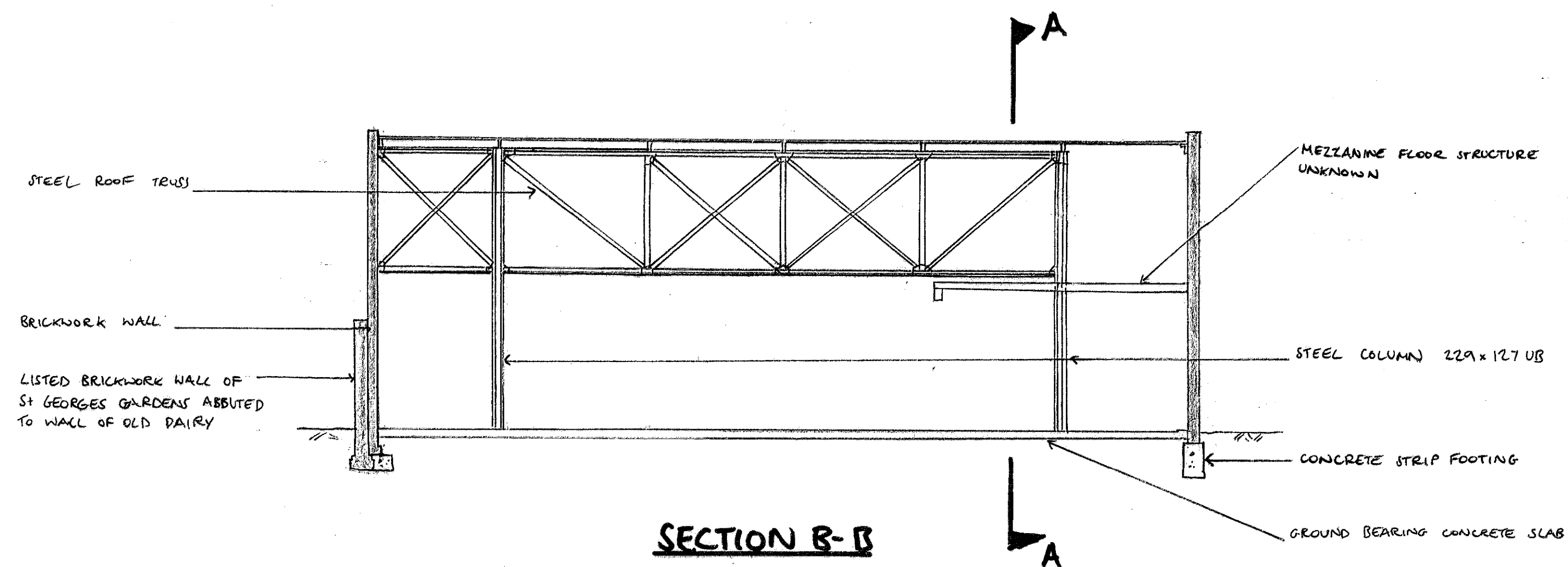
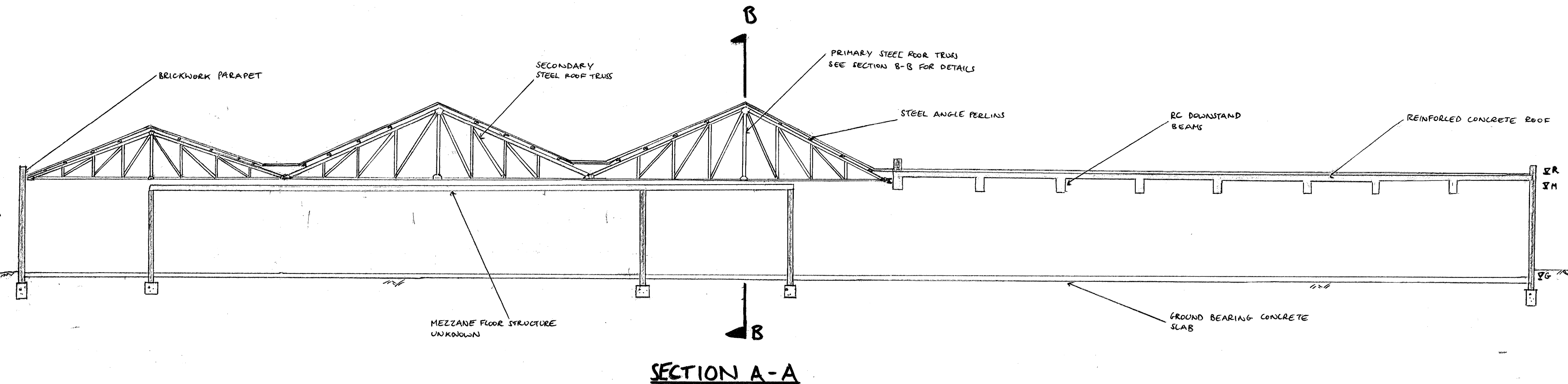
DP WG
NOV'14 1:200

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1492/10/03



NOTES

1. THIS DRAWING IS TO BE READ IN CONJUNCTION WITH ALL OTHER RELEVANT ARCHITECT'S AND ENGINEER'S DRAWINGS.

16.1.15 ISSUED AS PART OF A REPORT DP

THE OLD DAIRY

SECTIONS A-A AND B-B

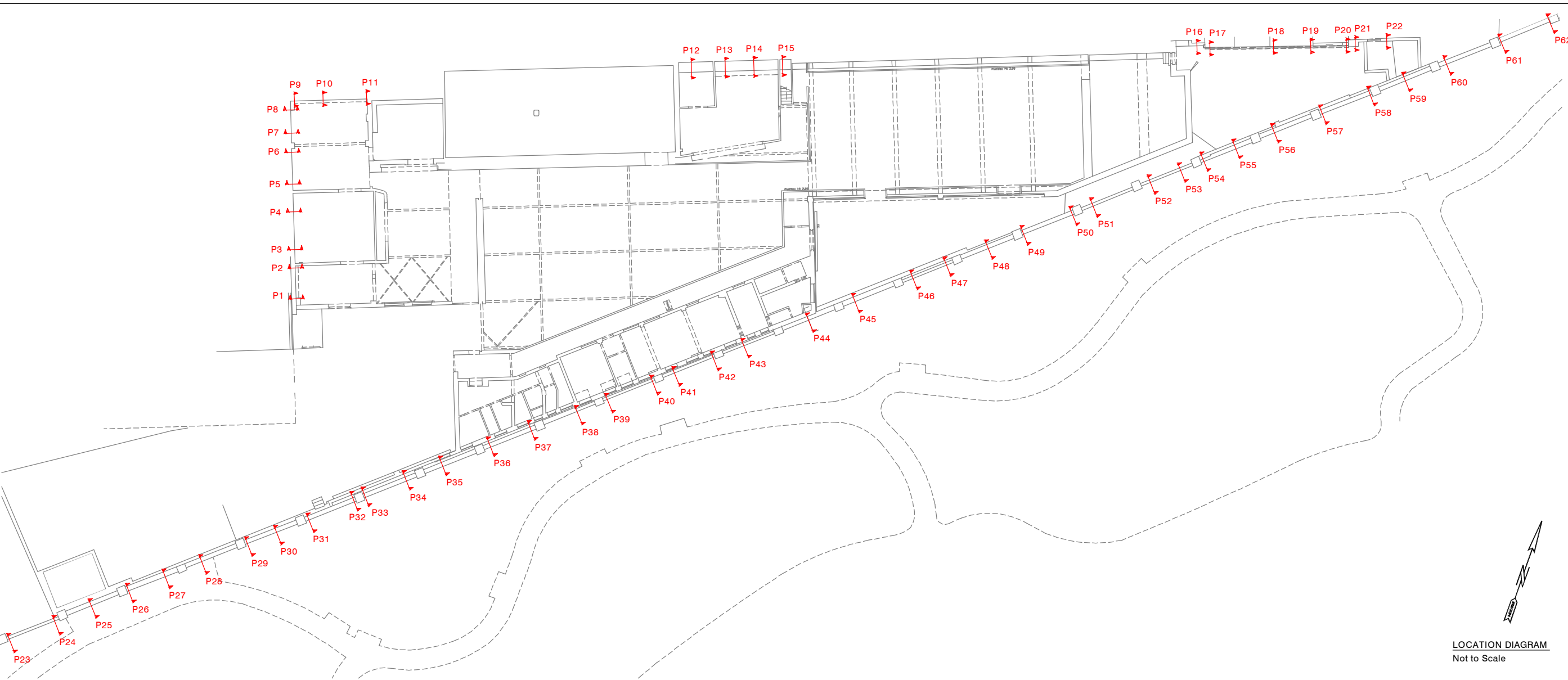
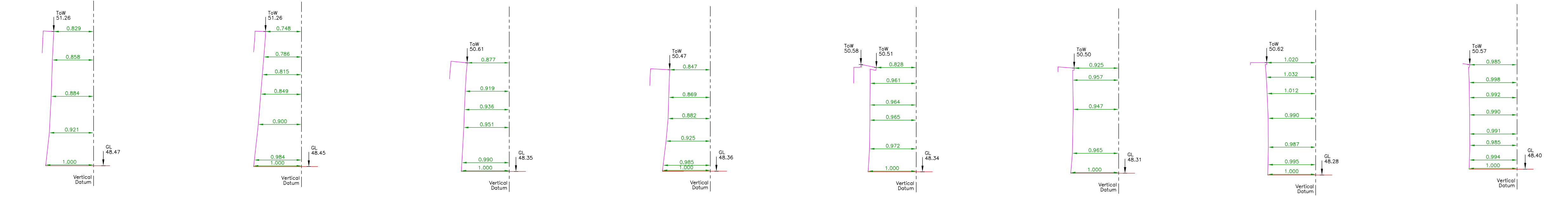
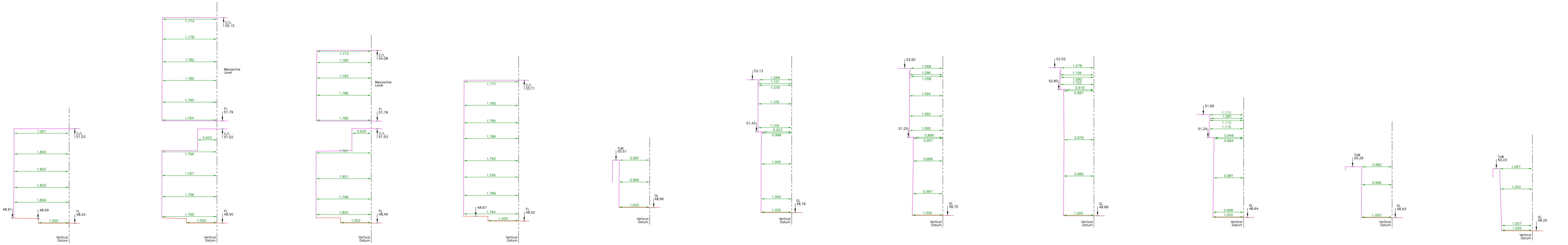
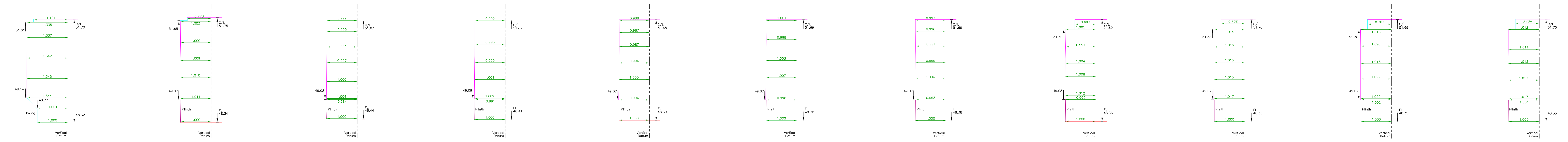
drawn DP checked WG
date NOV'14 scale (original - A1) 1:100

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1492/10/02

- drg. no.



BUILDING LEGEND

HEIGHT (mm)	AS BRICK	AS
FALSE BEAM	F/B	AP CONDITIONING UNIT
FALSE CEILING	F/C	CL
UNDERFLOOR HEATING	U/F	CL
UNDERFLOOR	U/F	CL
UP	UP	CL
FLOOR TO CELL HEIGHT	C/F	CL
CELL TO HEAD OF WINDOW	C/H	CL
FLOOR TO WINDOW	F/W	CL
SPOT LEVEL (Indicates pos.)	+	CL
THRESHOLD LEVEL	TL	CL
SOFT LEVEL	SL	CL
PAVER LEVEL	PL	CL
PROSE LEVEL	RL	CL
NOT WATER	W	CL
WATER	W	CL
BOLTER	B	CL
ELECTRIC METER	EM	CL

LEVELLING

ALL LEVELS ARE BASED ON THE HIGHEST VALUE. SPOT LEVELS SHOWN ON FLOOR LEVEL OF THE WALL. NO 7' WATERFALL ST. 70' SHOWN ON PLAN.

AWORTH SURVEY CONSULTANTS

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Norfolk House, Norfolk Way, Uckfield, TN22 1EP

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www.aworth.co.uk als@aworth.co.uk

The Lansdowne Building, 2 Lansdowne Road, Croydon, CR9 2ER

Tel: 020 8263 6046 Fax: 020 8263 6146

THE OLD DAIRY

7 WAKEFIELD STREET

LONDON

PROFILES 1 - 30

Client

THE WILLIAM PEAR'S GROUP

HASKELL HOUSE

152 WEST END LANE

LONDON NW6 1SD

Drawing No 4781

Sheet 3

Revision 1:50

Scale 1:50

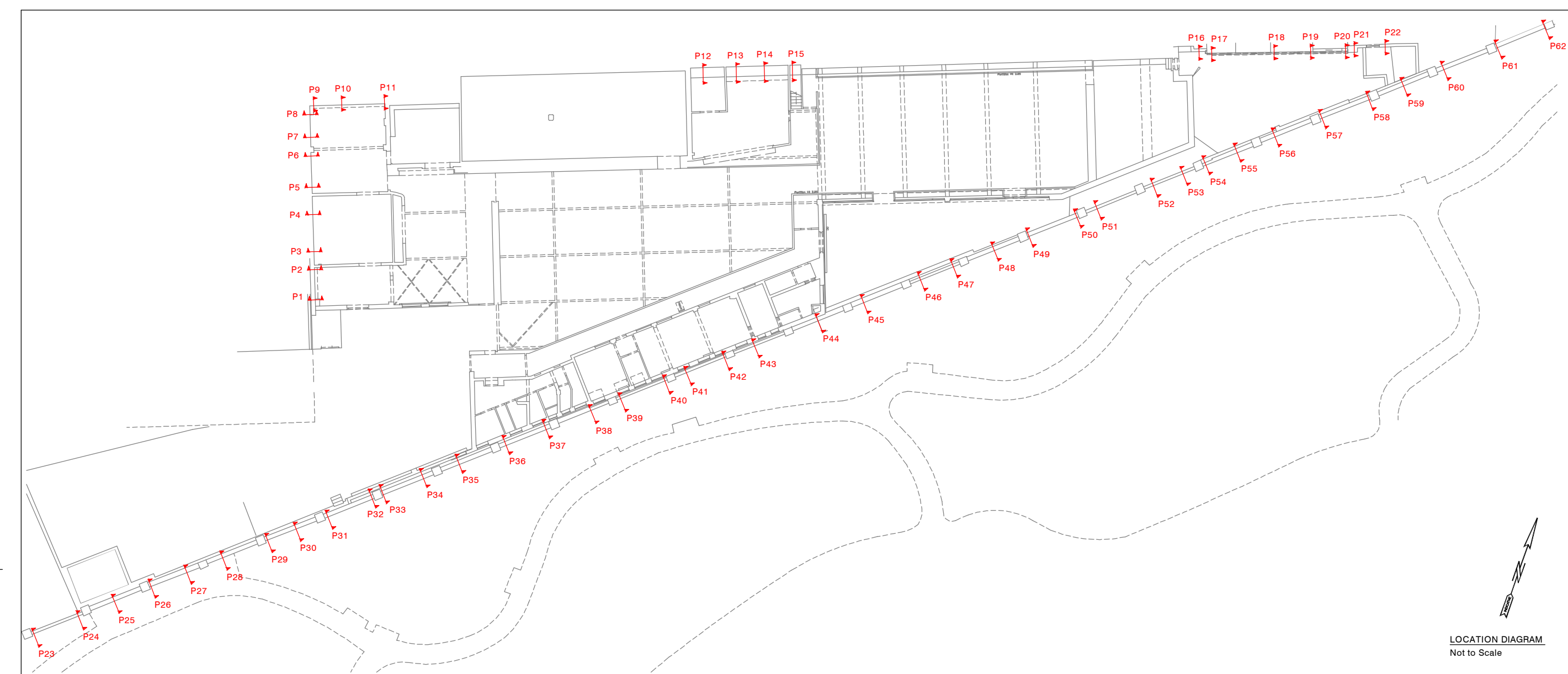
Checked PDE

Date 15/01/15

Surveyed TH

Drawn JWB

Project



PRELIMINARY

BUILDING LEGEND

<p>HEIGHT (m) FALSE BLDG. CEILING SUSPENDED CEILING HEIGHT (m) FLOOR TO CEILING HEIGHT (m) CEILING TO SPRING FLOOR TO HEAD OF WINDOW FLOOR TO SPRING FLOOR TO HEAD SPOT LEVEL (Indicates pos.) FLOOR LEVEL THRESHOLD LEVEL SCOFF LEVEL ROOF LEVEL RAVINE LEVEL ROAD LEVEL</p>	<p>1234 F/B CLUR/COR S/C H M UP ARCH DOWN C/W S + 123.15 TL BL SL CL TL TL</p>
---	--

<p>AS BRICK AIR CONDITIONING UNIT CLUR/COR TOP OF WALL SLOPE UP UP ARCH DOWN COVER LEVEL RAIL LEVEL RAIN WATER OUTLET RAIN WATER DUTTER RAIL LEVEL SOIL WATER PUMP VENT PIPE DISTRIBUTION BOARD GAS METER</p>	<p>AB ACU TLW TOW S/C UP ARCH DOWN C/W CL BL SL PWP RNG VPT DB GAS</p>
---	--

<p>HOT HOT</p>	<p>ELECTRIC METER</p>
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LEVELLING ALL LEVELS ARE BASED ON TBM, ARBITRARY VALUE, 50.00m, SITUATED ON FLOOR LEVEL OF THE HALL, No 7 WAKEFIELD ST, AS SHOWN ON PLAN.

LLOYD'S REGISTER
QUALITY ASSURANCE
CERTIFICATED COMPANY

 THE SURVEY
ASSOCIATION

Aworth
SURVEY CONSULTANTS

LRQA Certificated Office
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www.aworth.co.uk als@aworth.co.uk
The Lansdowne Building, 2 Lansdowne Road
Croydon, CR9 2ER
Tel:- 020 8263 6046 Fax:- 020 8263 6146

Drawing No 4781	Sheet 4	Revision	Surveyed TH
			Drawn JBW
Scale 1:50			Checked PDE
 A0			Date 15/01/15

