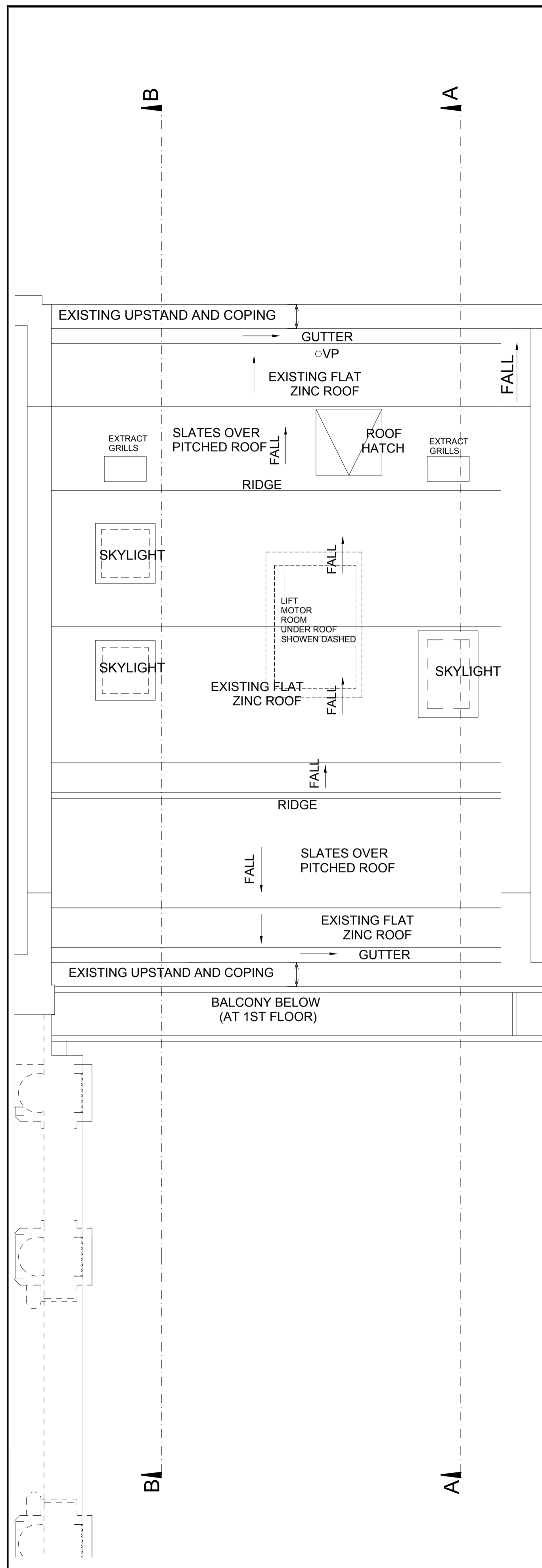
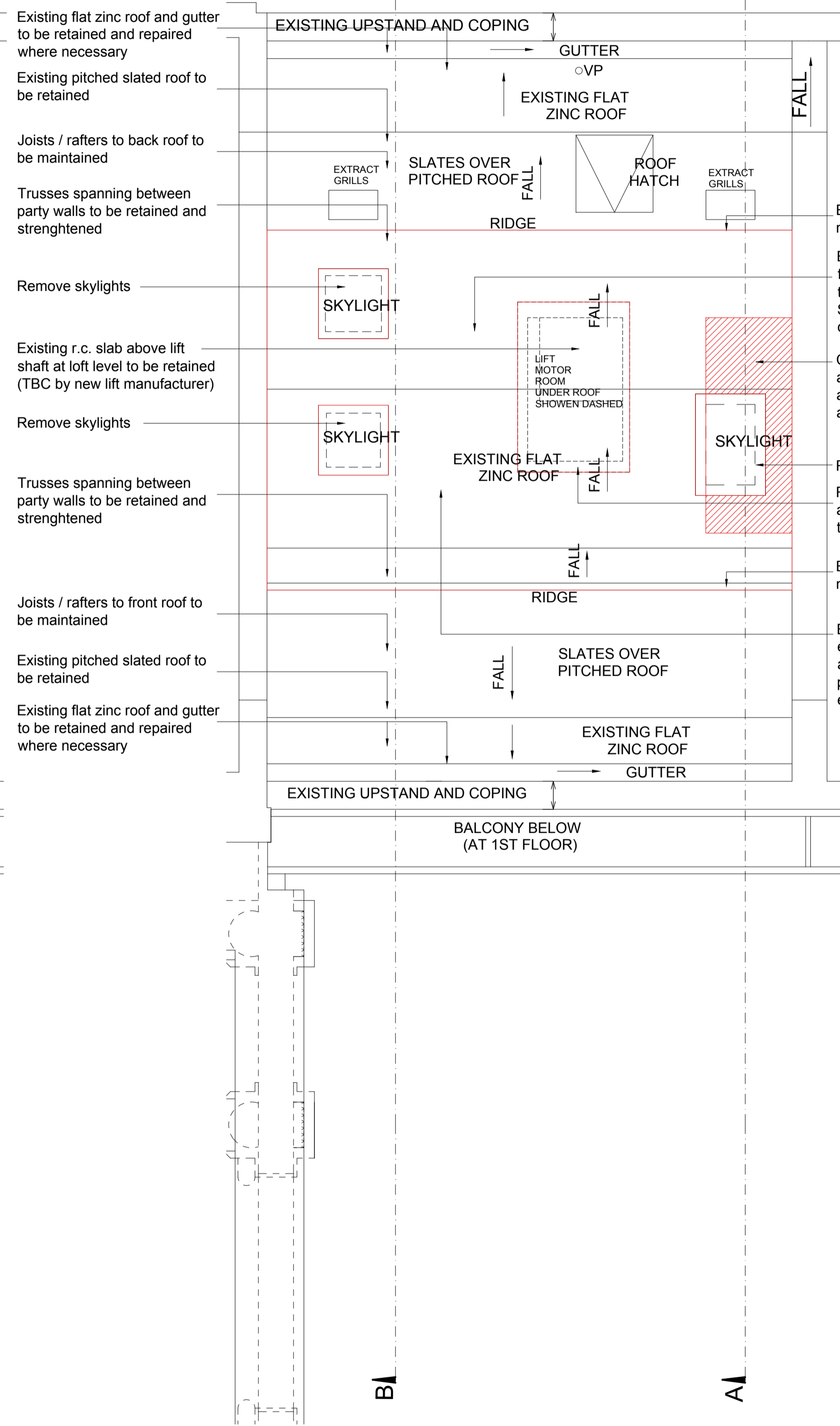


