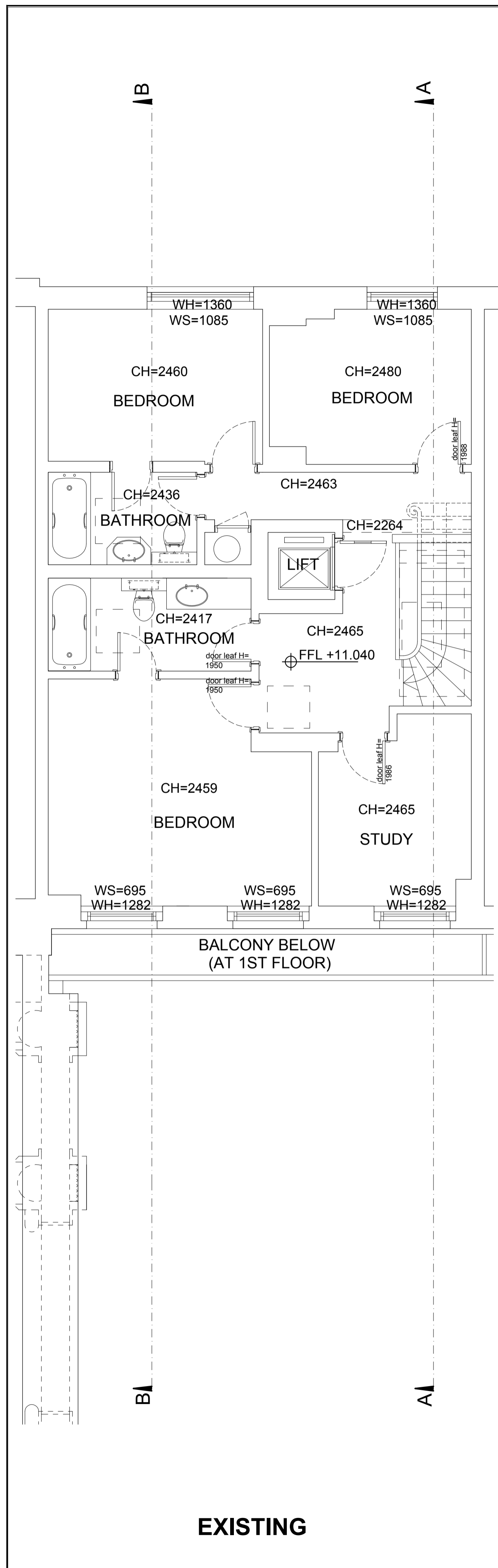
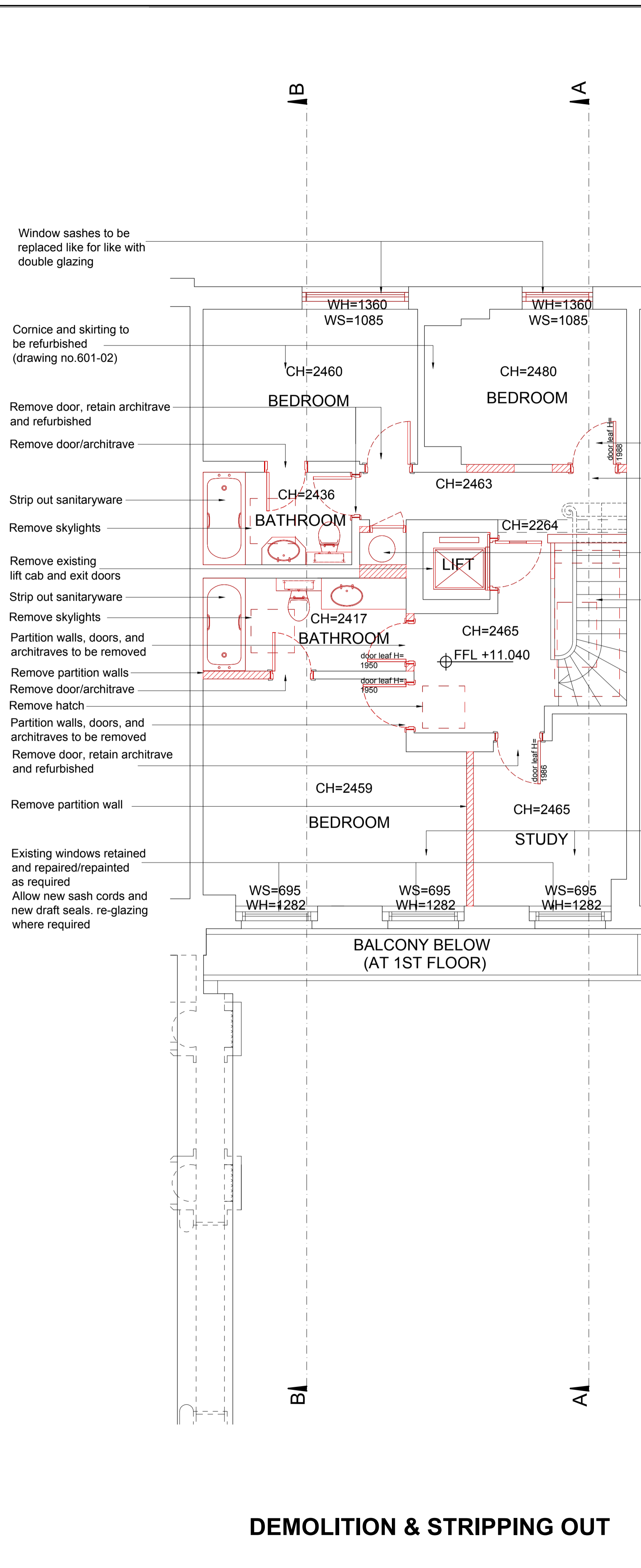