Project

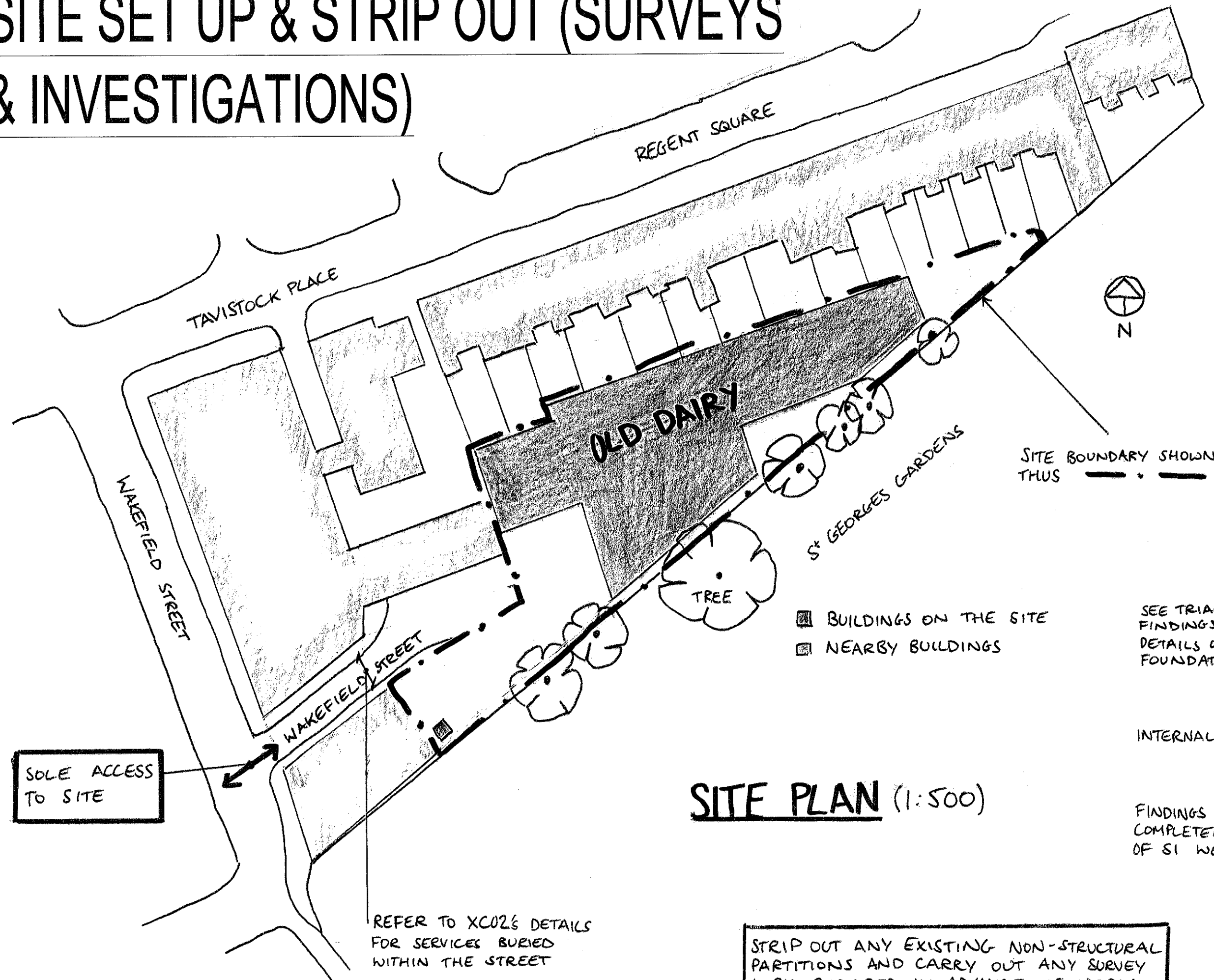
THE OLD DAIRY
7 WAKEFIELD STREET
LONDON
PROFILES 31 - 62

Client
THE WILLIAM PEARS GROUP
HASKELL HOUSE,
152 WEST END LANE
LONDON NW6 1SD

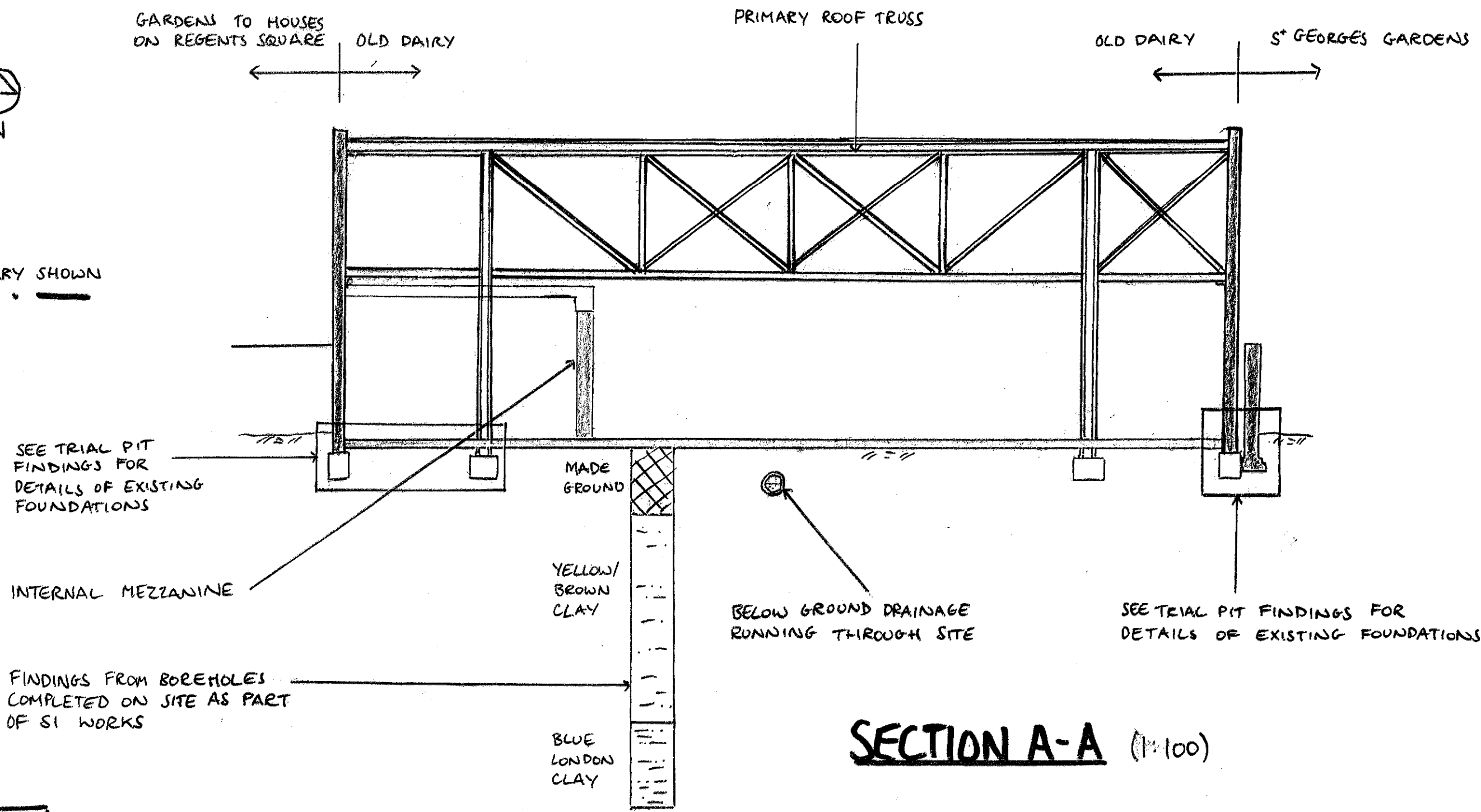
Appendix C

Phasing and Sequence of Construction Assumed in the Design

1. SITE SET UP & STRIP OUT (SURVEYS & INVESTIGATIONS)

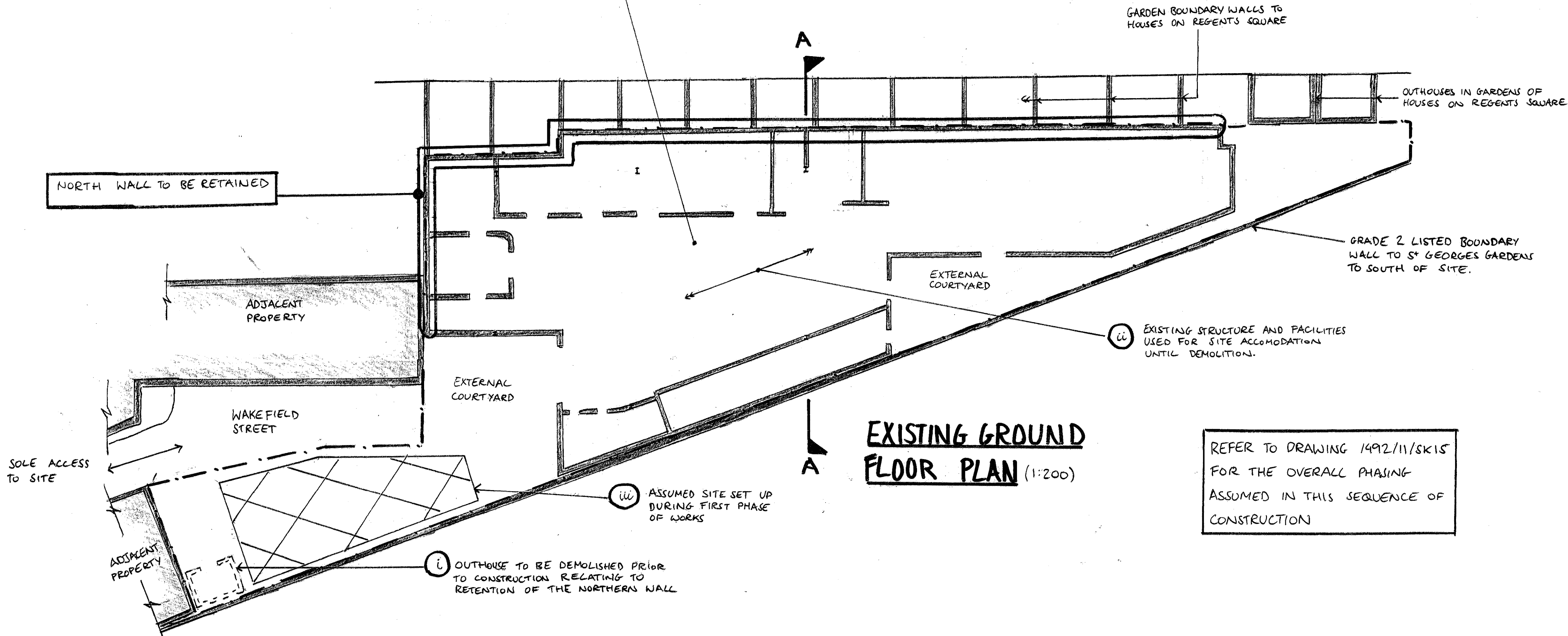


SITE PLAN (1:500)



SECTION A-A (1:100)

STRIP OUT ANY EXISTING NON-STRUCTURAL PARTITIONS AND CARRY OUT ANY SURVEY WORK REQUIRED IN ADVANCE OF WORKS ON SITE



EXISTING GROUND FLOOR PLAN (1:200)

REFER TO DRAWING 1492/11/SK15 FOR THE OVERALL PHASING ASSUMED IN THIS SEQUENCE OF CONSTRUCTION

- notes
1. THIS DRAWING IS TO BE READ IN CONJUNCTION WITH ALL RELEVANT ARCHITECTS AND ENGINEERS DRAWINGS AND THE SPECIFICATION.
 2. THIS DRAWING SHOWS THE SEQUENCE OF CONSTRUCTION ASSUMED IN THE STRUCTURAL DESIGN. THE CONTRACTOR SHALL PREPARE HIS OWN PROPOSALS FOR THE SEQUENCE OF CONSTRUCTION FOR WHICH HE SHALL REMAIN ENTIRELY RESPONSIBLE. THESE PROPOSALS SHALL BE SUBMITTED TO THE CA PRIOR TO THE COMMENCEMENT OF WORKS ON SITE.
 3. THE CONTRACTOR SHALL ENSURE THAT THE STABILITY OF THE BUILDINGS IS MAINTAINED AT ALL STAGES OF CONSTRUCTION. HE SHALL DESIGN, INSTALL AND MAINTAIN ALL NECESSARY TEMPORARY WORKS AND PROGRAMME THE WORKS ACCORDINGLY.
 4. EXISTING SERVICES ARE TO BE RE-ROUTED OR CAPPED OFF/ ISOLATED TO THE M&E ENGINEERS DETAILS BEFORE START OF WORKS.

-	14.5.15	USED AS PART OF A REPORT	DP
-	1.1.15	ISSUED FOR INFORMATION	DP

OLD DAIRY, WC1

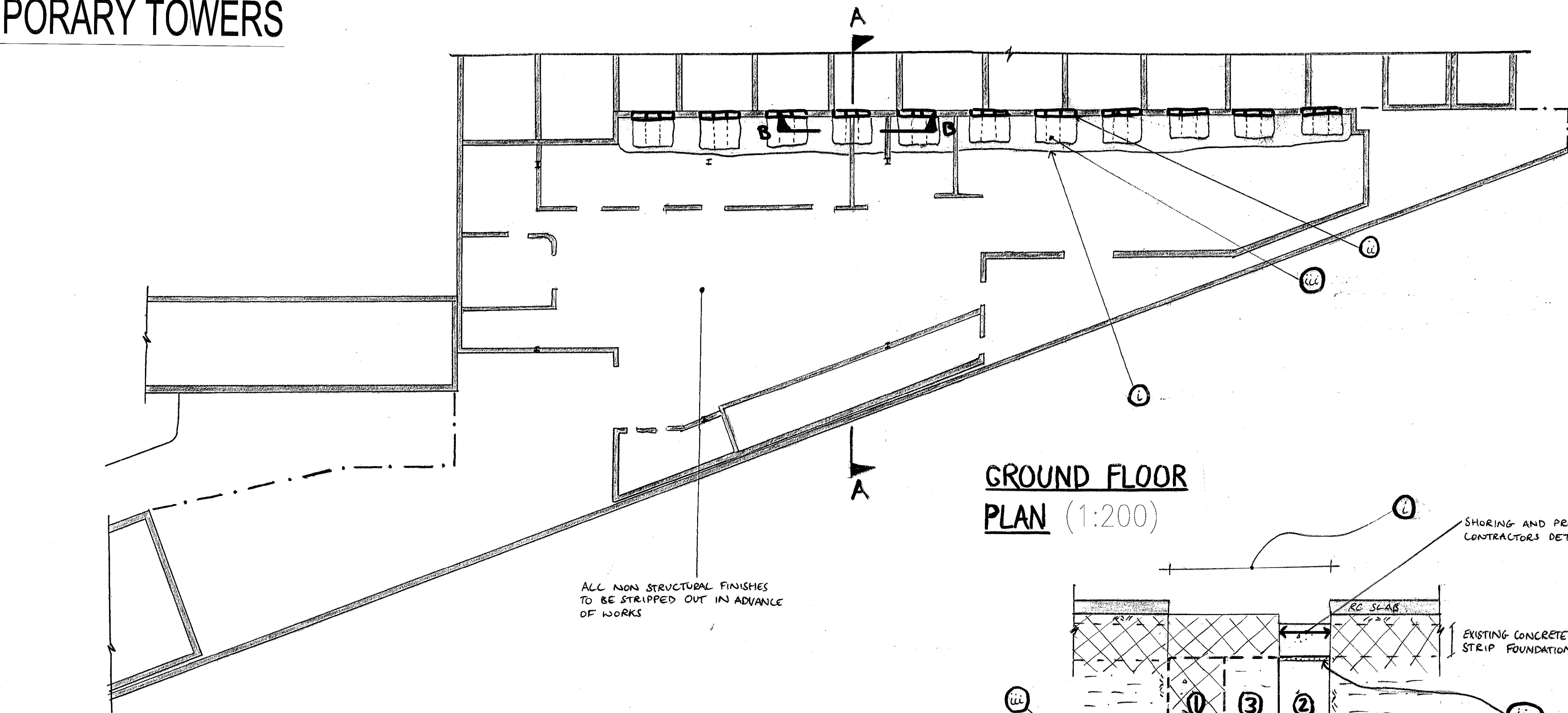
SEQUENCE OF CONSTRUCTION ASSUMED IN THE DESIGN FOR THE RETENSION OF THE NORTH WALL SHEET 1

drawn DP	checked TR
date JAN 15	scale (original - A1) AS SHOWN

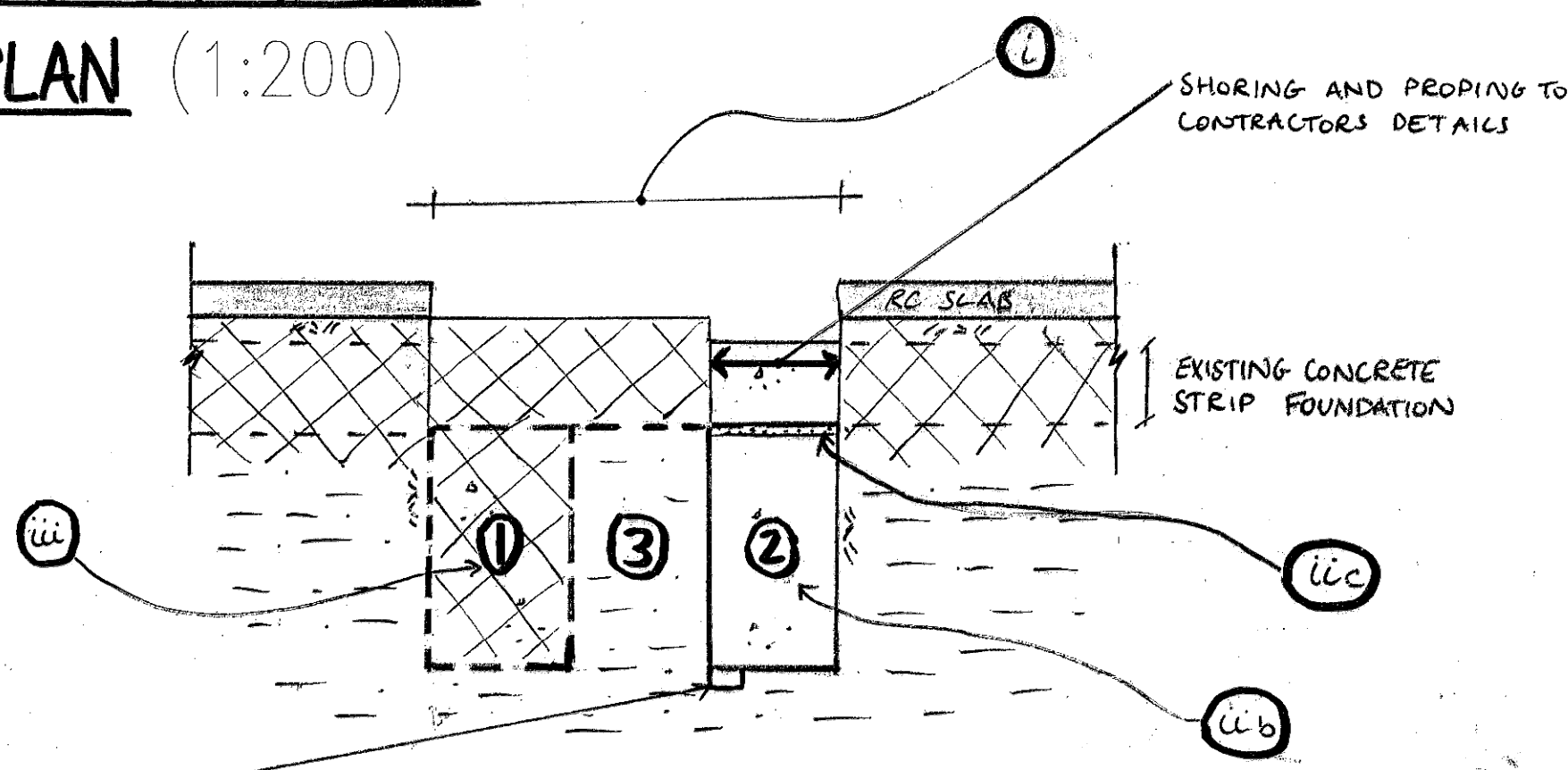
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tel 020 7250 1555
email aba@alanbaxter.co.uk
www.alanbaxter.co.uk

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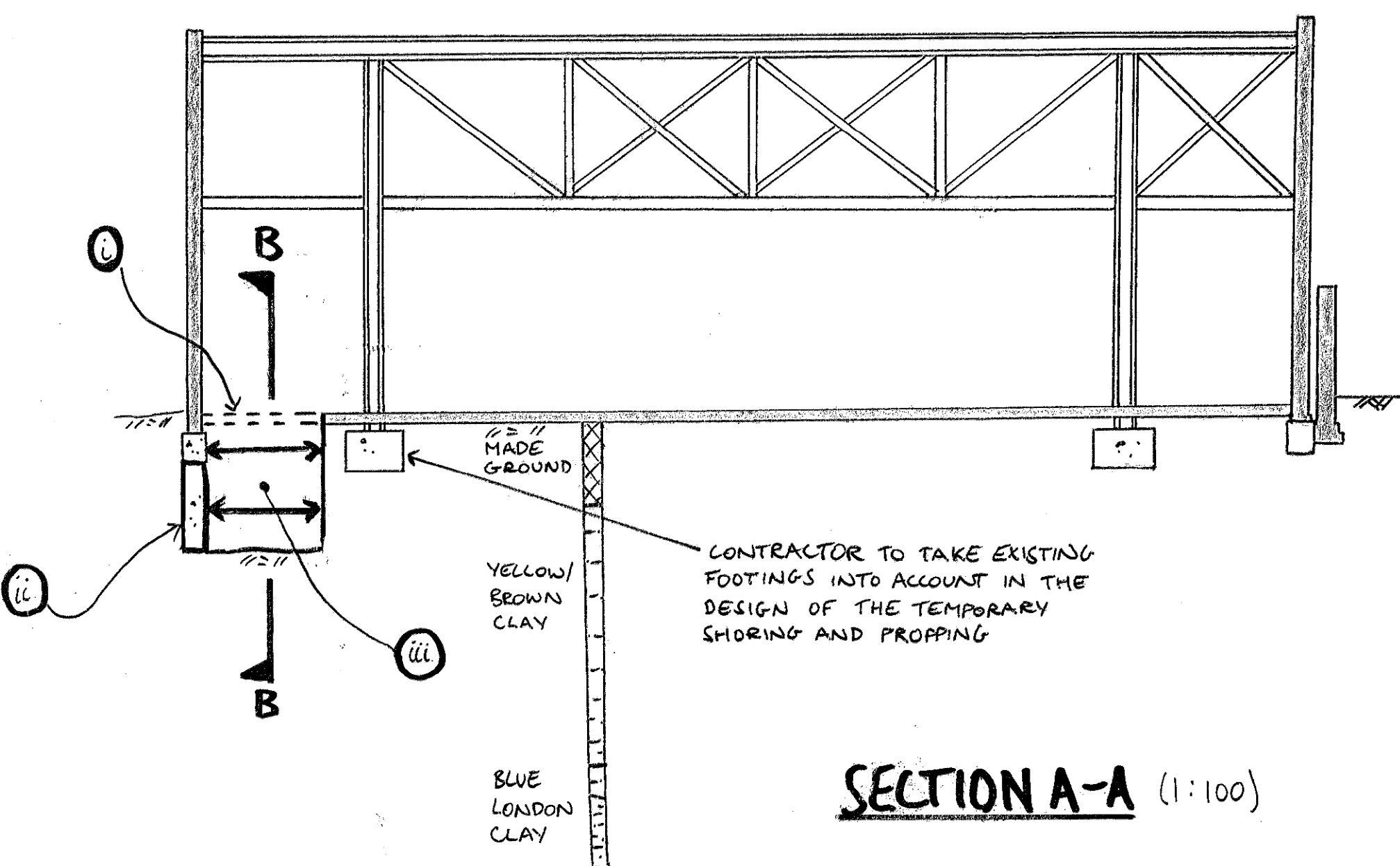
2. FIRST LEVEL UNDERPINNING FOR TEMPORARY TOWERS



GROUND FLOOR
PLAN (1:200)



SECTION B-B (1:50)



SECTION A-A (1:100)

ALLOW FOR PUMPING OUT
ANY SURFACE WATER FROM
EXCAVATION DURING WORKS

- ① LOCALLY BREAK OUT GROUND FLOOR SLAB IN LOCATIONS OF TEMPORARY RESTRAINT TOWERS (SEE SK04)
- ② FORM SECTIONS OF 1st STAGE OF UNDERPINS TRADITIONALLY
 - a) EXCAVATE UNDERPIN 1, SHORING AND PROPPING THE EXCAVATION
 - b) CAST CONCRETE UNDERPIN, 75mm BELOW THE EXISTING FOUNDATION LEVEL
 - c) DRYPACK BETWEEN THE MASS CONCRETE UNDERPIN AND EXISTING FOUNDATION LEVEL
- ③ BACKFILL EXCAVATION BEFORE PROCEEDING TO UNDERPIN 2 + 3, REPEATING THE PROCESS

- notes
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18.1.15	ISSUED AS PART OF A REBID	OP
9.1.15	ISSUED FOR INFORMATION	DP

