
1-475 Iverson Road
Section 73
January 2015



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1.0 Introduction

This document presents the proposed non-material amendments for 163 Iverson Road.
This document has been prepared by Waugh Thistleton Architects on behalf of Reichmann Properties PLC.

This Section 73 follows advice received from pre-application discussions based on our pre-application submission documents dated:

- 16 May 2013
- 22 July 2013
- 9 September 2013

and advice received following non-material amendment application made in August 2014. The non-material amendment application was found to be incomplete due to proposed alterations being considered minor material amendments.

This application revises the submitted application as a section 73 application to apply for a minor material amendment as a variation to condition 22 : 2012/0099/P

2.0 Description of Changes

The scheme comprises of 36 units, 33 of which are apartments and 3 of which are houses.

The changes proposed are minimal and have been made necessary with the progression of the design to a detailed level in preparation for construction. They are predicated in the issues of buildability and technical constraints as well as building performance.

In terms of unit numbers, size of units and tenure mix, the proposed amended scheme matches the consented scheme precisely. The layouts and internal arrangements of both the proposed amended and the consented scheme are broadly alike.

The proposed amended scheme and the consented scheme are also the same in regard to mass, volume and height.

We propose to vary condition 22 :2012/0099/P by updating the stated drawings:

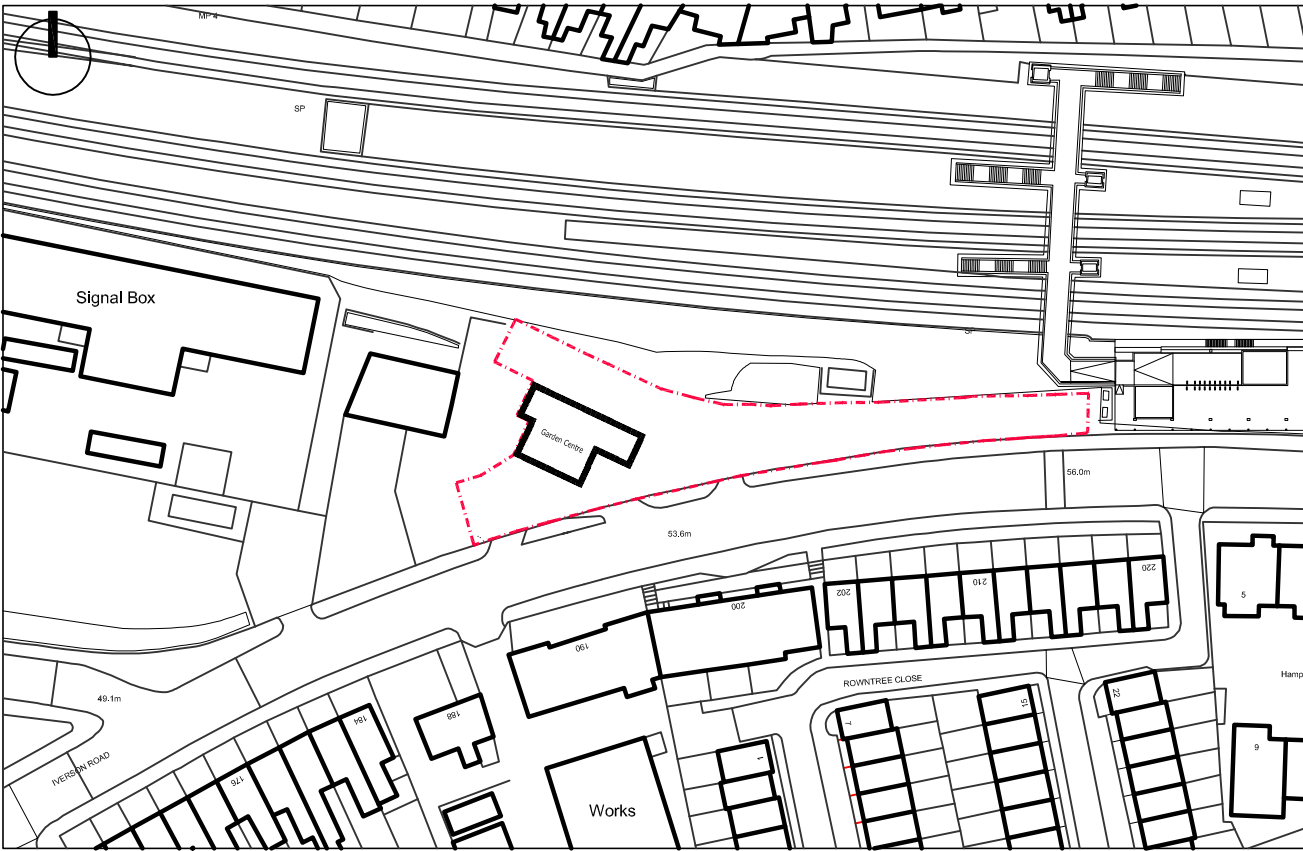
(Prefix 0911 PL) 001, 003, 100B 101B; 102B; 103; 110; 120;
Floorspace Schedule Area schedule and tenure mix_Rev B_08.05.12

