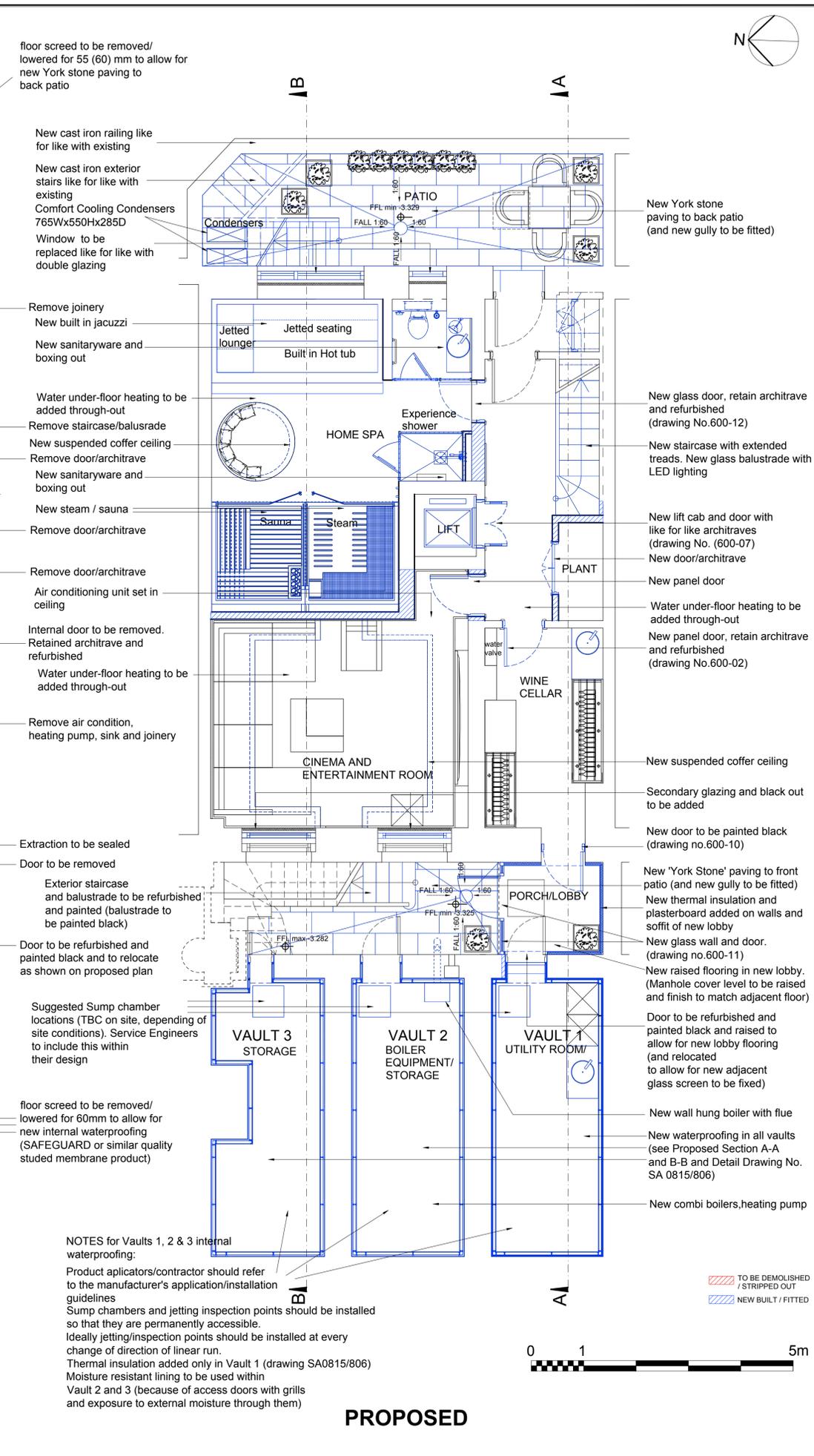
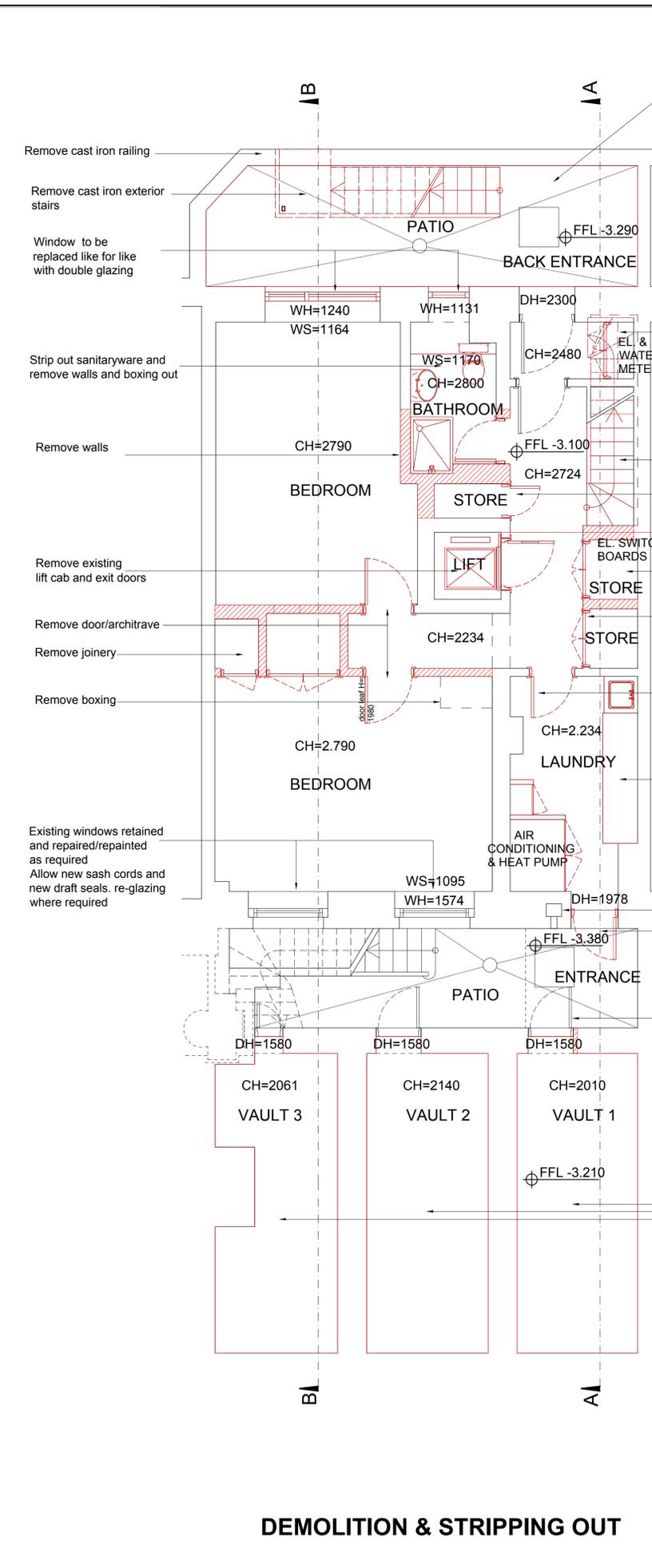