OLD DAIRY, WC1

SEQUENCE OF CONSTRUCTION
ASSUMED IN THE DESIGN FOR THE
RETENSION OF THE NORTH
WALL SHEET 2

drawn	checked
DP	TR
date	scale (original - A1)
JAN' 15	AS SHOWN

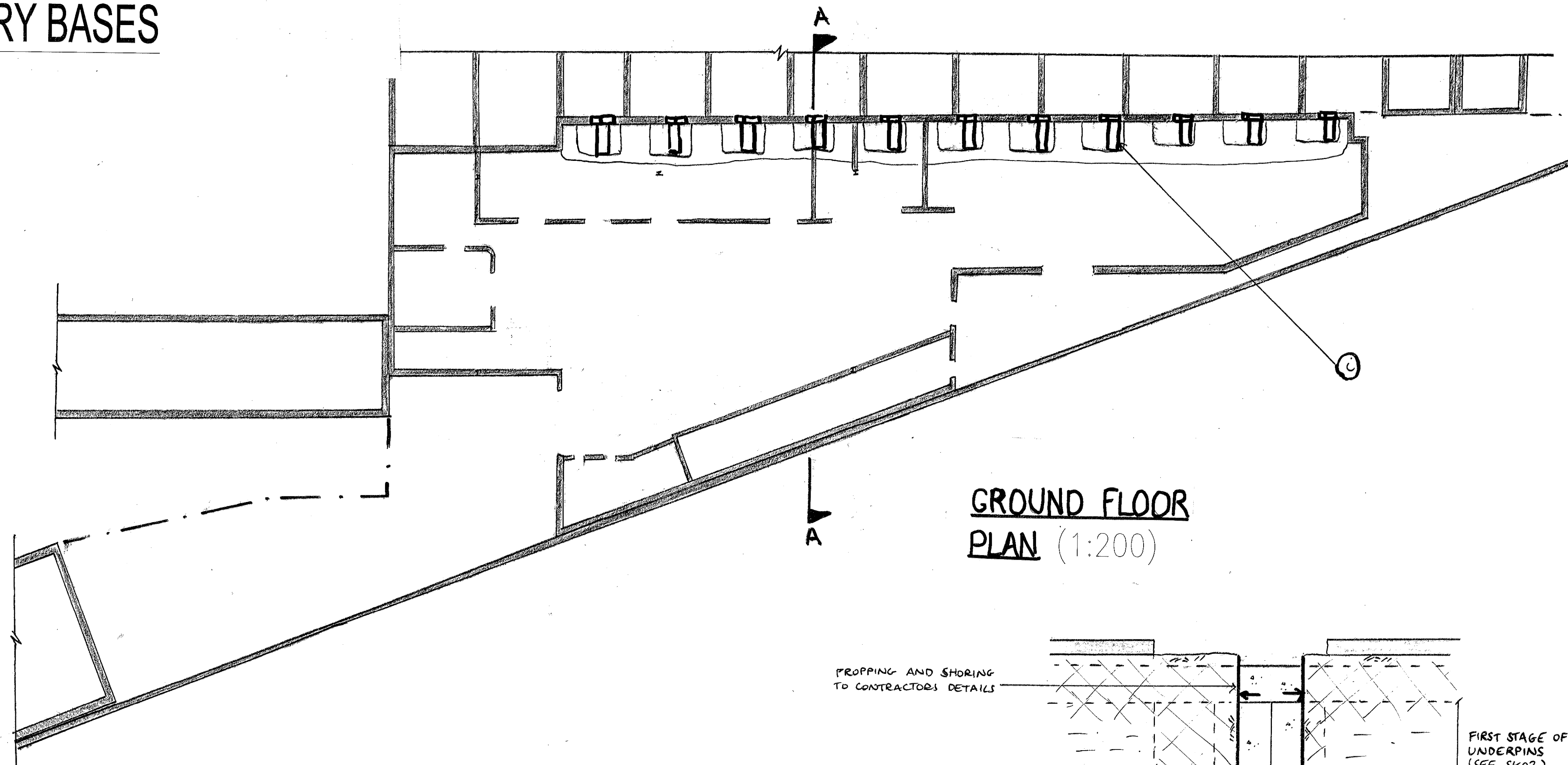
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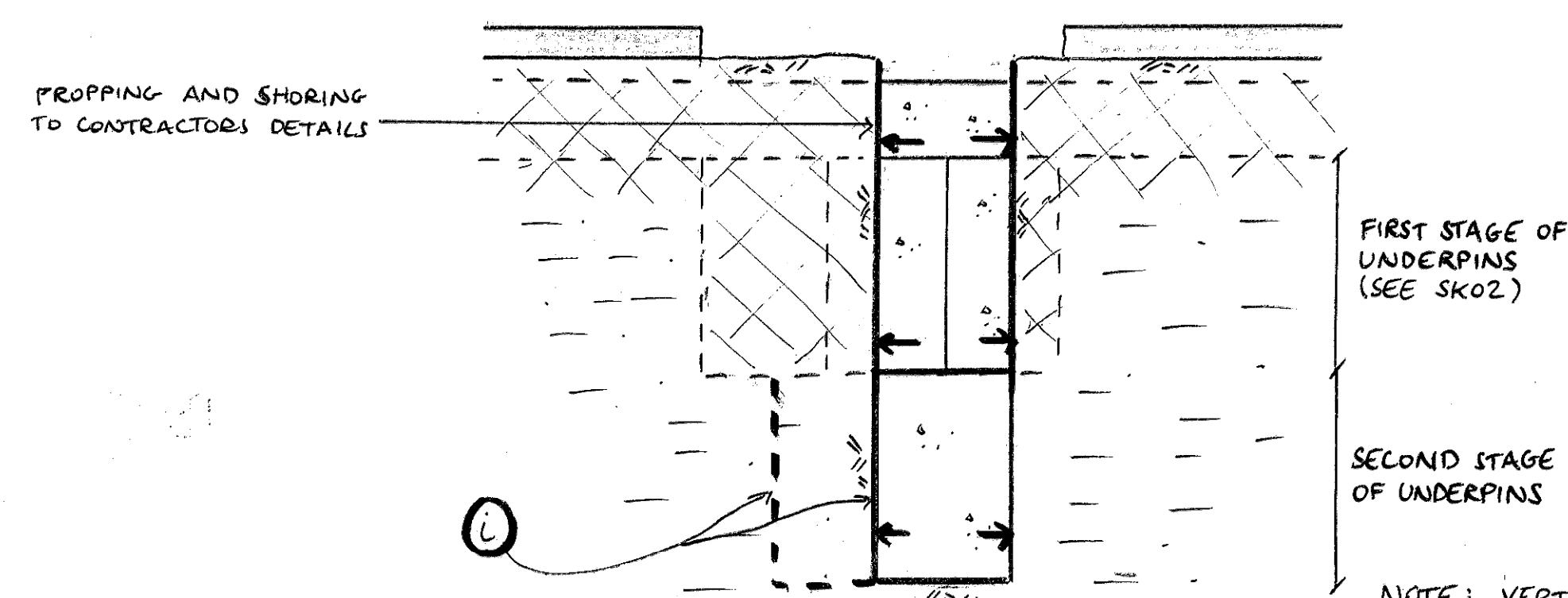
orig. no.	rev.
1492/11/SK02	A

Alan Baxter & Associates LLP is a Limited Liability Partnership registered in England, number 0533860. Registered office as above.

3. SECOND LEVEL UNDERPINNING & TEMPORARY BASES



GROUND FLOOR
PLAN (1:200)



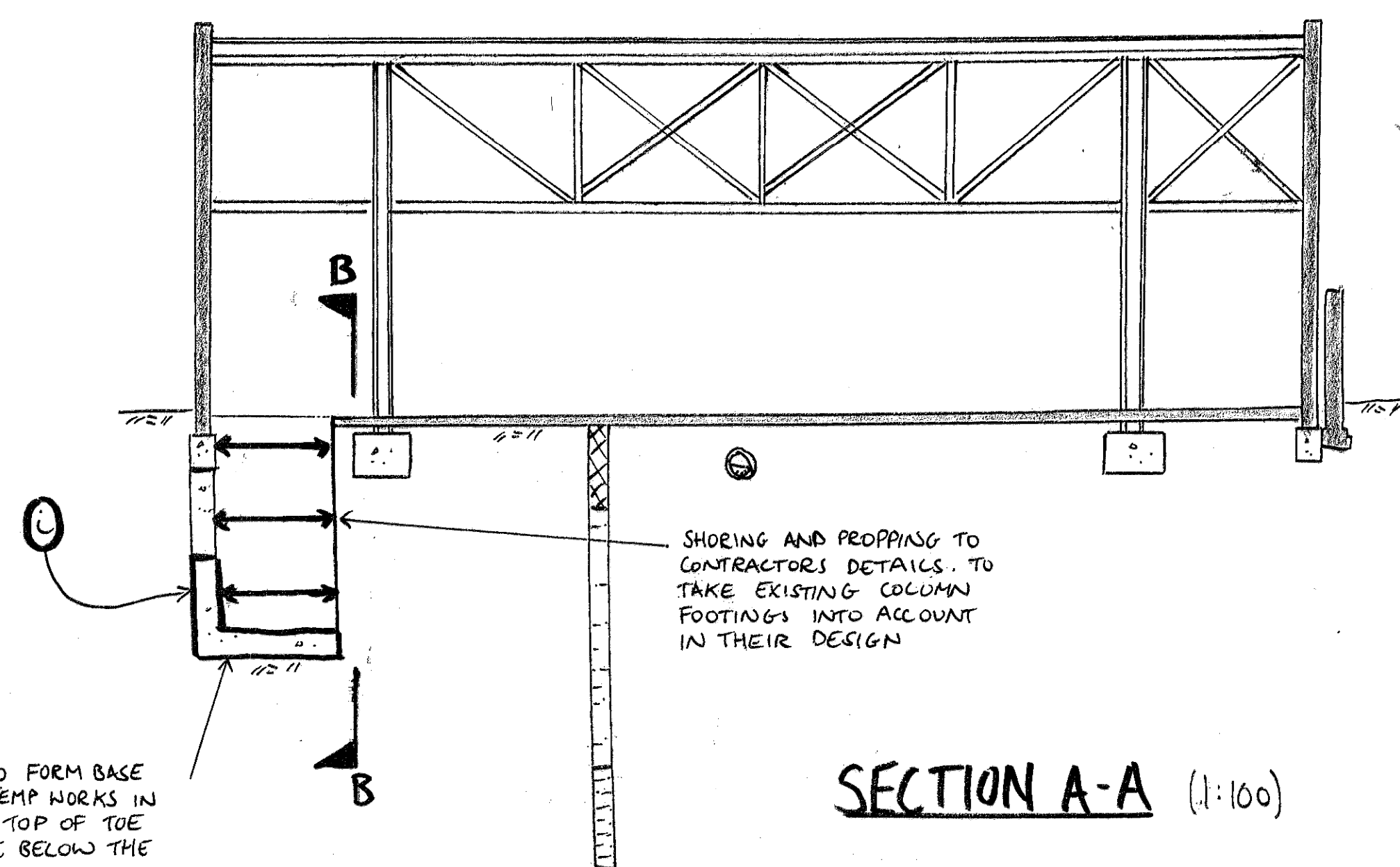
SECTION B-B (1:50)

FIRST STAGE OF
UNDERPINS
(SEE SK02)

SECOND STAGE
OF UNDERPINS

NOTE: VERTICAL JOINTS TO 2nd
STAGE STAGGERED WITH
THOSE IN 1st STAGE

① FORM SECOND STAGE UNDERPIN, SIMILAR TO FIRST STAGE NOTED ON SK02, BUT WITH CONCRETE TOE TO FORM A BASE FOR THE TEMPORARY WORKS TO BE INSTALLED. (SEE SK04) EXCAVATION FOR UNDERPIN TO BE LEFT OPEN AT THIS STAGE



SECTION A-A (1:100)

TOE TO FORM BASE
FOR TEMP WORKS IN
SK04. TOP OF TOE
TO BE BELOW THE
UNDERSIDE OF THE
PROPOSED BASEMENT
SLAB

SHORING AND PROPPING TO
CONTRACTORS DETAILS. TO
TAKE EXISTING COLUMN
FOOTINGS INTO ACCOUNT
IN THEIR DESIGN

notes

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3. THE CONTRACTOR SHALL ENSURE THAT THE STABILITY OF THE BUILDINGS IS MAINTAINED AT ALL STAGES OF CONSTRUCTION. HE SHALL DESIGN, INSTALL AND MAINTAIN ALL NECESSARY TEMPORARY WORKS AND PROGRAMME THE WORKS ACCORDINGLY.
4. EXISTING SERVICES ARE TO BE RE-ROUTED OR CAPPED OFF/ ISOLATED TO THE M&E ENGINEERS DETAILS BEFORE START OF WORKS.

A	16.1.15	ISSUED AS PART OF A REPORT	DP
-	9.1.15	ISSUED FOR INFORMATION	DP

Job
OLD DAIRY, WC1

Issue
**SEQUENCE OF CONSTRUCTION
ASSUMED IN THE DESIGN FOR THE
RETENSION OF THE NORTH
WALL SHEET 3**

drawn DP	checked TR
date JAN' 15	scale (original - A1) AS SHOWN

Alan Baxter

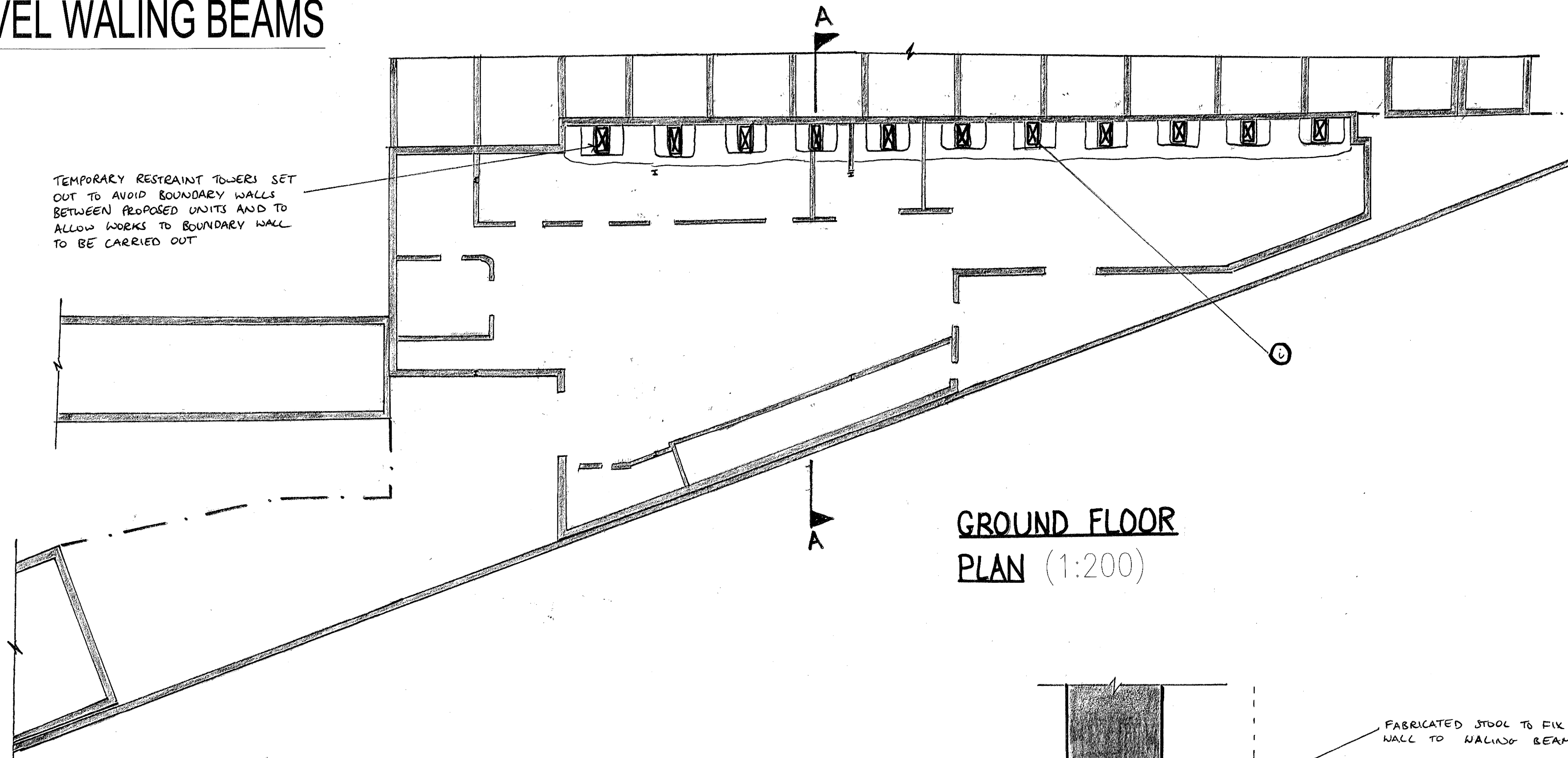
75 Cowcross Street London EC1M 6EL
tel 020 7250 1555
email aba@alanbaxter.co.uk

www.alanbaxter.co.uk

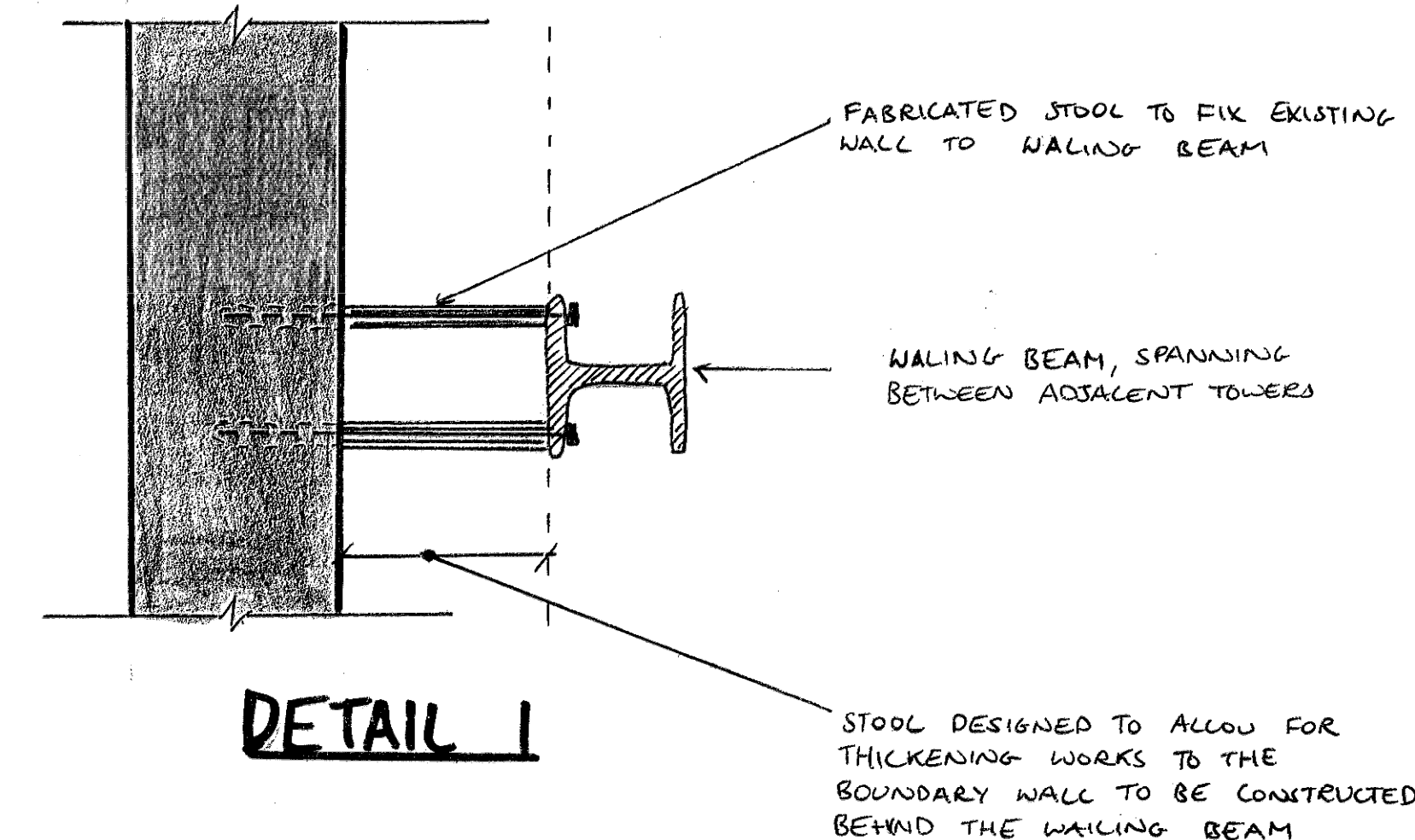
drg. no. 1492/11/SK03	rev. A
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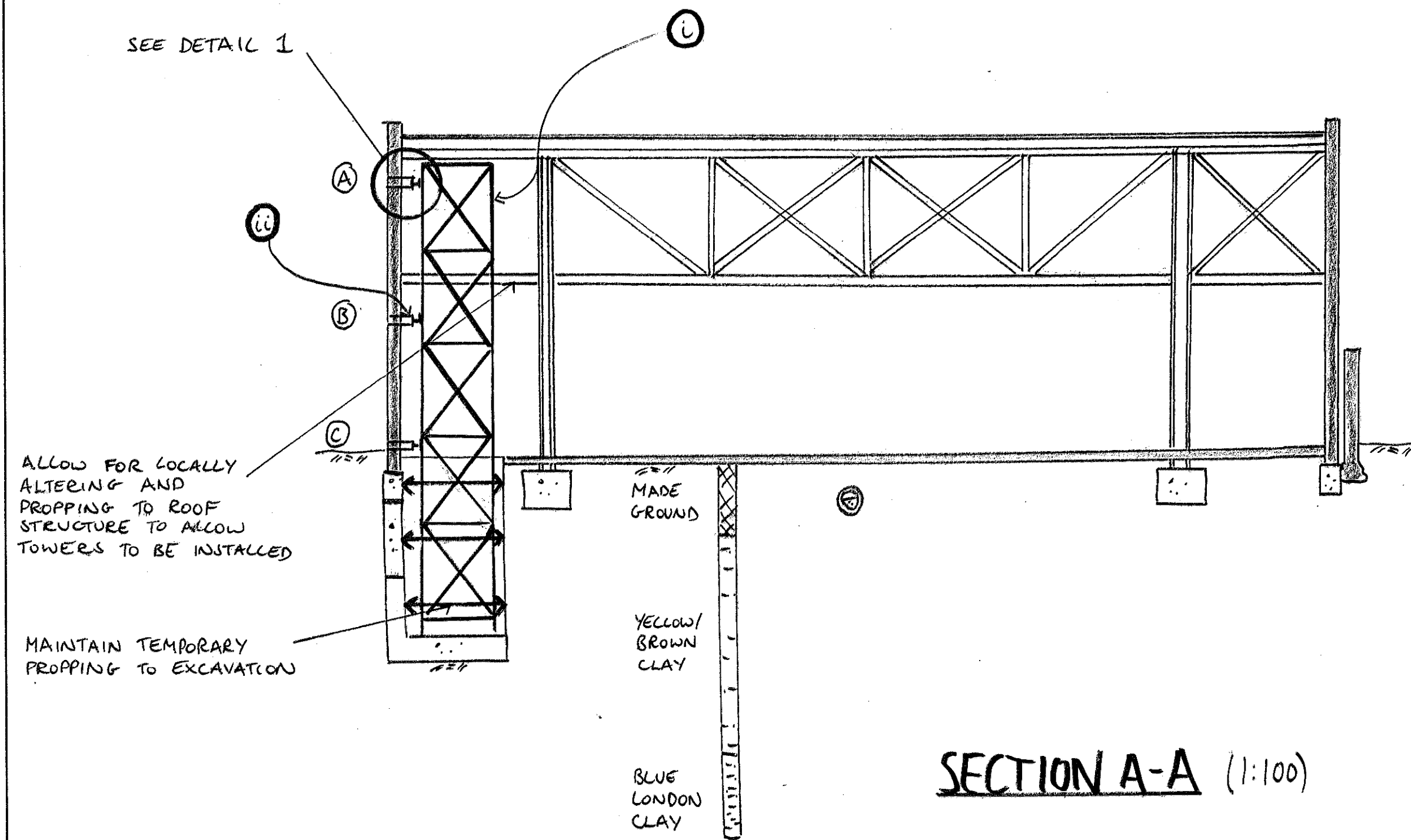
4. ERECT TEMPORARY TOWERS AND INSTALL UPPER LEVEL WALING BEAMS



GROUND FLOOR
PLAN (1:200)