with the following:

(Prefix 1-475-PL) 001, 005, 100, 101, 102, 103, 200, 300;
1-475-X-02-140801 - Area Schedule

4.0 Drawing Comparison

Approved drawings	Proposed
0911PL 001 - Location Plan	1-475-PL-001 - Location Plan
0911PL 003 - Proposed Site Plan	1-475-PL-005 - Site Plan
0911PL 100B - LGF and GF Plan	1-475-PL-100 - LG and GF Plan
0911PL 101B - 1st and 2nd Plan	1-475-PL-101 - 1st and 2nd Plan
0911PL 102B - 3rd and 4th Plan	1-475-PL-102 - 3rd and 4th Floor Plan
0911PL 103 - Roof Plan	1-475-PL-103 - Roof Plan
0911PL 110 - Elevations	1-475-PL-200 - Elevations
0911PL 120 - Sections	1-475-PL-300 - Sections
Area schedule and tenure mix_Rev B_08.05.12	1-475-X-02-140801 - Area Schedule



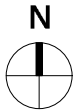
--- Site Boundary

Location Plan
Scale 1:1250@A4

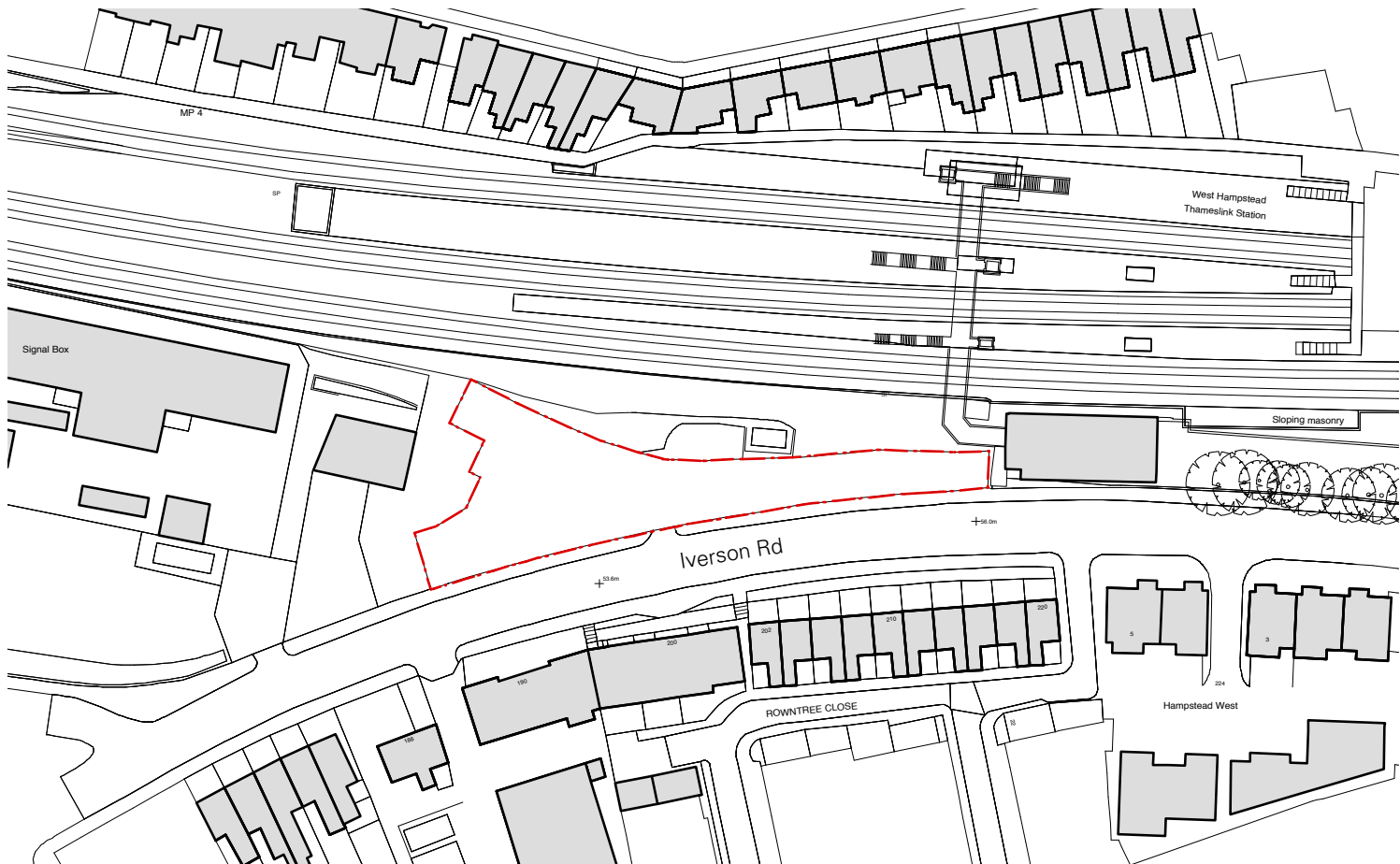
project	drawing title	scale	date	drawn by	checked by
163 Iverson Road West Hampstead NW6	Location Plan	1:1250@A4	15.12.11	ZT	HL
client	drawing status	job no.	drawing no.	revision	
Winbush Properties Ltd	Planning	0911	PL-001		

This drawing is prepared for the purposes of a planning application and to show design intent only. The information contained herein must not be used for costing, construction, engineering or any other purposes without agreement in writing from Waugh Thistleton Architects Ltd.