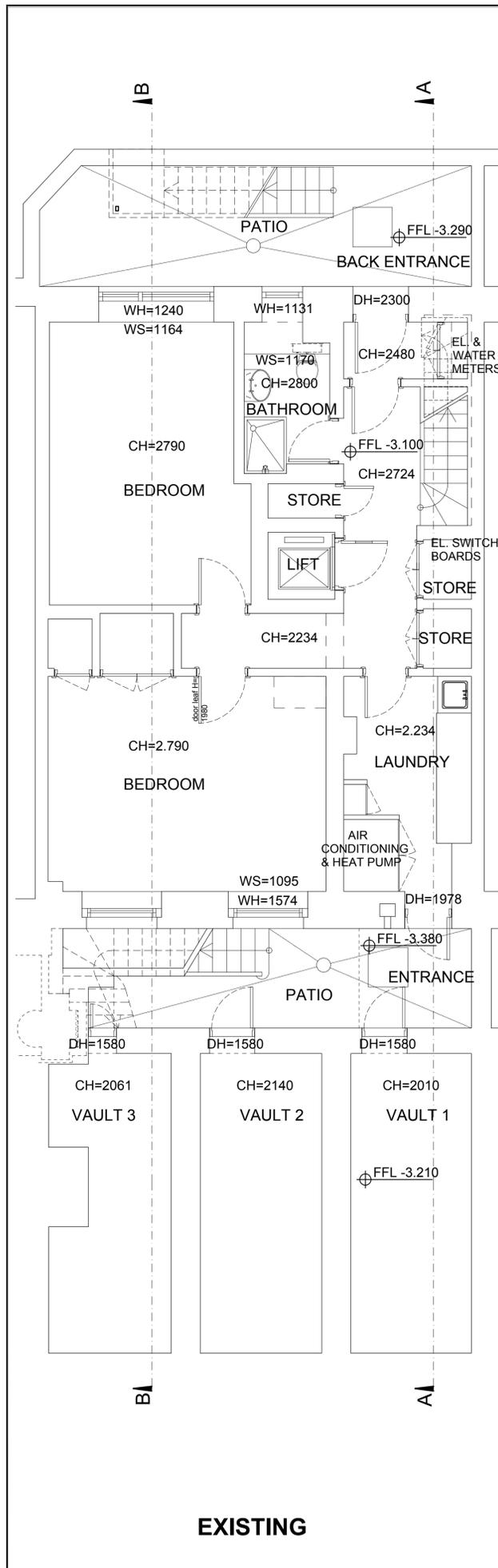