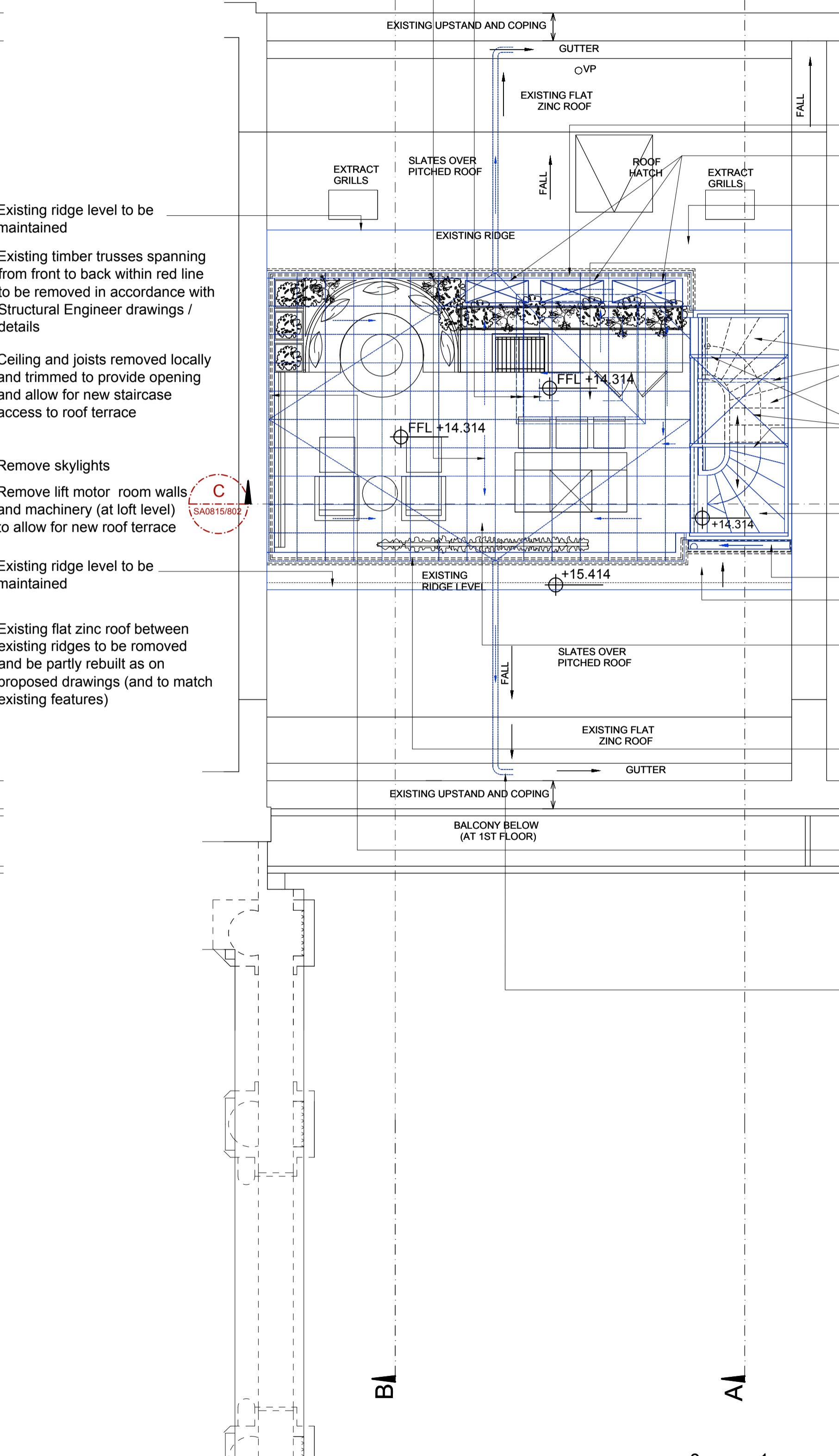
NOTES
 CONTRACTORS MUST VERIFY ALL DIMENSIONS ON SITE BEFORE COMMENCING ANY WORK OR SHOP DRAWINGS. FIGURED DIMENSIONS ARE TO BE USED IN PREFERENCE TO SCALED DIMENSIONS. IF THIS DRAWING EXCEEDS THE QUANTITIES TAKEN IN ANY WAY, THE ARCHITECTS ARE TO BE INFORMED BEFORE THE WORK IS INITIATED.
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EXISTING