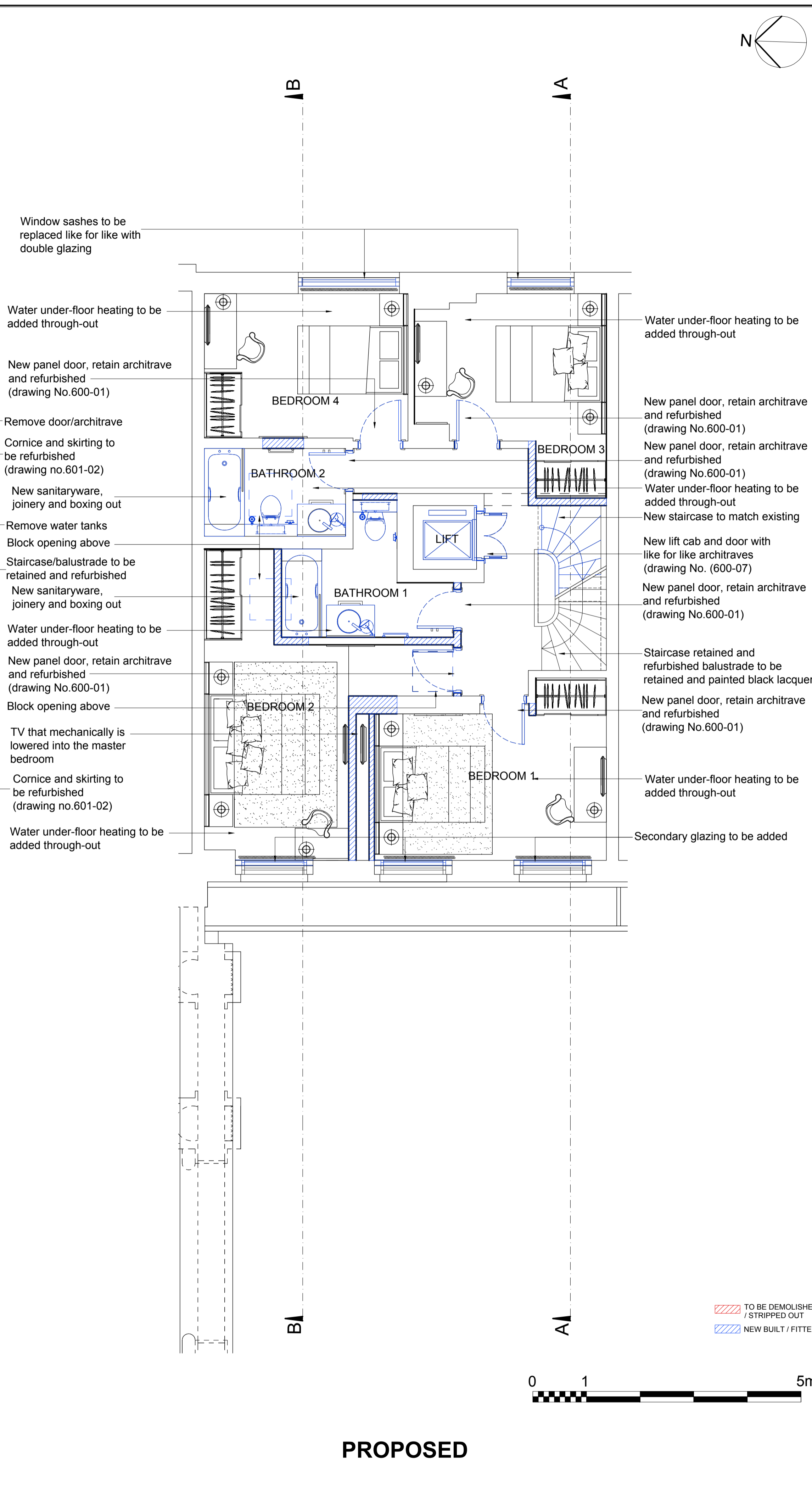
NOTES
 CONTRACTORS MUST VERIFY ALL DIMENSIONS ON SITE BEFORE COMMENCING ANY WORK OR SHOP DRAWINGS. FIGURED DIMENSIONS ARE TO BE USED IN PREFERENCE TO SCALED DIMENSIONS. IF THIS DRAWING EXCEEDS THE QUANTITIES TAKEN IN ANY WAY, THE ARCHITECTS ARE TO BE INFORMED BEFORE THE WORK IS INITIATED.
 SEIFERT COPYRIGHT