NOTES



Site Boundary



1

LOCATION PLAN

REV	COMMENTS	DATE	CHK
STATUS			

PLANNING

Job Iverson Road

Title Location Plan

Date April 2013

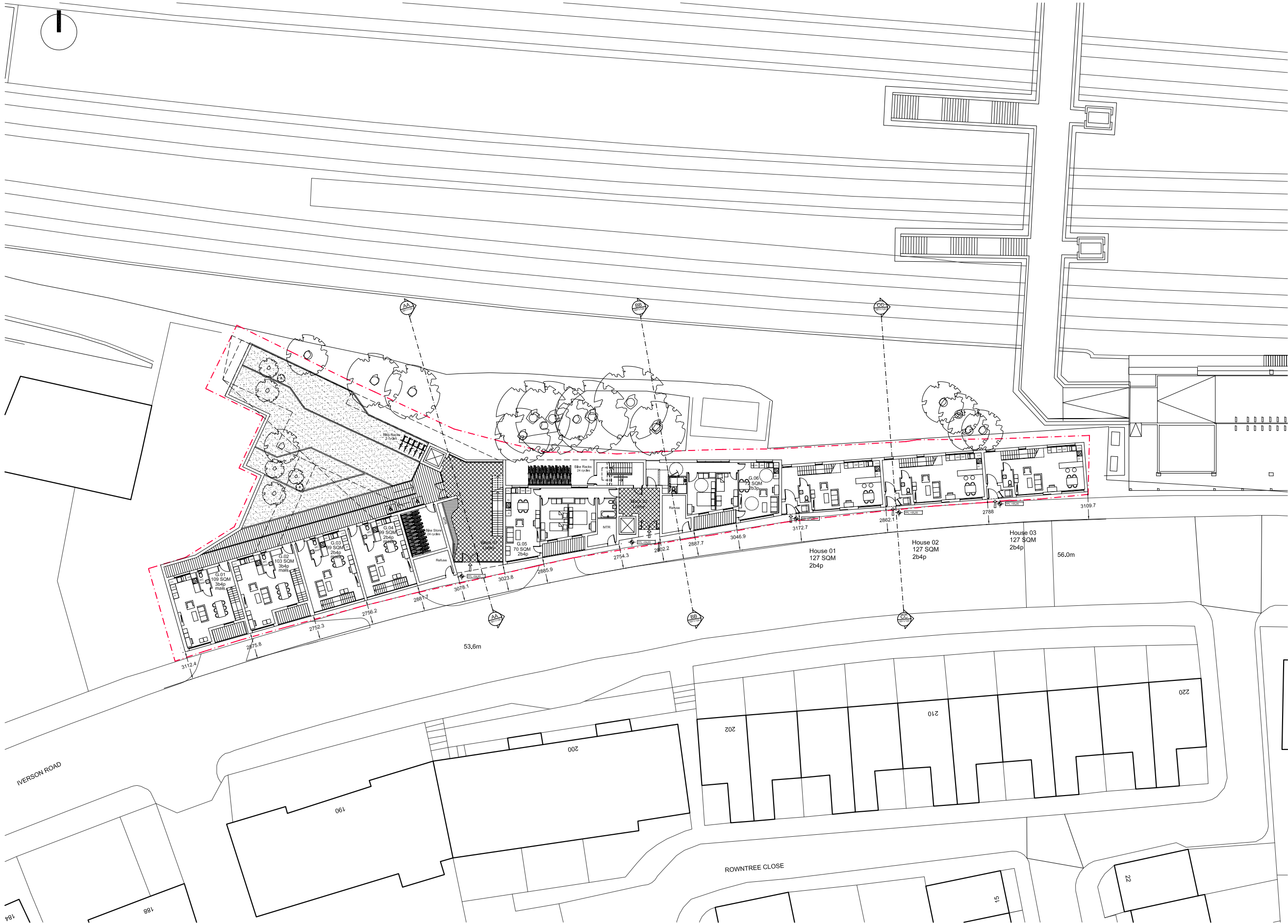
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Drawn