DETAIL 1



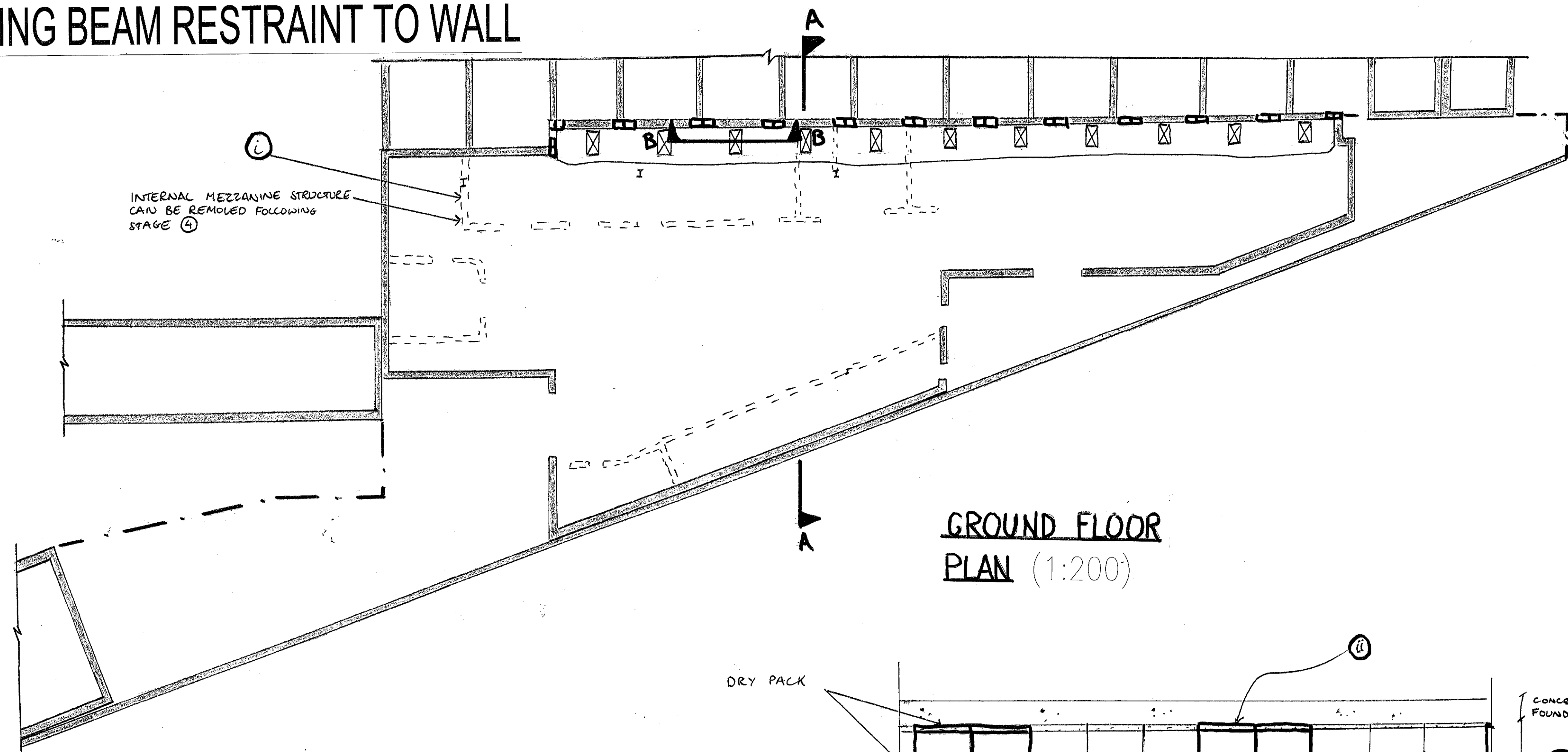
SECTION A-A (1:100)

- ① INSTALL TEMPORARY RESTRAINT TOWERS ALONG BOUNDARY WALL
- ② INSTALL WALING BEAMS BETWEEN TOWERS AT LOCATIONS A B C

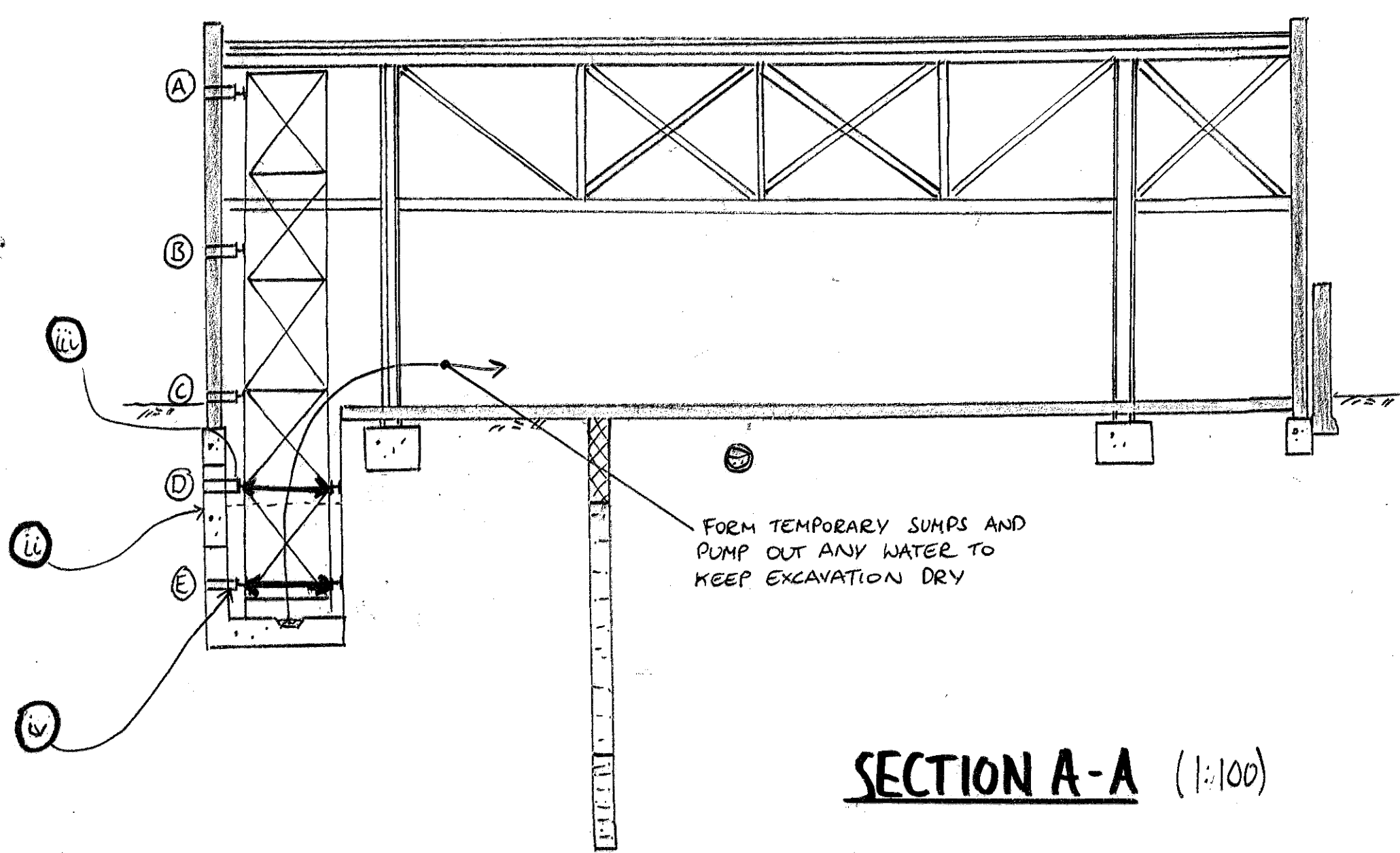
- notes
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 4. EXISTING SERVICES ARE TO BE RE-ROUTED OR CAPPED OFF/ ISOLATED TO THE M&E ENGINEERS DETAILS BEFORE START OF WORKS.

1:1.15	ISSUED AS PART OF A REPORT	DP
JOB OLD DAIRY, WC1		
THE SEQUENCE OF CONSTRUCTION ASSUMED IN THE DESIGN FOR THE RETENSION OF THE NORTH WALL SHEET 4		
drawn DP	checked TR	
date JAN' 15	scale (original - A1) AS SHOWN	
Alan Baxter 75 Cowcross Street London EC1M 6EL tel 020 7250 1555 email aba@alanbaxter.co.uk www.alanbaxter.co.uk		
orig. no. 1492/11/SK04	REV.	

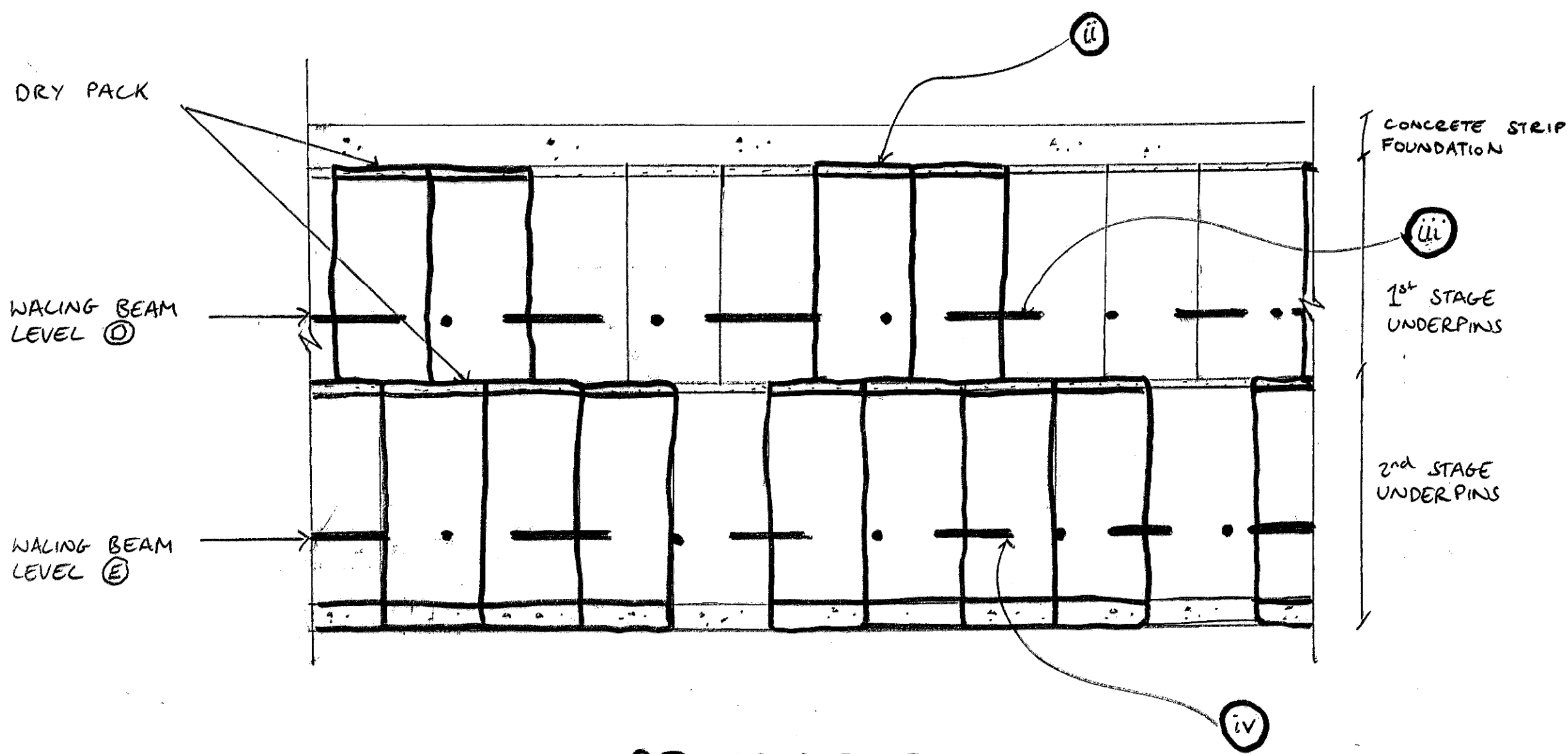
5. COMPLETE UNDERPINNING & INSTALL LOWER LEVEL WALING BEAM RESTRAINT TO WALL



GROUND FLOOR
PLAN (1:200)



SECTION A-A (1:100)



SECTION B-B (1:50)
ELEVATION ON UNDERPINNING

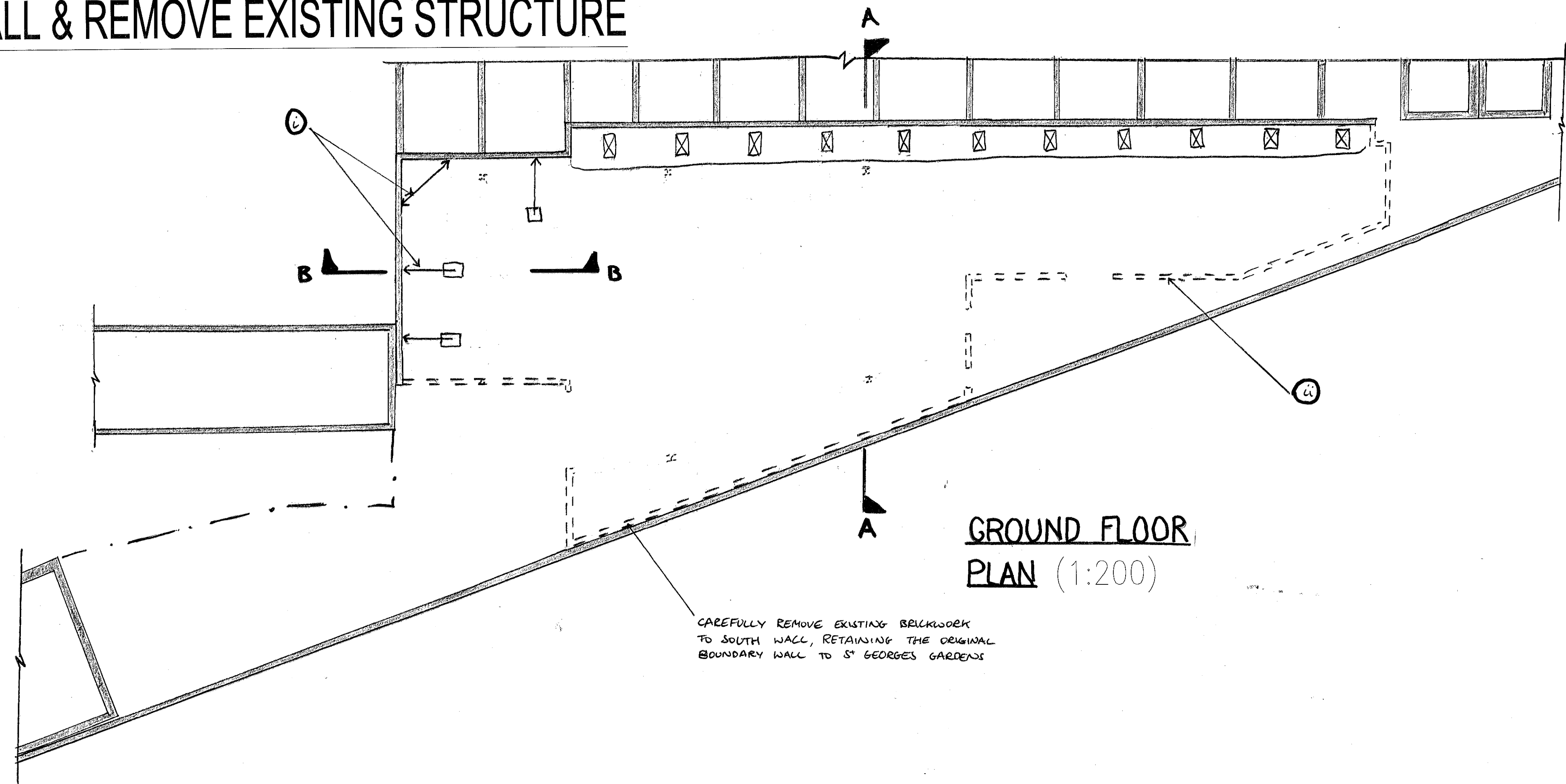
- i REMOVE MEZZANINE
- ii CARRY OUT REMAINDER OF 1st STAGE UNDERPINS AS PER SEQUENCE ON SK02
- iii EXCAVATE IN FRONT OF THE BOUNDARY WALL TO 200mm ABOVE THE BASE OF THE 1st STAGE UNDERPINS, INSTALL A WALING BEAM AND PROP ACROSS EXCAVATION OFF TOWER LOCATION ①
- iv CARRY OUT THE REMAINING 2nd STAGE UNDERPINS, EXCAVATE AND PROP AS PER ii AND iii AT LOCATION ②

- notes
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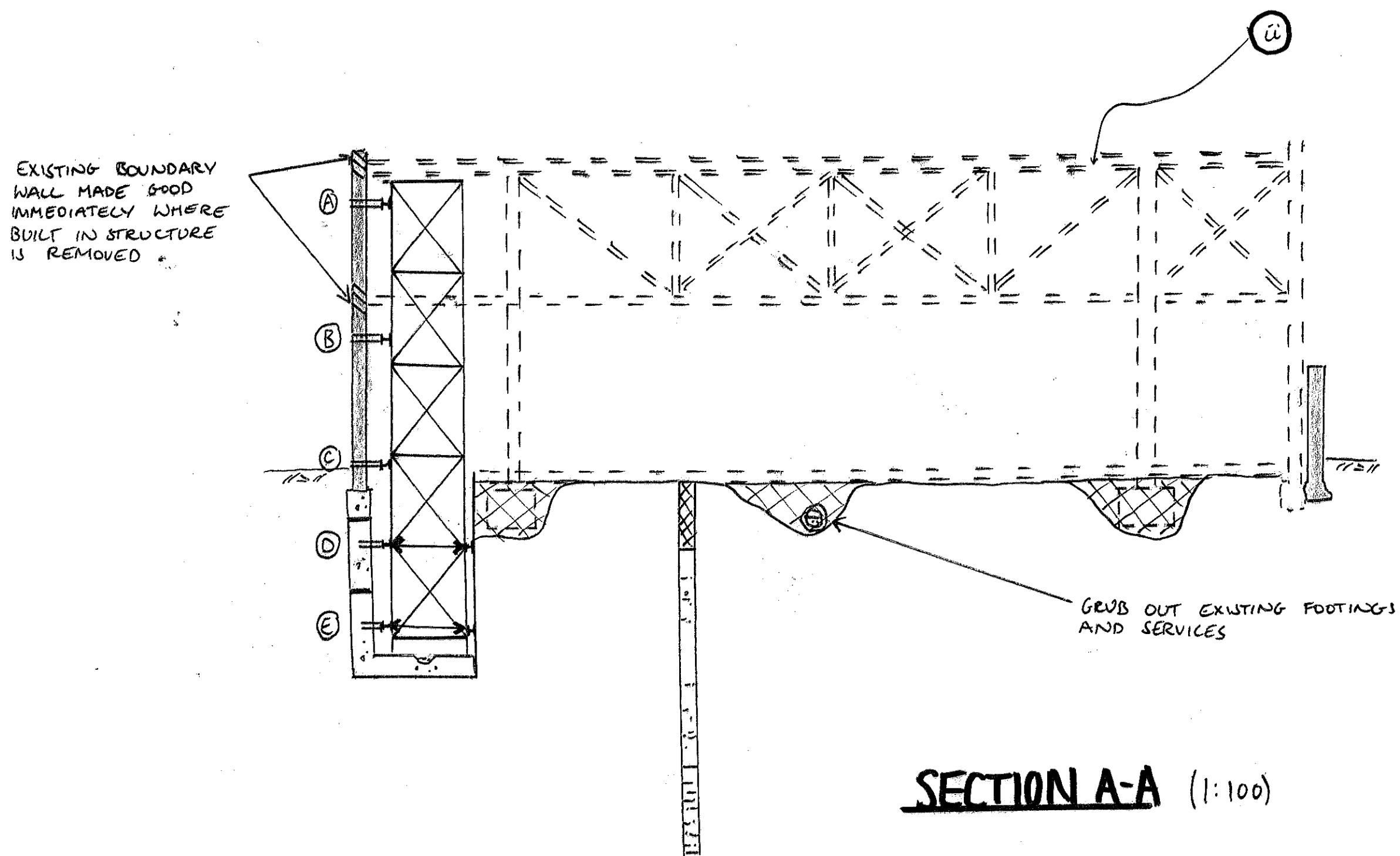
16.1.15		ISSUED AS PART OF A REPORT		DP
Job OLD DAIRY, WC1				
SEQUENCE OF CONSTRUCTION ASSUMED IN THE DESIGN FOR THE RETENSION OF THE NORTH WALL SHEET 5				
Design DP	checked TR	date JAN' 15		
		scale (original - A1) AS SHOWN		
Alan Baxter				
75 Cowcross Street London EC1M 6EL tel 020 7250 1555 email aba@alanbaxter.co.uk www.alanbaxter.co.uk				
drg. no. 1492/11/SK05		rev.		