NOTES
 CONTRACTORS MUST VERIFY ALL DIMENSIONS ON SITE BEFORE COMMENCING ANY WORK OR SHOP DRAWINGS. FIGURED DIMENSIONS ARE TO BE USED IN PREFERENCE TO SCALED DIMENSIONS. IF THIS DRAWING EXCEEDS THE QUANTITIES TAKEN IN ANY WAY, THE ARCHITECTS ARE TO BE INFORMED BEFORE THE WORK IS INITIATED.
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REV.	DESCRIPTION	DATE	INIT.
-	FIRST ISSUE	08.10.14	JZ

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STATUS	PLANNING
CLIENT	John Seifert
JOB	5 Chester Terrace Regents Park, NW1 4ND
TITLE	EXISTING, DEMOLITION & PROPOSED LOWER GROUND FLOOR PLAN
SCALE	A1 @ 1:50 A3 @ 1:100
DATE	02/04/14
DRAWING No.	SA 0815/201
REVISION No.	-

floor screed to be removed/ lowered for 55 (60) mm to allow for new York stone paving to back patio

Remove cast iron railing
 Remove cast iron exterior stairs
 Window to be replaced like for like with double glazing

Strip out sanitaryware and remove walls and boxing out
 Remove walls
 Remove existing lift cab and exit doors
 Remove door/architrave
 Remove joinery
 Remove boxing

Existing windows retained and repaired/repainted as required
 Allow new sash cords and new draft seals, re-glazing where required

Remove cast iron railing like for like with existing
 New cast iron exterior stairs like for like with existing
 Comfort Cooling Condensers 765Wx550Hx285D
 Window to be replaced like for like with double glazing

Remove joinery
 New built in jacuzzi
 New sanitaryware and boxing out
 Water under-floor heating to be added through-out
 Remove staircase/balustrade
 New suspended coffer ceiling
 Remove door/architrave
 New sanitaryware and boxing out
 New steam / sauna
 Remove door/architrave
 Remove door/architrave
 Air conditioning unit set in ceiling
 Internal door to be removed. Retained architrave and refurbished
 Water under-floor heating to be added through-out
 Remove air condition, heating pump, sink and joinery

Extraction to be sealed
 Door to be removed
 Exterior staircase and balustrade to be refurbished and painted (balustrade to be painted black)
 Door to be refurbished and painted black and to relocate as shown on proposed plan
 Suggested Sump chamber locations (TBC on site, depending of site conditions). Service Engineers to include this within their design

floor screed to be removed/ lowered for 60mm to allow for new internal waterproofing (SAFEGUARD or similar quality studded membrane product)

NOTES for Vaults 1, 2 & 3 internal waterproofing:
 Product applicators/contractor should refer to the manufacturer's application/installation guidelines
 Sump chambers and jetting inspection points should be installed so that they are permanently accessible. Ideally jetting/inspection points should be installed at every change of direction of linear run.
 Thermal insulation added only in Vault 1 (drawing SA0815/806)
 Moisture resistant lining to be used within Vault 2 and 3 (because of access doors with grills and exposure to external moisture through them)

New York stone paving to back patio (and new gully to be fitted)

New glass door, retain architrave and refurbished (drawing No.600-12)
 New staircase with extended treads. New glass balustrade with LED lighting

New lift cab and door with like for like architraves (drawing No. (600-07)
 New door/architrave
 New panel door

Water under-floor heating to be added through-out
 New panel door, retain architrave and refurbished (drawing No.600-02)

New suspended coffer ceiling
 Secondary glazing and black out to be added

New door to be painted black (drawing no.600-10)
 New 'York Stone' paving to front patio (and new gully to be fitted)
 New thermal insulation and plasterboard added on walls and soffit of new lobby

New glass wall and door. (drawing no.600-11)
 New raised flooring in new lobby. (Manhole cover level to be raised and finish to match adjacent floor)

Door to be refurbished and painted black and raised to allow for new lobby flooring (and relocated to allow for new adjacent glass screen to be fixed)

New wall hung boiler with flue
 New waterproofing in all vaults (see Proposed Section A-A and B-B and Detail Drawing No. SA 0815/806)

New combi boilers, heating pump

TO BE DEMOLISHED / STRIPPED OUT
 NEW BUILT / FITTED