DEMOLITION & STRIPPING OUT



PROPOSED

Existing flat zinc roof and gutter to be retained and repaired where necessary
 Existing pitched slated roof to be retained
 Joists / rafters to back roof to be maintained
 Trusses spanning between party walls to be retained and strengthened
 Remove skylights
 Existing r.c. slab above lift shaft at loft level to be retained (TBC by new lift manufacturer)
 Remove skylights
 Trusses spanning between party walls to be retained and strengthened
 Joists / rafters to front roof to be maintained
 Existing pitched slated roof to be retained
 Existing flat zinc roof and gutter to be retained and repaired where necessary

Existing ridge level to be maintained
 Existing timber trusses spanning from front to back within red line to be removed in accordance with Structural Engineer drawings / details
 Ceiling and joists removed locally and trimmed to provide opening and allow for new staircase access to roof terrace
 Remove skylights
 Remove lift motor room walls and machinery (at loft level) to allow for new roof terrace
 Existing ridge level to be maintained
 Existing flat zinc roof between existing ridges to be removed and be partly rebuilt as on proposed drawings (and to match existing features)

2 layer bituminous roofing fall (1:60) indicated with dashed arrow lines (all this is under paving slabs of the new roof terrace). For more information refer to details, 800 series

Outline of lift shaft walls and thermal insulation around them indicated with dashed lines (all this is under paving slabs of the new roof terrace)

New cross walls in timber frame construction clad externally in zinc on ventilated timber boarding
 3 new Comfort Cooling Condenser units, each 900Wx770Hx320D (W=73kg)
 New rebuilt portion of flat zinc roof to match existing
 New roof terrace (50mm thick natural stone paving slabs on spacers, laid horizontally) above lift shaft slab (with insulation and waterproofing added on top)
 New fixed portion of skylight above new stair

New electric, sliding backwards portion of skylight, to allow roof access

New staircase / roof access (finishes to match existing stair at floor below)

New zinc gutter
 New rebuilt portion of flat zinc roof to match existing

New roof terrace (50mm thick natural stone paving slabs laid horizontally on adjustable height pedestals over timber warm deck roof)

New cross walls in timber frame construction clad externally in zinc on ventilated timber boarding

New zinc cladding on ventilated timber boarding (top to be below existing lower ridge level)

New terrace rainwater drainage via Ø75mm branch pipes towards existing RWPs leading down from existing gutters

REV.	DESCRIPTION	DATE	INIT.
-	FIRST ISSUE	08.10.14	JZ



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STATUS **PLANNING**
 CLIENT **John Seifert**
 JOB **5 Chester Terrace
 Regents Park, NW1 4ND**
 TITLE **EXISTING, DEMOLITION
 & PROPOSED
 ROOF PLAN**

SCALE **A1 @ 1:50
 A3 @ 1:100**
 DATE **02/04/14**
 DRAWING No. **SA 0815/206**
 REVISION No. **-**



TO BE DEMOLISHED / STRIPPED OUT
 NEW BUILT / FITTED