

Jennifer Dixon
Dixon Architects
Dixon Architects
12 Oaklands Road
London
N20 8BA

Application Ref: **2013/2715/P**
Please ask for: **Hugh Miller**
Telephone: 020 7974 **2624**

28 October 2013

Dear Sir/Madam

DECISION

Town and Country Planning Act 1990 (as amended)
Town and Country Planning (Development Management Procedure) Order 2010
Town and Country Planning (Applications) Regulations 1988

Householder Application Granted

Address:
3 The Mount
London
NW3 6SZ

Proposal:

Demolition of garage at upper ground level and installation of a new timber sliding gate plus timber trellis to rear boundary, erection of railings including planter to Studio roof perimeters; installation of window and timber cladding to studio outbuilding, ancillary to dwelling house (Class C3)

Drawing Nos: 025_P_001, 025_P_002, 025_P_003, 025_P_004, 025_P_010, 025_P_011
Rev A, 025_P_012 Rev A, 025_P_013 Rev A, Planning, Historical Design & Access
Statement.

The Council has considered your application and decided to grant permission subject to the following condition(s):

Condition(s) and Reason(s):

- 1 The development hereby permitted must be begun not later than the end of three

years from the date of this permission.

Reason: In order to comply with the provisions of Section 91 of the Town and Country Planning Act 1990 (as amended).

- 2 All new external work shall be carried out in materials that resemble, as closely as possible, in colour and texture those of the existing building, unless otherwise specified in the approved application.

Reason: To safeguard the appearance of the premises and the character of the immediate area in accordance with the requirements of policy CS14 of the London Borough of Camden Local Development Framework Core Strategy and policy DP24 and DP25 of the London Borough of Camden Local Development Framework Development Policies.

- 3 The development hereby permitted shall be carried out in accordance with the following approved plans [025_P_001, 025_P_002, 025_P_003, 025_P_004, 025_P_010, 025_P_011 Rev A, 025_P_012 Rev A, 025_P_013 Rev A, Planning, Historical Design & Access Statement.]

Reason: For the avoidance of doubt and in the interest of proper planning.

- 4 The trellis hereby approved shall be erected in conjunction with a scheme for evergreen planting that shall first be submitted to and approved in writing by the Local Planning Authority. The approved planting shall be retained and maintained in conjunction with the trellis, in perpetuity.

Reason: To safeguard the appearance of the premises and the character of the immediate area in accordance with the requirements of policy CS14 of the London Borough of Camden Local Development Framework Core Strategy and policies DP24 and DP25 of the London Borough of Camden Local Development Framework Development Policies.

- 5 Detailed drawings, or samples of materials as appropriate, in respect of the following, shall be submitted to and approved in writing by the local planning authority before the relevant part of the work is begun:
 - a) Details including sections of the layout and means of enclosure of the flat roof of the studio building at scale 1:50
 - b) Plan, elevation, section drawings and samples of the timber gates including details of the closing mechanism at scale 1:10,

The relevant part of the works shall be carried out in accordance with the details thus approved and all approved samples shall be retained on site during the course of the works.

Reason: To safeguard the appearance of the premises and the character of the immediate area in accordance with the requirements of policy CS14 of the London Borough of Camden Local Development Framework Core Strategy and policies

DP24 and DP25 of the London Borough of Camden Local Development Framework Development Policies.

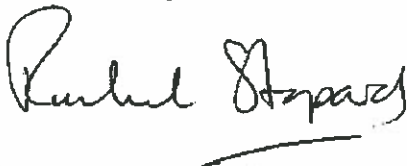
Informative(s):

- 1 Your proposals may be subject to control under the Building Regulations and/or the London Buildings Acts which cover aspects including fire and emergency escape, access and facilities for people with disabilities and sound insulation between dwellings. You are advised to consult the Council's Building Control Service, Camden Town Hall, Argyle Street WC1H 8EQ, (tel: 020-7974 6941).
- 2 Noise from demolition and construction works is subject to control under the Control of Pollution Act 1974. You must carry out any building works that can be heard at the boundary of the site only between 08.00 and 18.00 hours Monday to Friday and 08.00 to 13.00 on Saturday and not at all on Sundays and Public Holidays. You are advised to consult the Council's Compliance and Enforcement team [Regulatory Services], Camden Town Hall, Argyle Street, WC1H 8EQ (Tel. No. 020 7974 4444 or on the website <http://www.camden.gov.uk/ccm/content/contacts/council-contacts/environment/contact-the-environmental-health-team.en> or seek prior approval under Section 61 of the Act if you anticipate any difficulty in carrying out construction other than within the hours stated above.

In dealing with the application, the Council has sought to work with the applicant in a positive and proactive way in accordance with paragraphs 186 and 187 of the National Planning Policy Framework.

Your attention is drawn to the notes attached to this notice which tell you about your Rights of Appeal and other information.

Yours faithfully



Rachel Stopard
Director of Culture & Environment

It's easy to make, pay for, track and comment on planning applications on line. Just go to www.camden.gov.uk/planning.

It is important to us to find out what our customers think about the service we provide. To help us in this respect, we would be very grateful if you could take a few moments to complete our [online planning applicants' survey](#). We will use the information you give us to monitor and improve our services.