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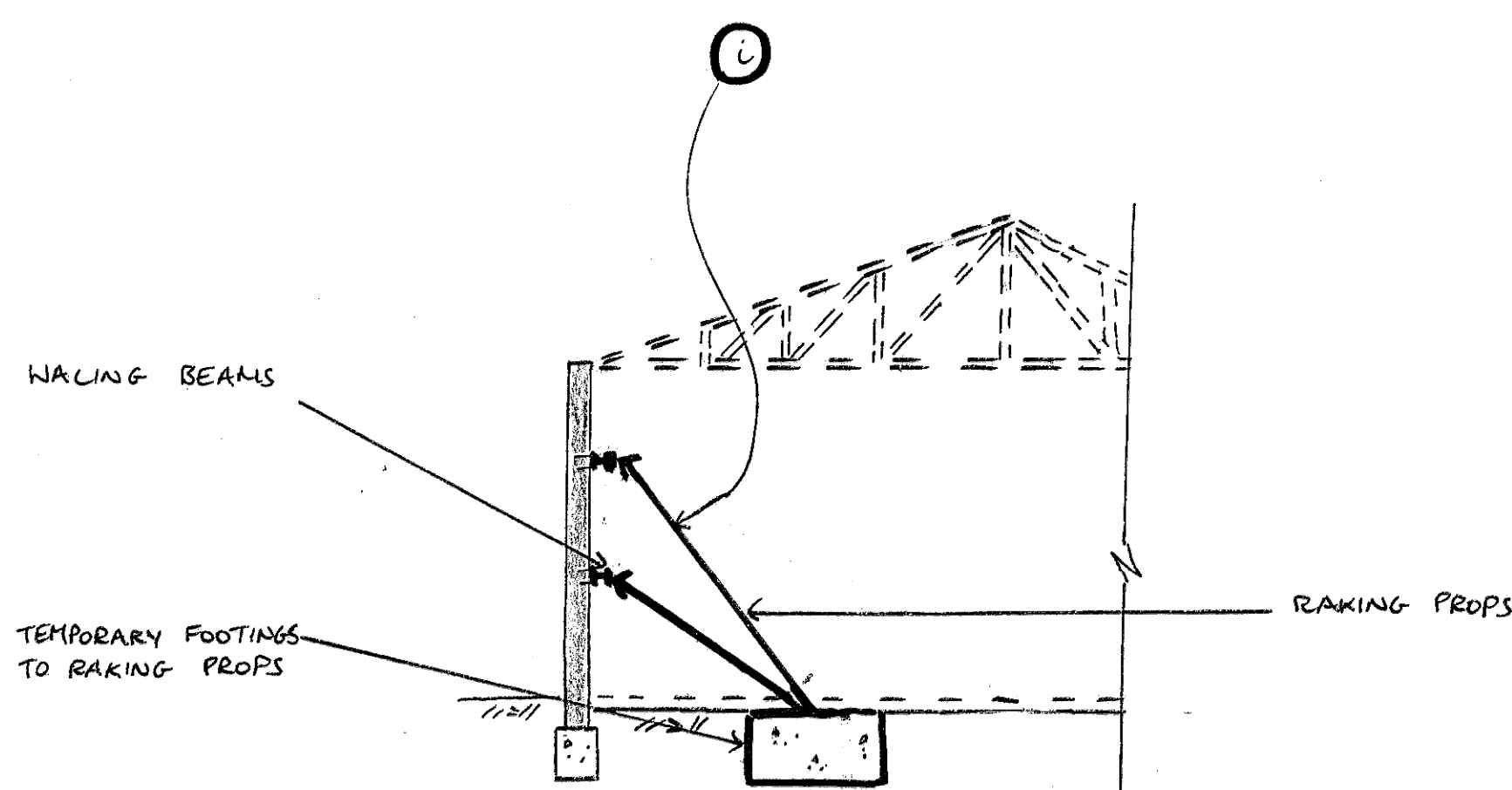
6. INSTALL RAKING PROPS TO WEST END OF NORTH WALL & REMOVE EXISTING STRUCTURE



GROUND FLOOR PLAN (1:200)



SECTION A-A (1:100)



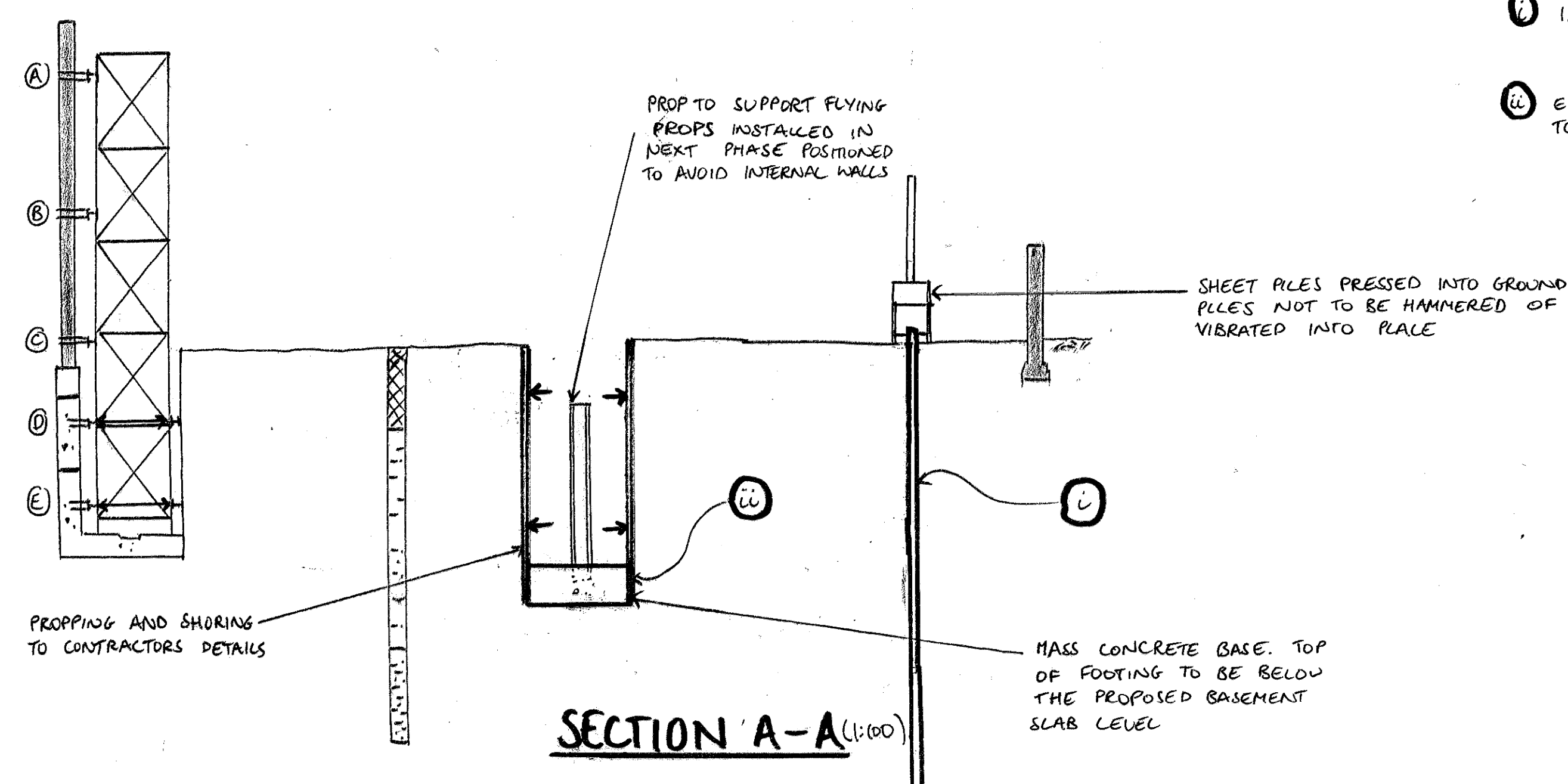
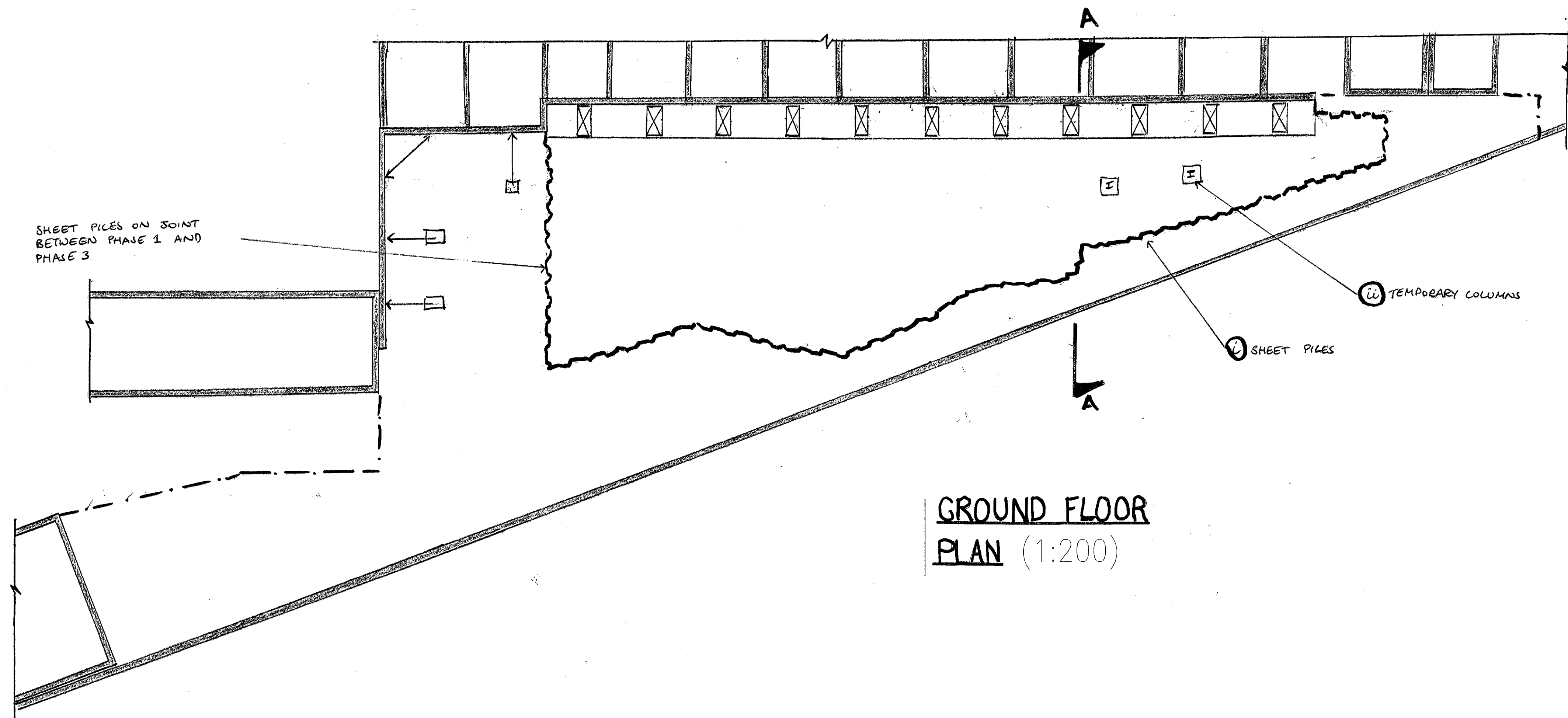
DETAIL B-B (1:100)

- 1. INSTALL TEMPORARY RAKING PROPS TO RETAINED WALL IN THE PHASE 3 SECTION OF THE SITE
- 2. WITH THE NORTH WALL HELD IN PLACE BY THE TEMPORARY TOWERS AND BRACING, CAREFULLY REMOVE THE EXISTING STRUCTURE, MAKING GOOD THE RETAINED BRICKWORK

- notes
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16.1.15	ISSUED AS PART OF A REPORT	DP
JOB OLD DAIRY, WC1		
SEQUENCE OF CONSTRUCTION ASSUMED IN THE DESIGN FOR THE RETENSION OF THE NORTH WALL SHEET 6		
drawn DP	checked TR	
date JAN' 15	scale (original - A1) AS SHOWN	
Alan Baxter		
75 Cowcross Street London EC1M 6EL tel 020 7250 1555 email aba@alanbaxter.co.uk www.alanbaxter.co.uk		
diag. no. 1492/11/SK06	rev.	

7. INSTALL SHEET PILING TO PHASE 1



- (i) INSTALL SHEET PILING TO FORM TEMPORARY RESTRAINT WALL TO EXCAVATION
- (ii) EXCAVATE LOCAL PITS AND INSTALL MASS CONCRETE PADS AND TEMPORARY STEEL COLUMNS TO SUPPORT FLYING PROPS TO BASEMENT EXCAVATION

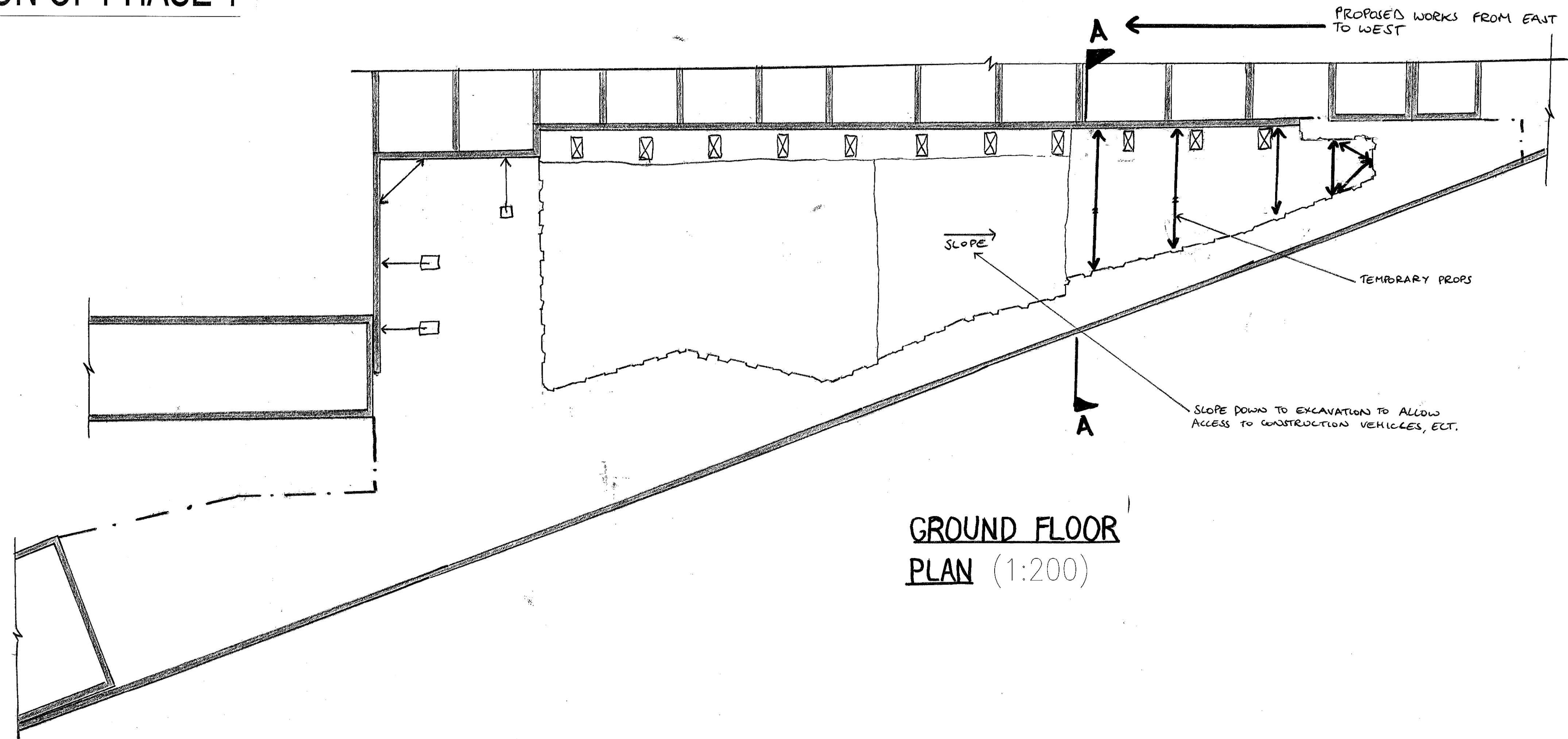
notes

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16.1.15	ISSUED AS PART OF A REPORT	DP
Job OLD DAIRY, WC1		
Title SEQUENCE OF CONSTRUCTION ASSUMED IN THE DESIGN FOR THE RETENSION OF THE NORTH WALL SHEET 7		
drawn DP	checked TR	
date JAN 15	scale (original - A1) AS SHOWN	
Alan Baxter 75 Cowcross Street London EC1M 6EL tel 020 7250 1555 email aba@alanbaxter.co.uk www.alanbaxter.co.uk		

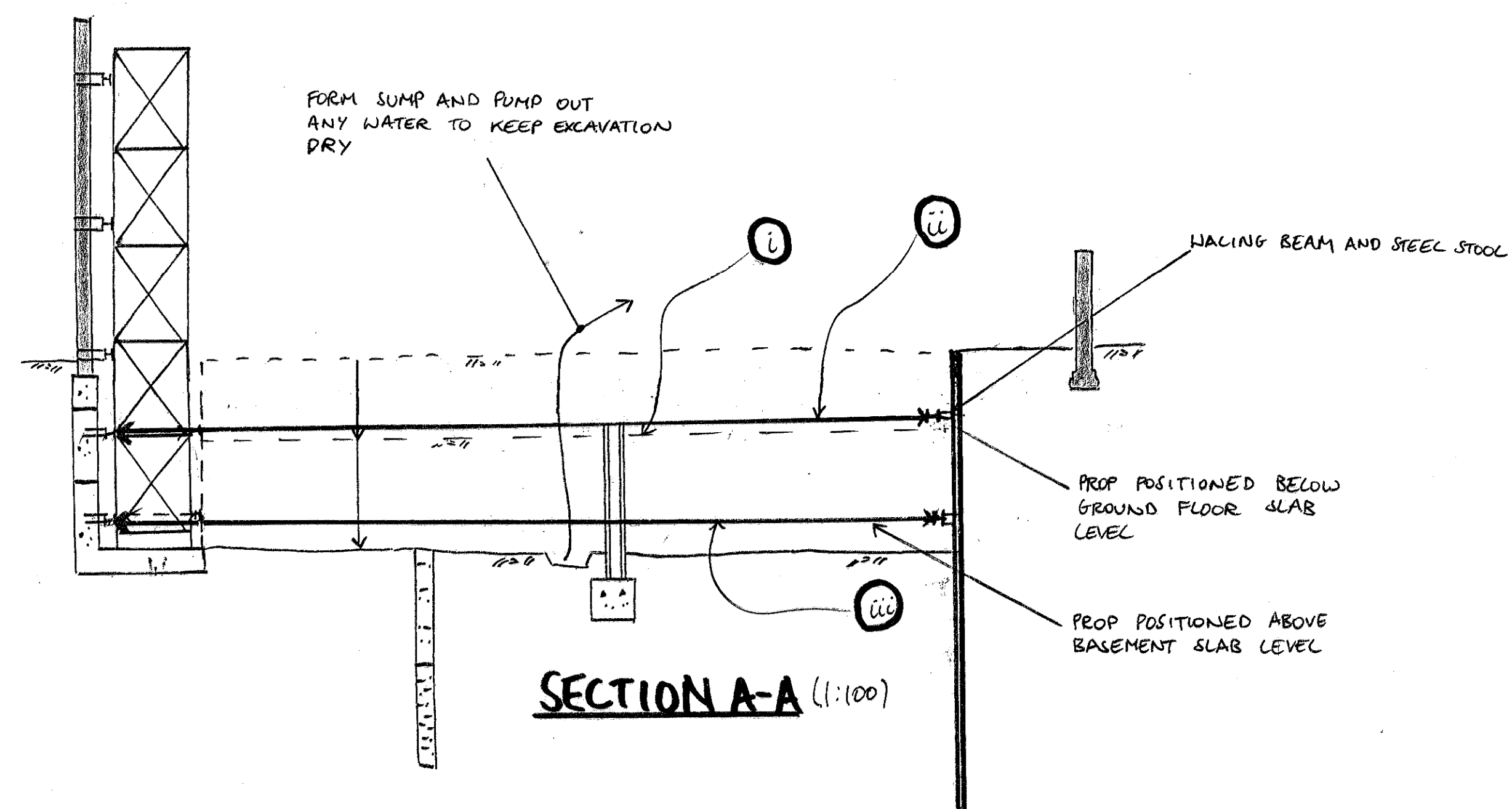
diag. no. 1492/11/SK07	rev.
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8. EXCAVATION OF PHASE 1



GROUND FLOOR
PLAN (1:200)

- i) BEGIN EXCAVATING THE BASEMENT, STARTING AT THE EASTERN END OF THE SITE
- ii) INSTALL FIRST LEVEL OF PROPPING TO BASEMENT WALLS
- iii) CONTINUE EXCAVATING AND INSTALL SECOND LEVEL OF PROPS AT BASE OF THE EXCAVATION



SECTION A-A (1:100)

notes

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-	16.1.15	ISSUED AS PART OF A REPORT	DP
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Job
OLD DAIRY, WC1