EXISTING



DEMOLITION & STRIPPING OUT



PROPOSED

- Window sashes to be replaced like for like with double glazing
- Cornice and skirting to be refurbished (drawing no.601-02)
- Remove door, retain architrave and refurbished
- Remove door/architrave
- Strip out sanitaryware
- Remove skylights
- Remove existing lift cab and exit doors
- Strip out sanitaryware
- Remove skylights
- Partition walls, doors, and architraves to be removed
- Remove partition walls
- Remove door/architrave
- Remove hatch
- Partition walls, doors, and architraves to be removed
- Remove door, retain architrave and refurbished
- Remove partition wall
- Existing windows retained and repaired/repainted as required
- Allow new sash cords and new draft seals. re-glazing where required
- Window sashes to be replaced like for like with double glazing
- Water under-floor heating to be added through-out
- New panel door, retain architrave and refurbished (drawing No.600-01)
- Remove door/architrave
- Cornice and skirting to be refurbished (drawing no.601-02)
- New sanitaryware, joinery and boxing out
- Remove water tanks
- Block opening above
- Staircase/balustrade to be retained and refurbished
- New sanitaryware, joinery and boxing out
- Water under-floor heating to be added through-out
- New panel door, retain architrave and refurbished (drawing No.600-01)
- Block opening above
- TV that mechanically is lowered into the master bedroom
- Cornice and skirting to be refurbished (drawing no.601-02)
- Water under-floor heating to be added through-out
- Water under-floor heating to be added through-out
- New panel door, retain architrave and refurbished (drawing No.600-01)
- New panel door, retain architrave and refurbished (drawing No.600-01)
- New panel door, retain architrave and refurbished (drawing No.600-01)
- Water under-floor heating to be added through-out
- New staircase to match existing
- New lift cab and door with like for like architraves (drawing No. (600-07)
- New panel door, retain architrave and refurbished (drawing No.600-01)
- Staircase retained and refurbished balustrade to be retained and painted black lacquer.
- New panel door, retain architrave and refurbished (drawing No.600-01)
- Water under-floor heating to be added through-out
- Secondary glazing to be added

REV.	DESCRIPTION	DATE	INIT.
-	FIRST ISSUE	08.10.14	JZ



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STATUS **PLANNING**
 CLIENT **John Seifert**
 JOB **5 Chester Terrace
 Regents Park, NW1 4ND**
 TITLE **EXISTING, DEMOLITION
 & PROPOSED
 THIRD FLOOR
 PLAN**

SCALE **A1 @ 1:50
 A3 @ 1:100**
 DRAWING No. **SA 0815/205**
 DATE **02/04/14**
 REVISION No. **-**