SEQUENCE OF CONSTRUCTION
ASSUMED IN THE DESIGN FOR THE
RETENSION OF THE NORTH
WALL SHEET 8

drawn
DP

checked
TR

date
JAN' 15

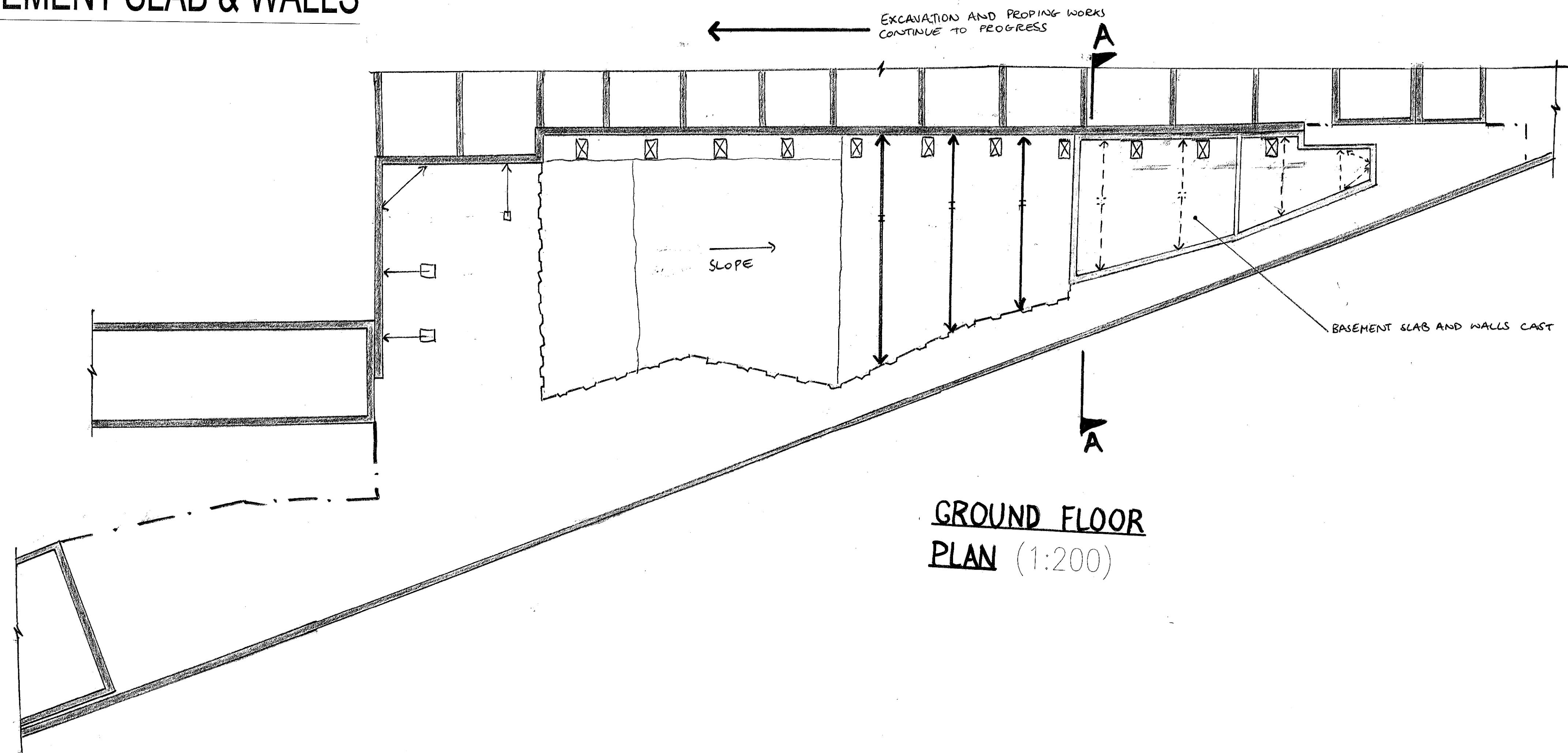
scale (original - A1)
AS SHOWN

Alan Baxter

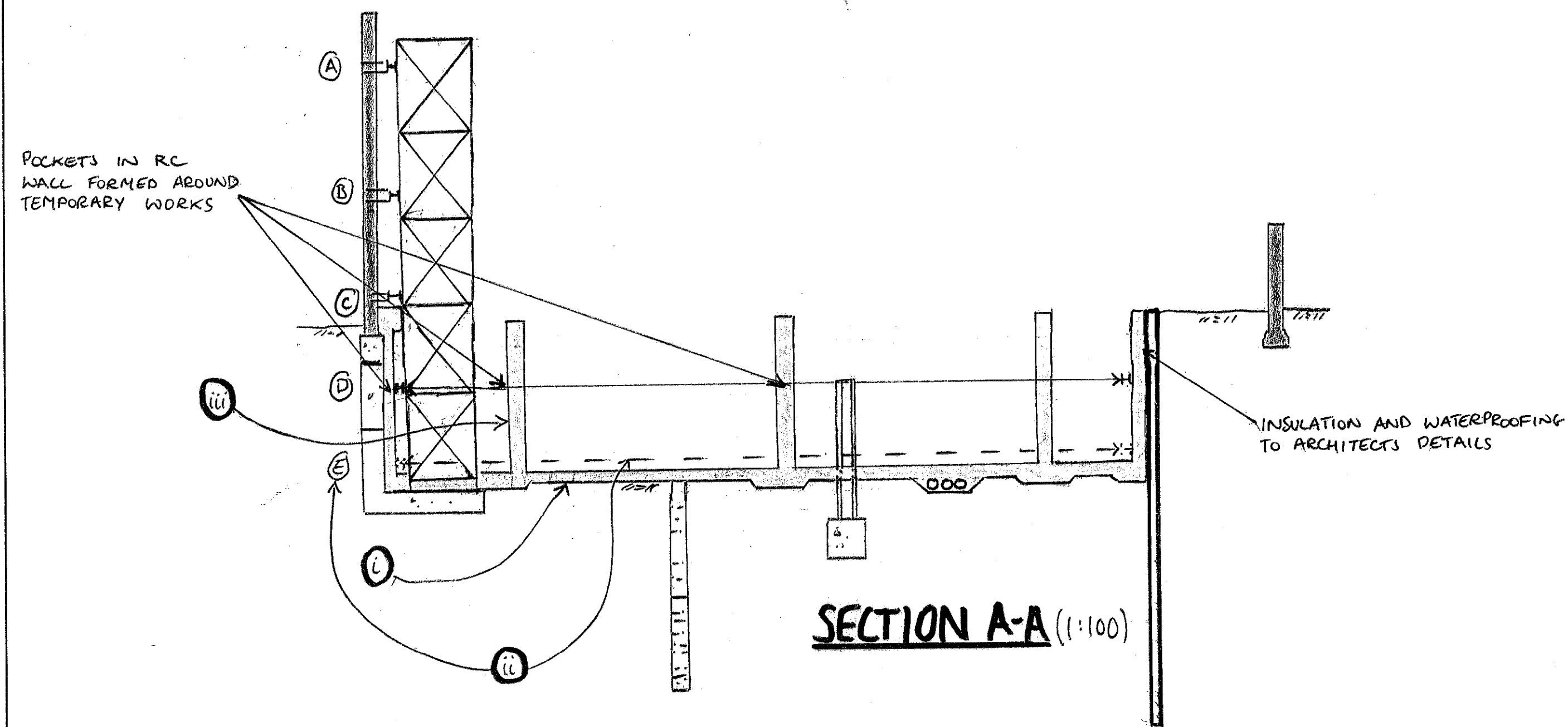
75 Cowcross Street London EC1M 6EL
tel 020 7250 1555
email aba@alanbaxter.co.uk
www.alanbaxter.co.uk

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9. FORM BASEMENT SLAB & WALLS



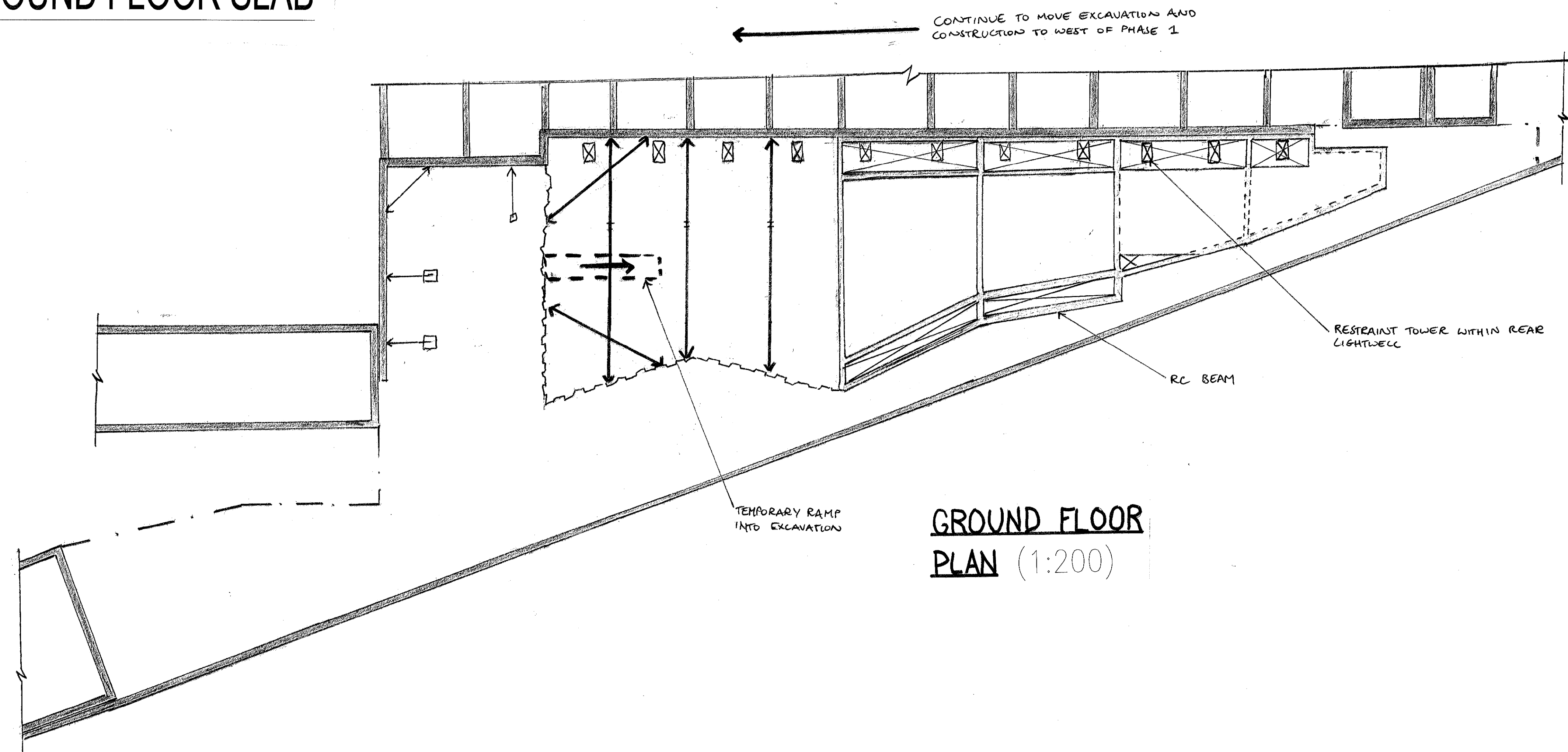
- ① CONSTRUCT NEW BELOW GROUND DRAINAGE, FOOTINGS AND BASEMENT SLAB
- ② WHEN THE BASEMENT SLAB HAS REACHED SUFFICIENT STRENGTH, REMOVE TEMPORARY PROP AT LOWER LEVEL INCLUDING WAILING BEAM LEVEL ③
- ③ CONSTRUCT BASEMENT WALLS WITH POCKETS AROUND WAILING BEAM LEVEL ④



- notes
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-	16.1.15	ISSUED AS PART OF A REPORT		DP
job				
OLD DAIRY, WC1				
title				
SEQUENCE OF CONSTRUCTION ASSUMED IN THE DESIGN FOR THE RETENSION OF THE NORTH WALL SHEET 9				
drawn		checked		
DP		TR		
date		scale (original - A1)		
JAN 15		AS SHOWN		
<div>Alan Baxter</div> <div>75 Cowcross Street London EC1M 6EL tel 020 7250 1555 email aba@alanbaxter.co.uk www.alanbaxter.co.uk</div>				
drg. no.				rev.
1492/11/SK09				
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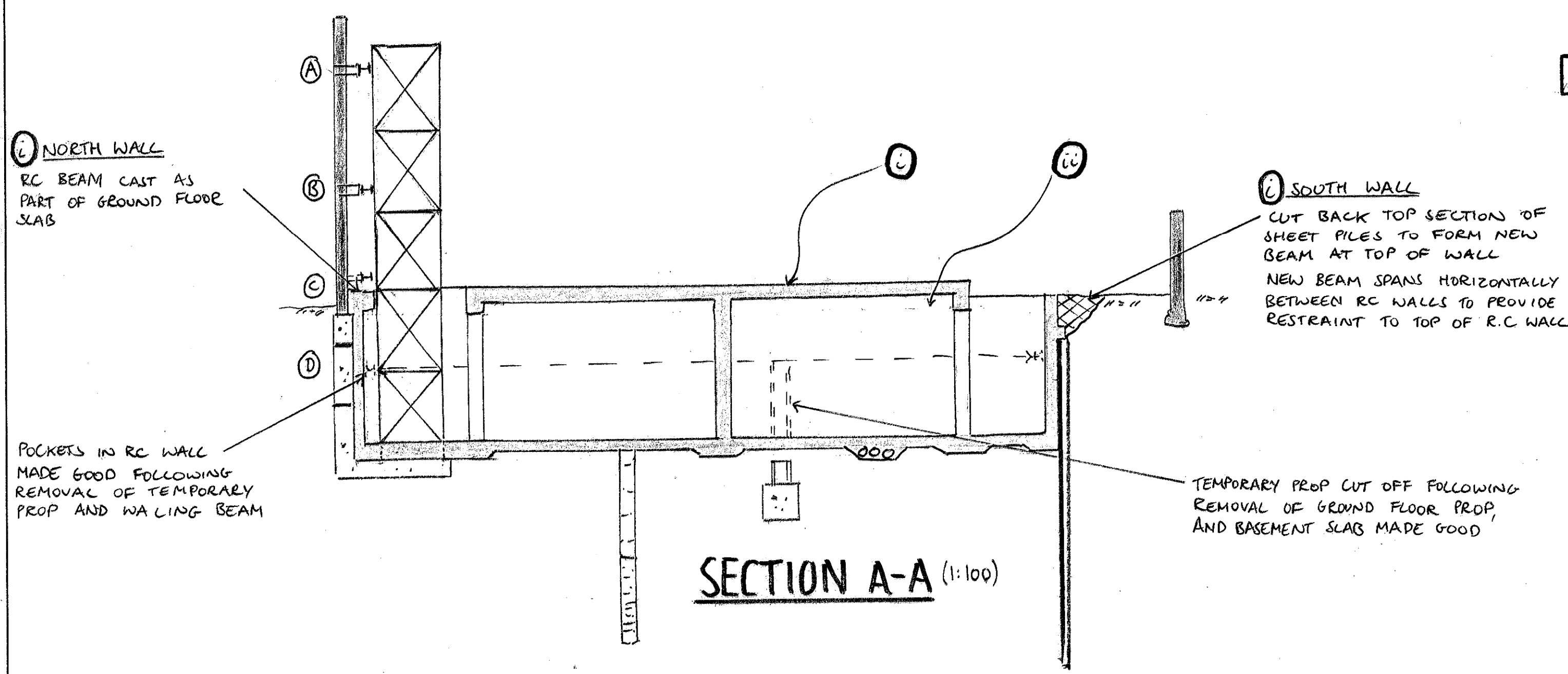
10. FORM GROUND FLOOR SLAB



GROUND FLOOR PLAN (1:200)

- ① CONSTRUCT GROUND FLOOR SLAB AND HORIZONTAL BEAM TO NORTH WALL AND SOUTH WALL
- ② WHEN THE GROUND FLOOR SLAB/BEAM HAS REACHED SUFFICIENT STRENGTH, REMOVE GROUND FLOOR LEVEL PROP INCLUDING WALING SUPPORT ③ AND ④

THE NORTH WALL IS NOW SUPPORTED BELOW GROUND FLOOR LEVEL BY THE NEW STRUCTURE



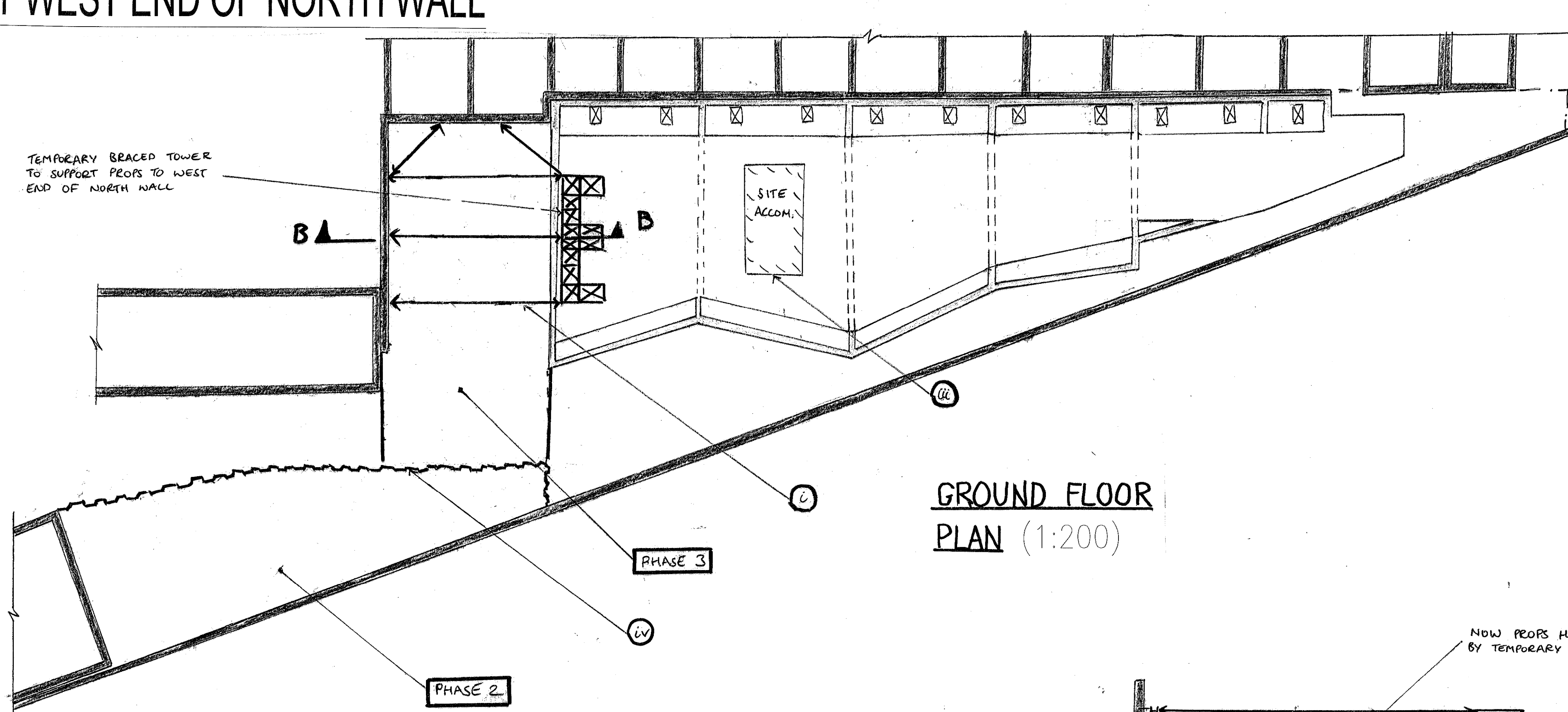
SECTION A-A (1:100)

- notes
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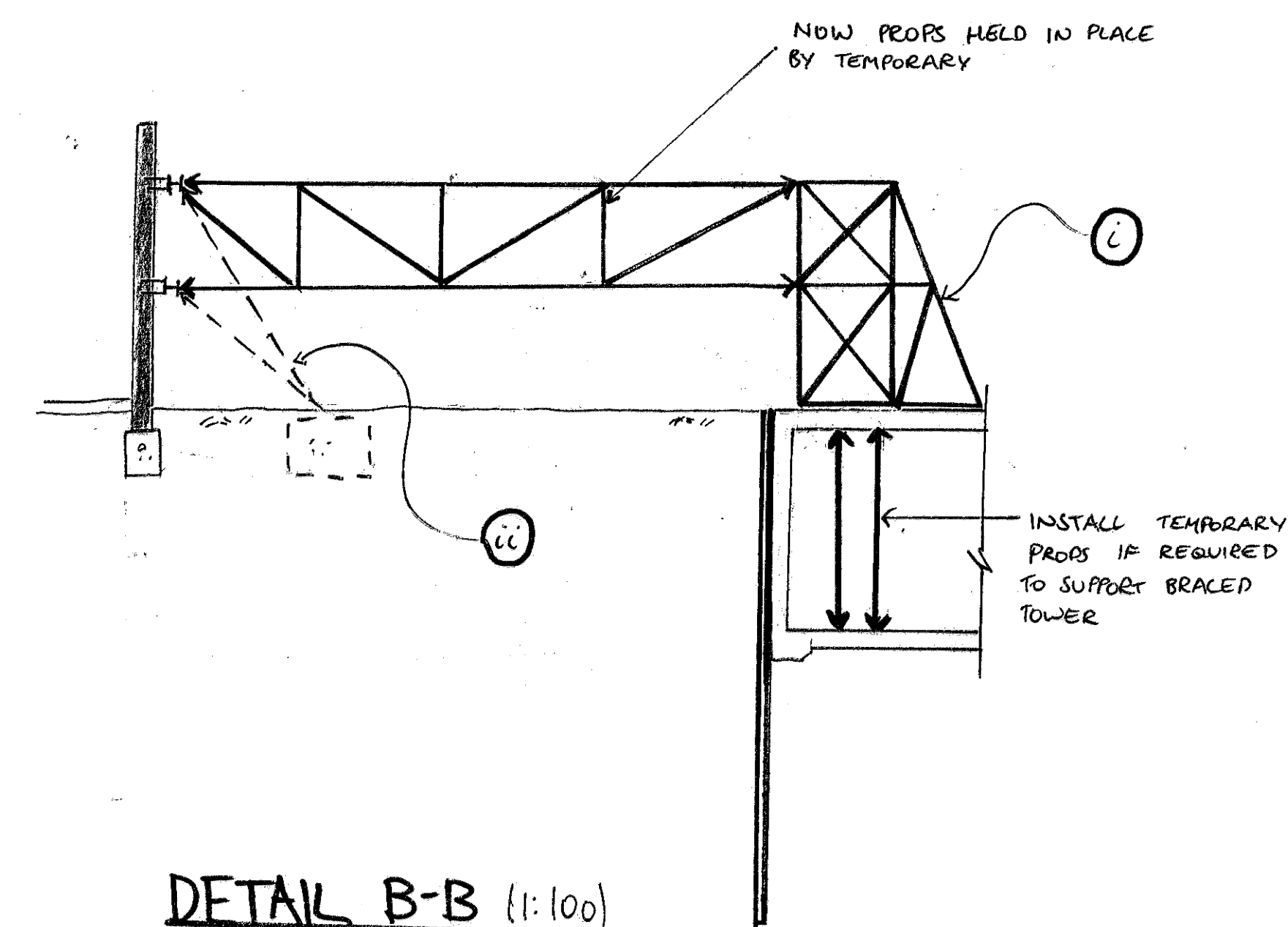
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THE OLD DAIRY, WC1			
SEQUENCE OF CONSTRUCTION ASSUMED IN THE DESIGN FOR THE RETENTION OF THE NORTH WALL. SHEET 10			
drawn	checked		
DP	TR		
date	scale (original - A1)		
JAN'15	AS SHOWN		
Alan Baxter			
75 Cowcross Street London EC1M 6EL tel 020 7250 1555 email aba@alanbaxter.co.uk www.alanbaxter.co.uk			
orig. no.		rev.	
1492/11/SK10			

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11. INSTALL BRACED TOWER TO SUPPORT TEMPORARY PROPS AT WEST END OF NORTH WALL



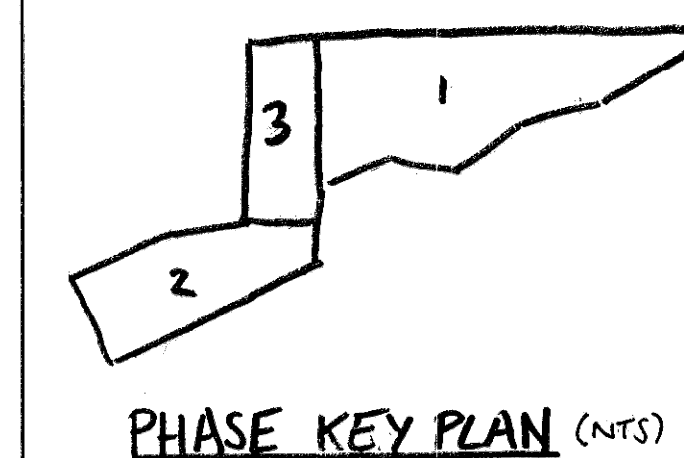
REFER TO SK13 FOR DEVELOPMENT IN CONSTRUCTION OF PHASE 1



DETAIL B-B (1:100)

- ① CONSTRUCT TEMPORARY BRACED TOWER AT WEST END OF PHASE 1, PROP BETWEEN NORTH WALL IN PHASE 3 AND TEMPORARY BRACED TOWER
- ② REMOVE TEMPORARY RAKING PROPS AND FOOTINGS
- ③ MOVE SITE ACCOMODATION ONTO GROUND FLOOR SLAB OF WEST END OF PHASE 1. INSTALL TEMPORARY PROPS TO SUPPORT GROUND FLOOR SLAB WHERE REQUIRED
- ④ SHEET PILE NORTH AND EAST OF BASEMENT IN PHASE 2 OF CONSTRUCTION

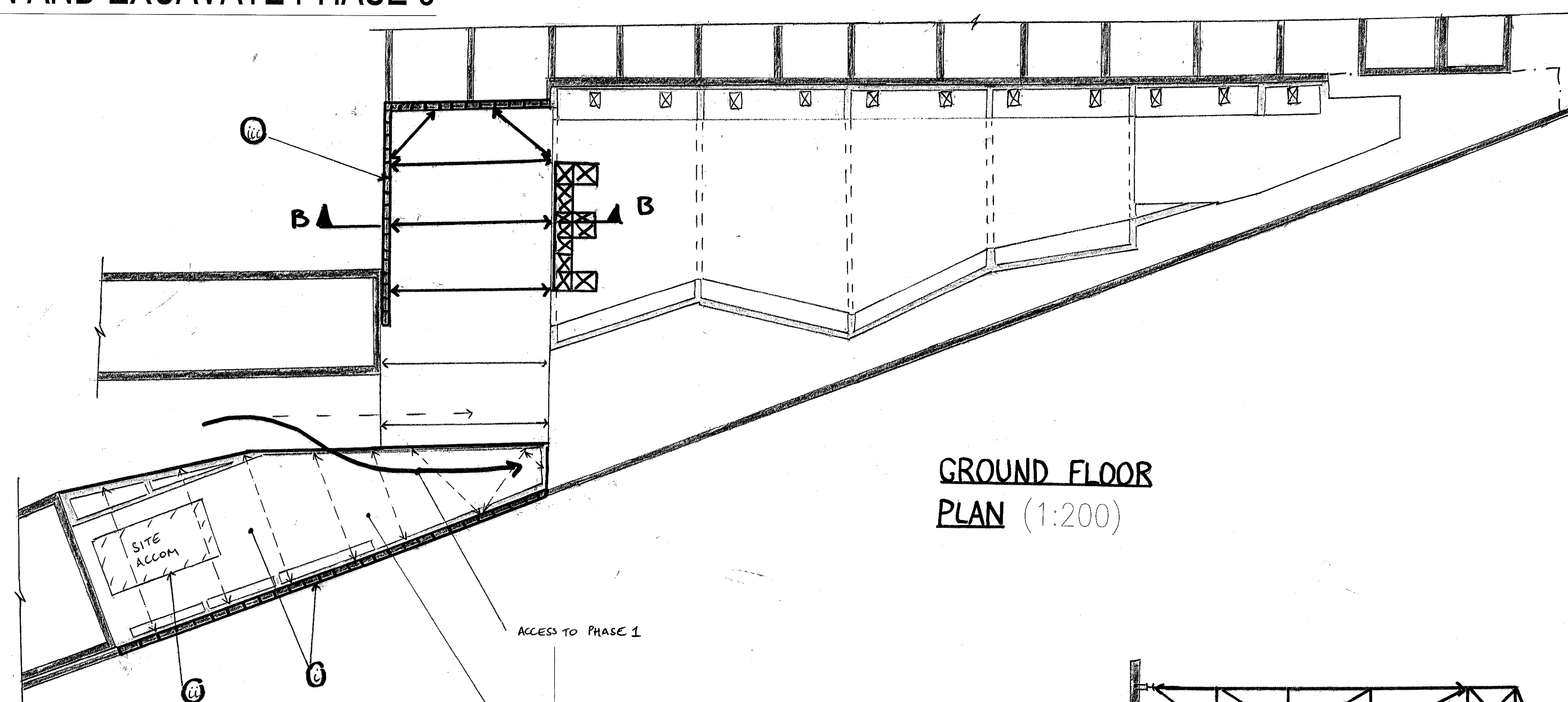
- NOTES
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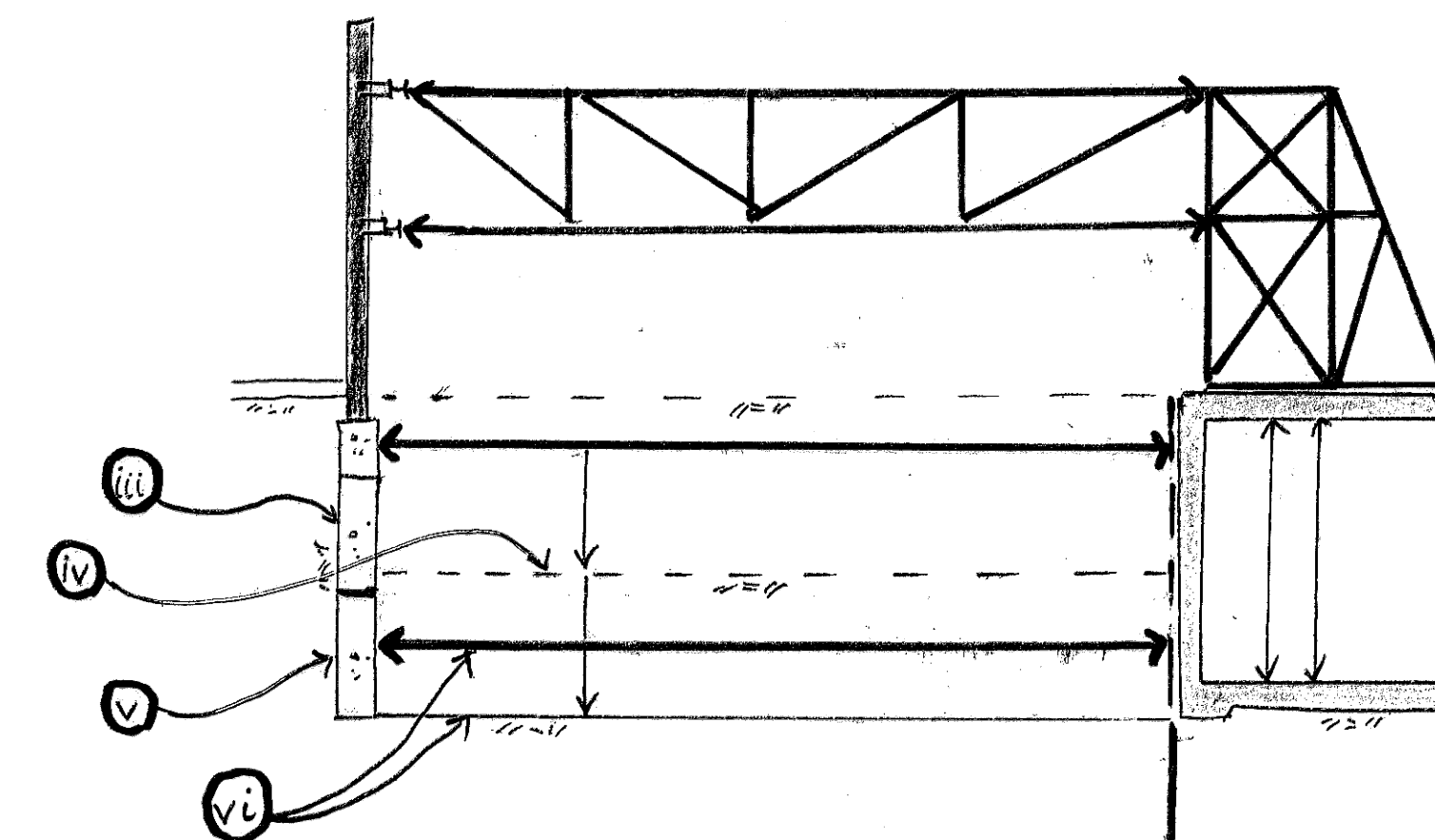
PHASE KEY PLAN (NTS)

16.1.15	ISSUED AS PART OF A REPORT	DP
OLD DAIRY, WC1		
SEQUENCE OF CONSTRUCTION ASSUMED IN THE DESIGN FOR THE RETENSION OF THE NORTH WALL SHEET 11		
drawn DP	checked TR	
date JAN' 15	scale (original - A1) AS SHOWN	
Alan Baxter 75 Cowcross Street London EC1M 6EL tel 020 7250 1555 email aba@alanbaxter.co.uk www.alanbaxter.co.uk		
drp. no. 1492/11/SK11	rev.	

12. CONSTRUCT PHASE 2 TO GROUND LEVEL & UNDERPIN AND EXCAVATE PHASE 3



GROUND FLOOR
PLAN (1:200)



DETAIL B-B (1:100)

- (i) EXCAVATE, UNDERPIN AND CONSTRUCT PHASE 2 TO GROUND FLOOR LEVEL, SIMILAR TO PHASE 1
- (ii) MOVE SITE ACCOMODATION AND SITE ACCESS ONTO PHASE 2. TEMPORARY PROPPING GROUND FLOOR SLAB WHERE REQUIRED
- (iii) FORM 1st LEVEL UNDERPINS TO PHASE 3 TRADITIONALLY
- (iv) EXCAVATE + PROP TO ABOVE BASE OF 1st LEVEL OF PINS AND PROP
- (v) FORM SECOND LEVEL OF UNDERPINS
- (vi) EXCAVATE AND PROP

notes

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16.1.15 ISSUED AS PART OF A REPORT DP

OLD DAIRY, WC1

SEQUENCE OF CONSTRUCTION
ASSUMED IN THE DESIGN FOR THE
RETENSION OF THE NORTH
WALL SHEET 12

drawn DP checked TR
date JAN' 15 scale (original - A1)
AS SHOWN

Alan Baxter

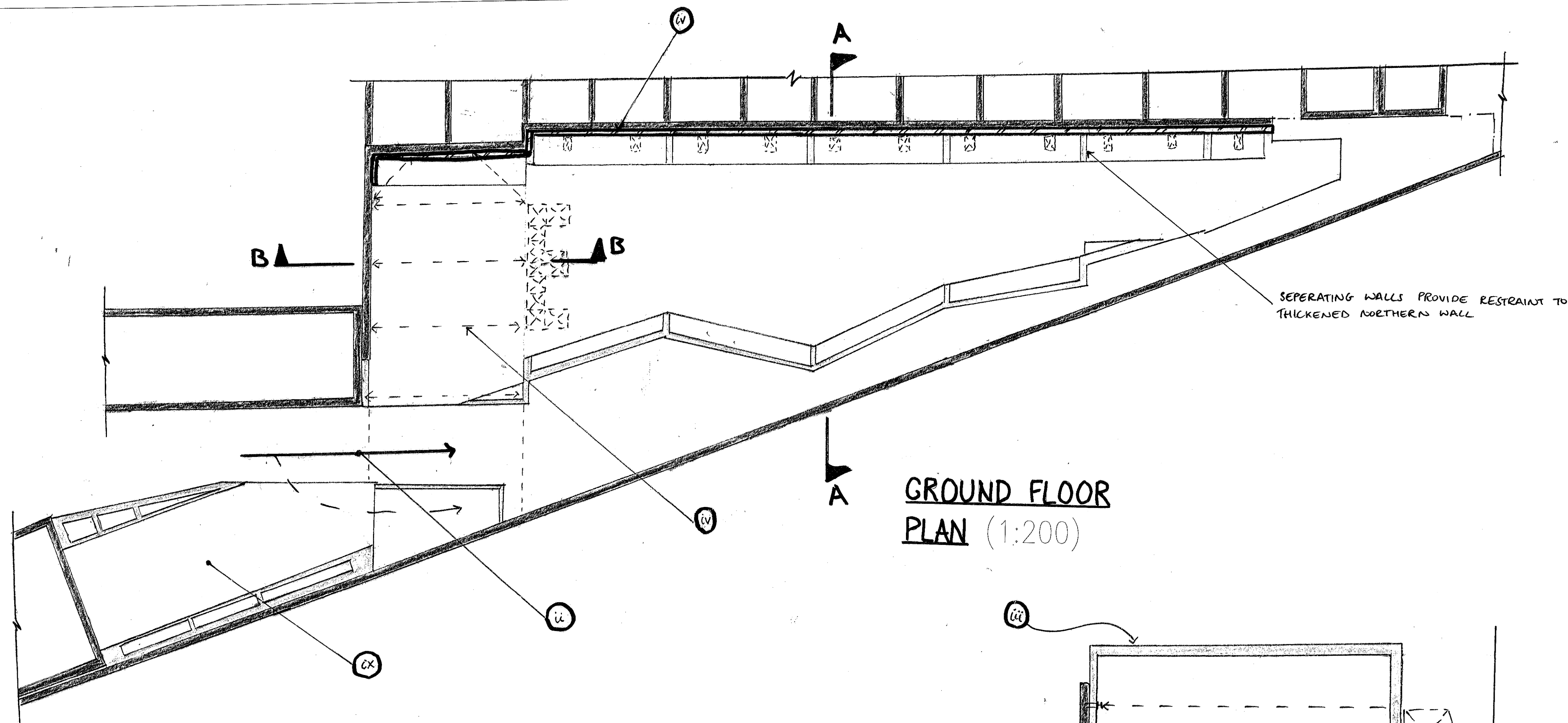
75 Cowcross Street London EC1M 6EL
tel 020 7250 1555
email aba@alanbaxter.co.uk

www.alanbaxter.co.uk

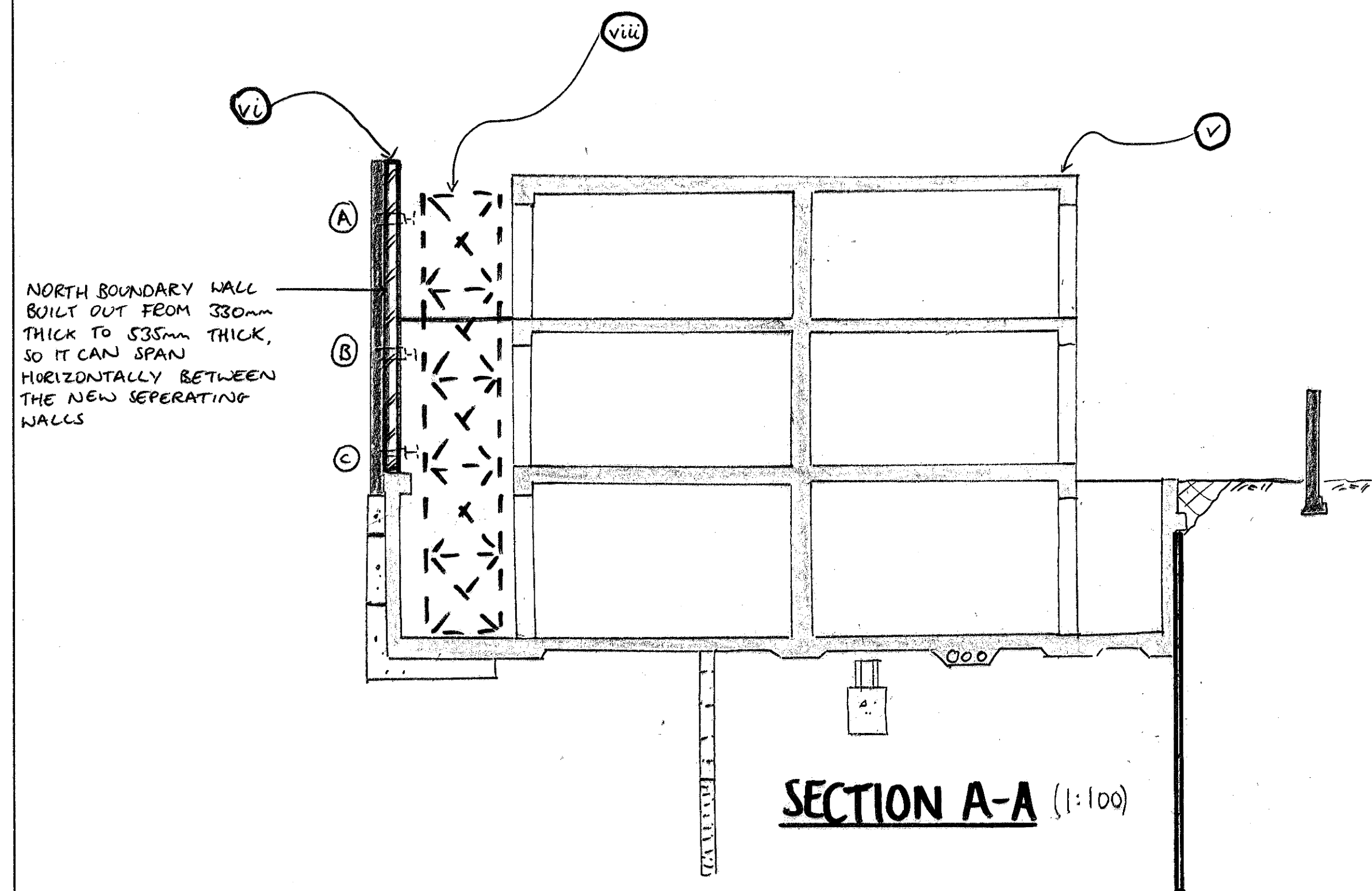
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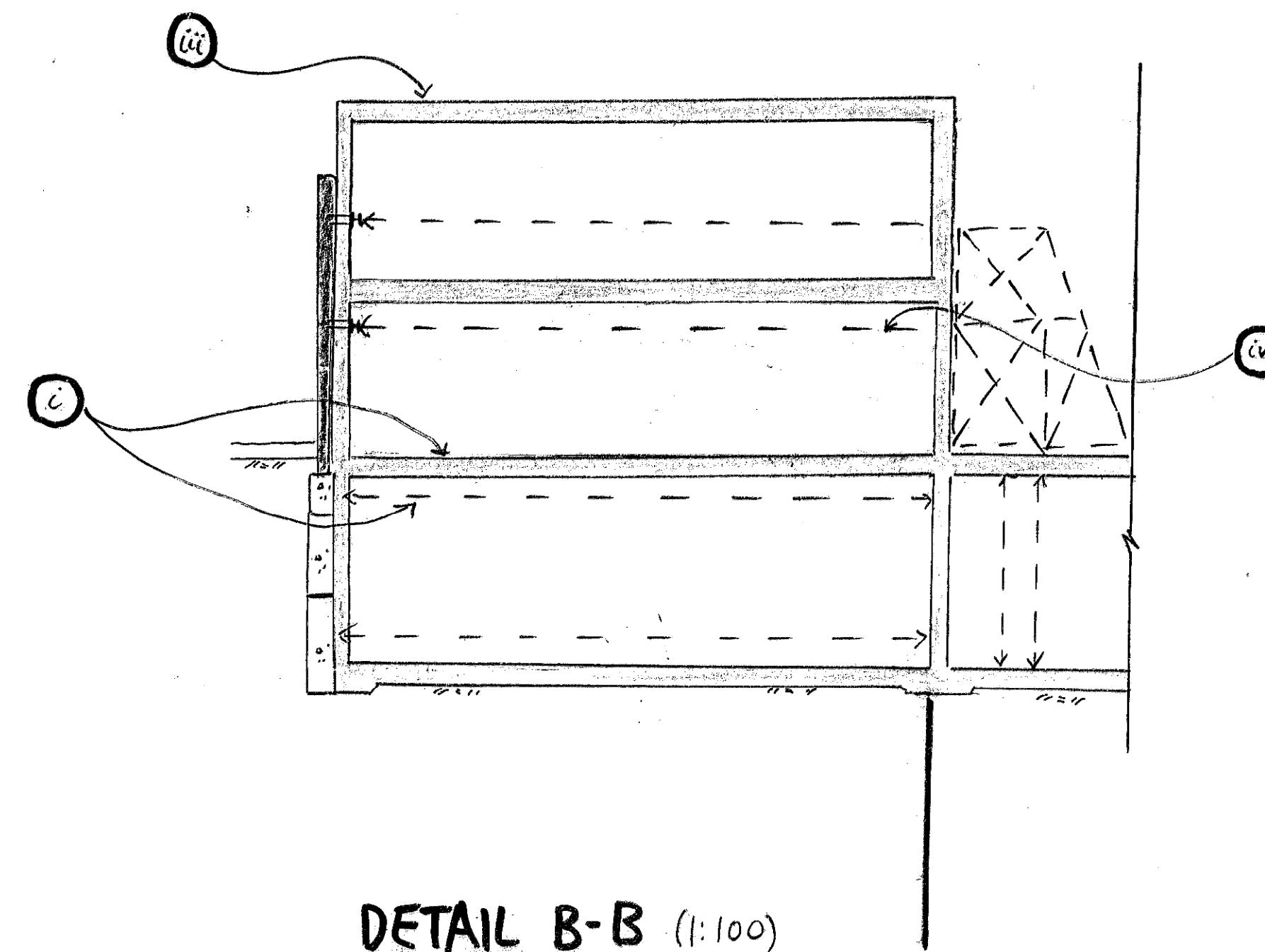
13. PROVIDE PERMANENT SUPPORT TO NORTHERN WALL



GROUND FLOOR
PLAN (1:200)



SECTION A-A (1:100)



DETAIL B-B (1:100)

- (i) CONSTRUCT PHASE 3 TO GROUND FLOOR LEVEL, REMOVING TEMPORARY PROPS AS PER PHASE 1
- (ii) WHEN BASEMENT SLAB HAS REACHED SUFFICIENT STRENGTH, MOVE ACCESS ROUTE
- (iii) CONSTRUCT PHASE 3 TO ROOF LEVEL, PROVIDING PERMANENT RESTRAINT TO THE WESTERN PART OF THE NORTHERN WALL
- (iv) WHEN PHASE 3 STRUCTURE HAS REACHED SUFFICIENT STRENGTH, REMOVE TEMPORARY PROPPING AND BRACED TOWER
- (v) CONSTRUCT PHASE 1 TO ROOF LEVEL
- (vi) BUILD OUT NORTH BOUNDARY WALLS INTO RETURN WALLS.

PERMANENT RESTRAINT IS NOW PROVIDED TO ALL OF THE NORTHERN WALL

- (vii) MOVE SITE ACCOMODATION WITHIN NEW BUILDINGS OF PHASE 1, BACK PROPPING WHERE REQUIRED
- (viii) REMOVE TEMPORARY SUPPRT TOWERS TO PHASE 1 INCLUDING WALING BEAMS AT (A), (B) AND (C)
- (ix) CONSTRUCT SUPERSTRUCTURE TO PHASE 3

1. THIS DRAWING IS TO BE READ IN CONJUNCTION WITH ALL RELEVANT ARCHITECTS AND ENGINEERS DRAWINGS AND THE SPECIFICATION.
2. THIS DRAWING SHOWS THE SEQUENCE OF CONSTRUCTION ASSUMED IN THE STRUCTURAL DESIGN. THE CONTRACTOR SHALL PREPARE HIS OWN PROPOSALS FOR THE SEQUENCE OF CONSTRUCTION FOR WHICH HE SHALL REMAIN ENTIRELY RESPONSIBLE. THESE PROPOSALS SHALL BE SUBMITTED TO THE CA PRIOR TO THE COMMENCEMENT OF WORKS ON SITE.
3. THE CONTRACTOR SHALL ENSURE THAT THE STABILITY OF THE BUILDINGS IS MAINTAINED AT ALL STAGES OF CONSTRUCTION. HE SHALL DESIGN, INSTALL AND MAINTAIN ALL NECESSARY TEMPORARY WORKS AND PROGRAMME THE WORKS ACCORDINGLY.
4. EXISTING SERVICES ARE TO BE RE-ROUTED OR CAPPED OFF/ ISOLATED TO THE M&E ENGINEERS DETAILS BEFORE START OF WORKS.

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OLD DAIRY, WC1

SEQUENCE OF CONSTRUCTION
ASSUMED IN THE DESIGN FOR THE
RETENSION OF THE NORTH
WALL SHEET 13

DP TR
JAN' 15 AS SHOWN

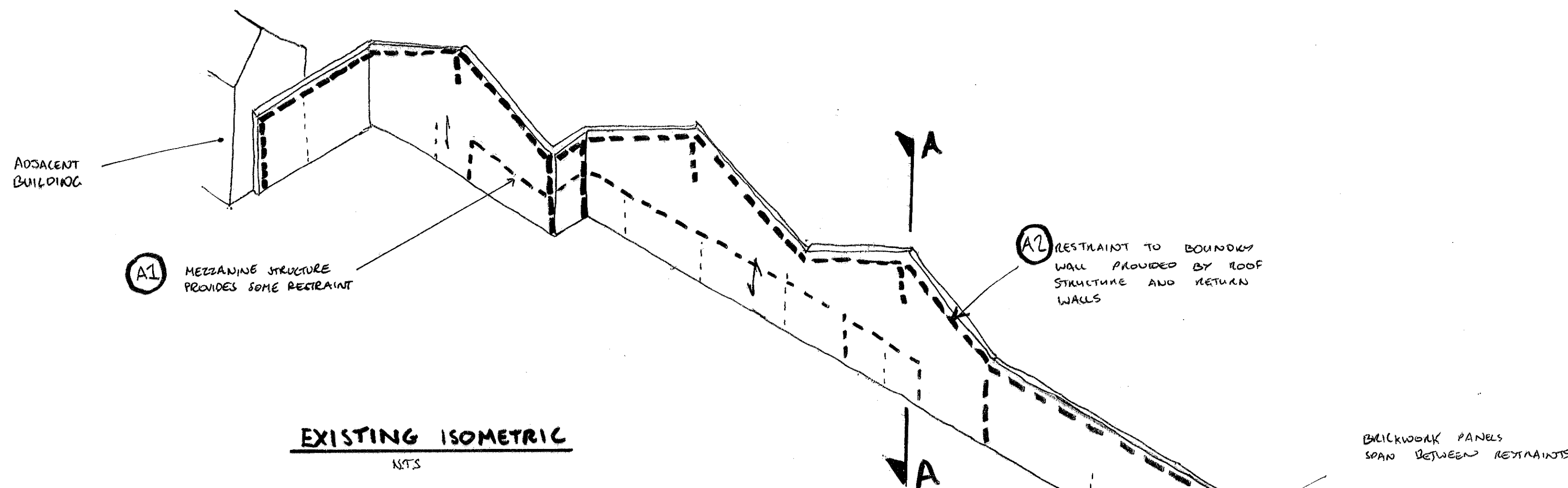
Alan Baxter

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tel 020 7250 1555
email aba@alanbaxter.co.uk

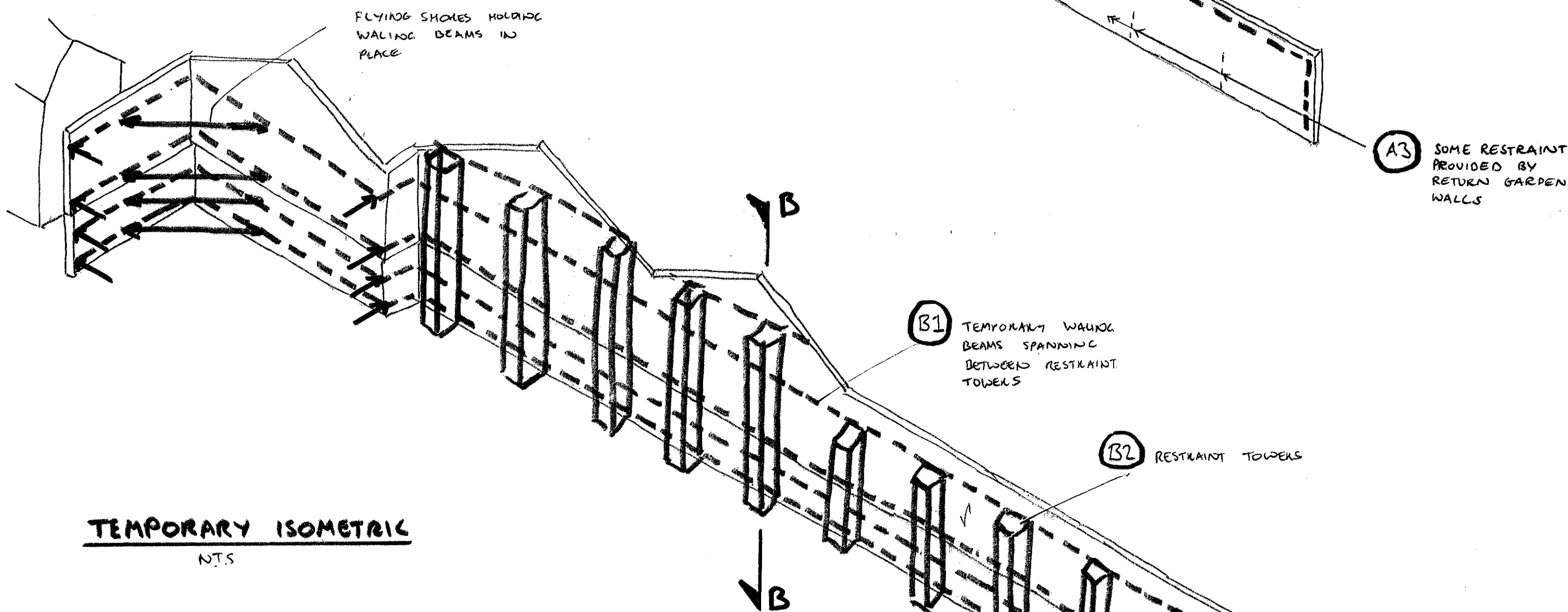
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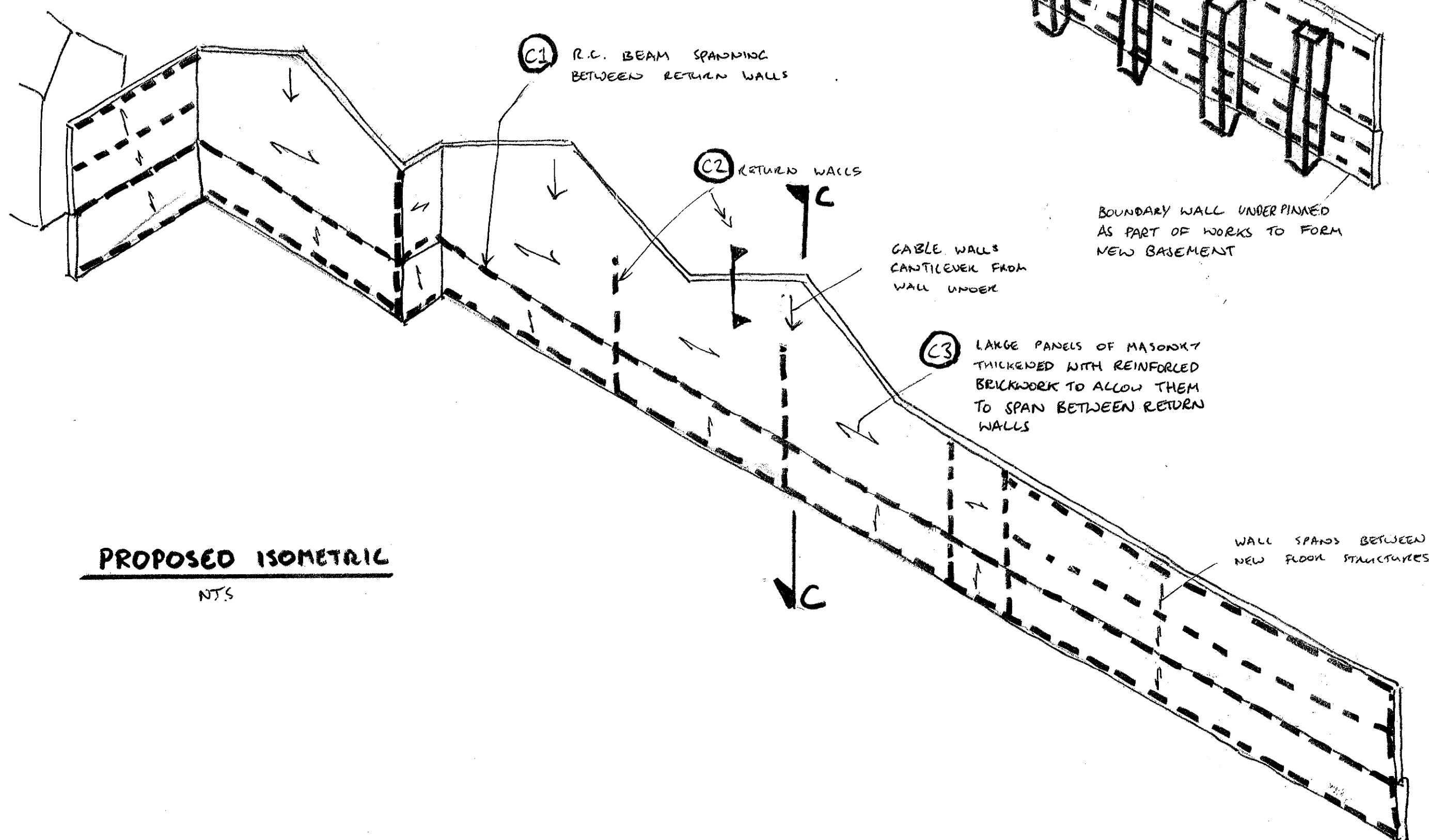
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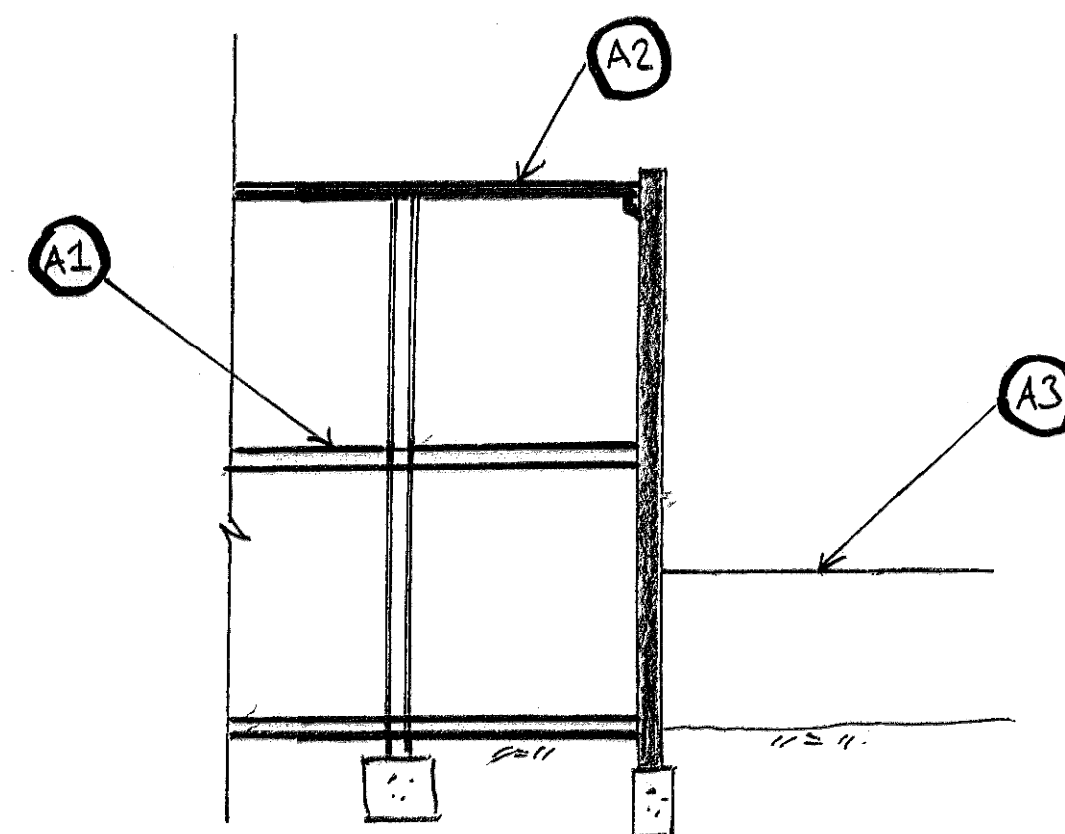
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NTS



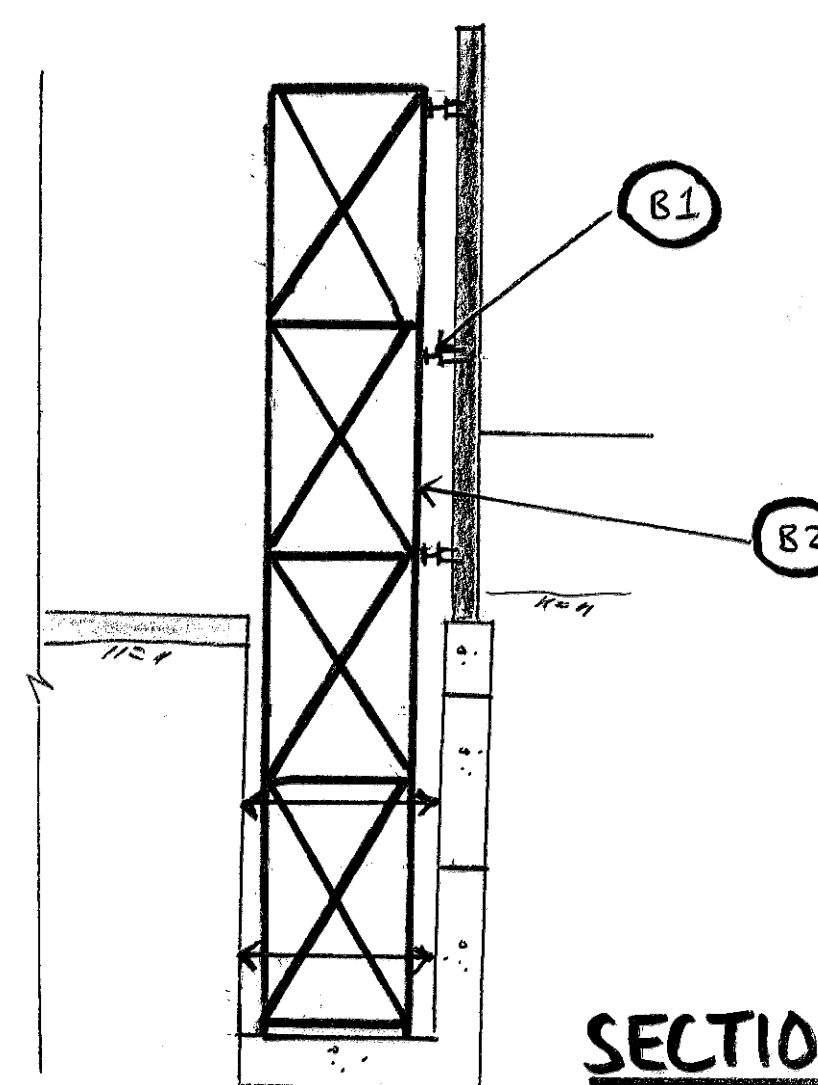
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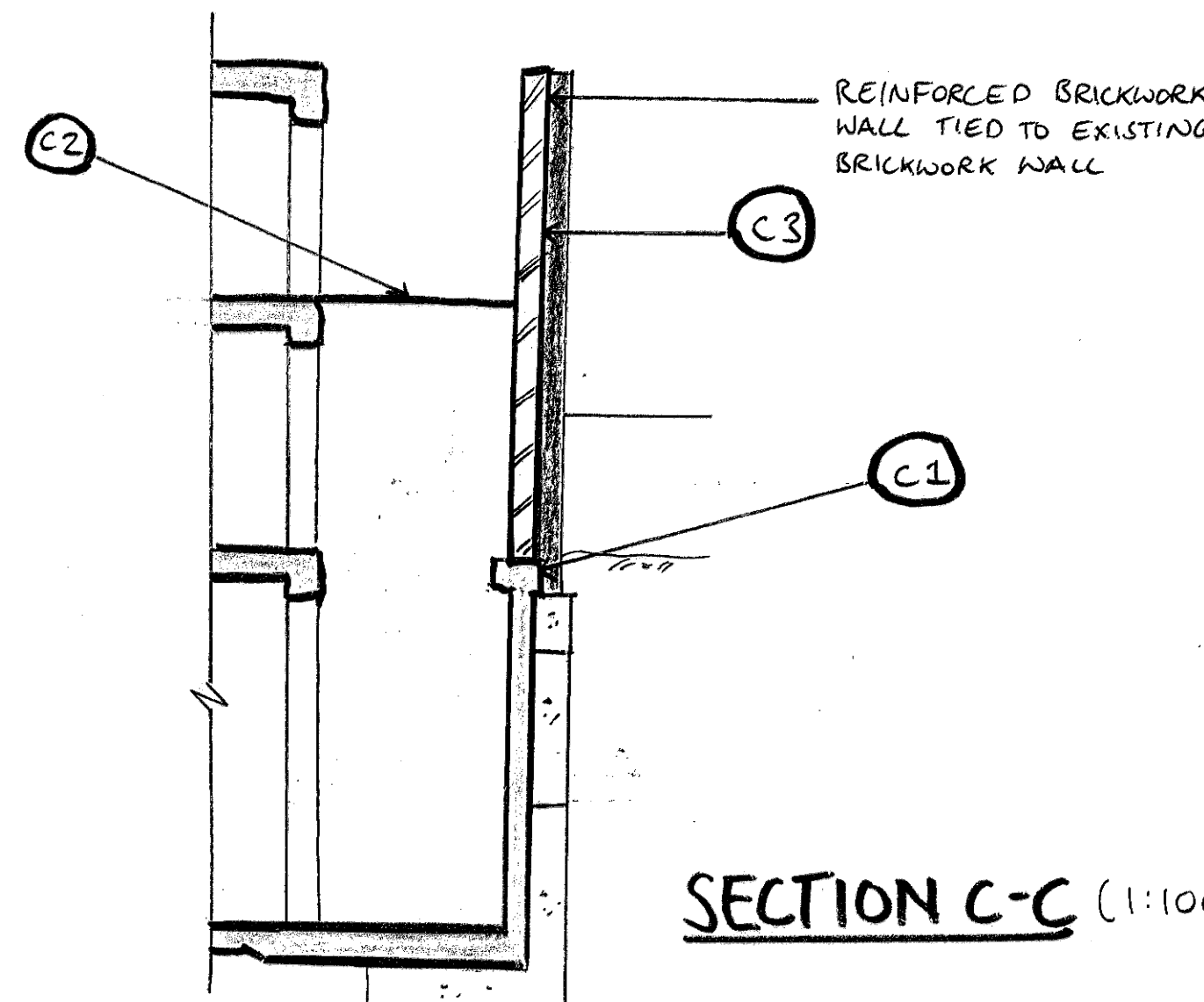
PROPOSED ISOMETRIC
NTS



SECTION A-A (1:100)



SECTION B-B (1:100)



SECTION C-C (1:100)

16.1.15 ISSUED AS PART OF A REPORT DP

job
THE OLD DAIRY, WC1

title
DESIGN DRAWING - EXISTING, TEMPORARY AND PERMANENT RESTRAINT TO THE NORTHERN GABLE WALL

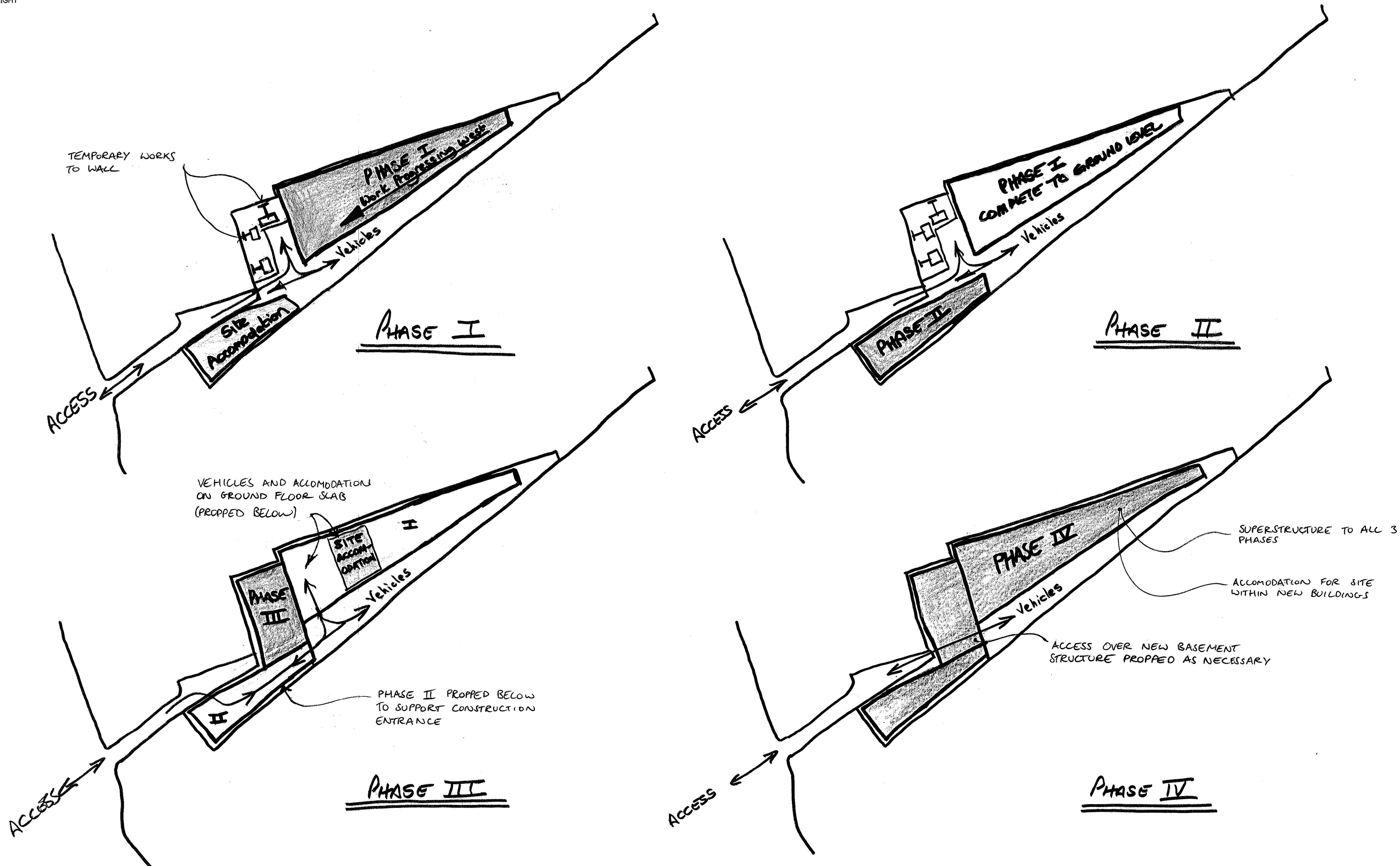
drawn
TR
date
JAN'15
checked
DJ
scale (original - A1)
AS SHOWN

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notes

1. THIS DRAWING IS TO BE READ IN CONJUNCTION WITH ALL OTHER RELEVANT ARCHITECT'S AND ENGINEER'S DRAWINGS AND THE SPECIFICATION.

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THE OLD DAIRY, WC1

DESIGN DRAWING -
OVERALL ASSUMED SEQUENCE
OF CONSTRUCTION

drawn DJ checked DP
date JAN'15 scale (original - A1) 1:500

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Issued 16 January 2015

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