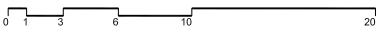
1-475-PL-001

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Site Plan
Scale 1:200

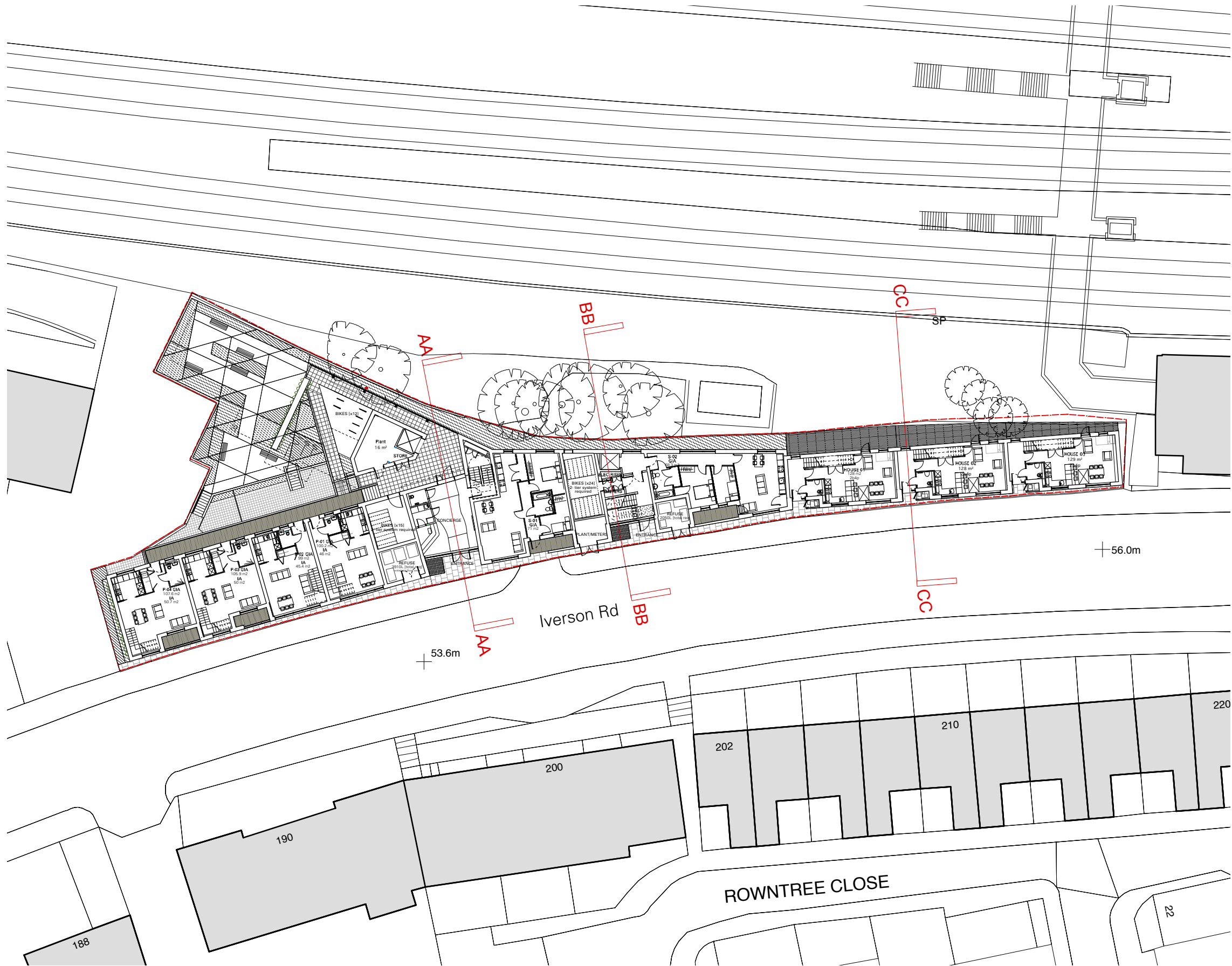


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Only the original drawing should be relied upon. Contractors, sub-contractors and suppliers must verify all dimensions on site before commencing any work or making any shop drawings.
All shop drawings to be submitted to the architect / interior designer for comment prior to fabrication.
This drawing is to be read in conjunction with the architect's / interior designer's specifications, bills of quantities / schedules, structural, mechanical & electrical drawings and all discrepancies are to be reported to the architect / interior designer.
Do not scale from this drawing. Dimensions are in millimetres unless otherwise stated.

NOTES

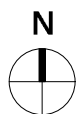
--- Site Boundary

rev	amendments	date	by
dexter moren associates architecture urban design interior design creative media www.dextermoren.co.uk info@dextermoren.co.uk			
project		57d	jamestown road london nw1 7db UK
client		t: 020 7267 4440 f: 020 7267 6044	
drawing title		Proposed Site Plan	
drawing status		Planning	
scale	date	drawn by	checked by
1:200 @ A1	12.12.11	JM	HL
1:400 @ A3			
job no.	drawing no.	revision	
0911	PL-003		



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NOTES



--- Site Boundary



REV	COMMENTS	DATE	CHK
STATUS			

PLANNING

Job	Iverson Road
Title	Site Plan
Date	July 2014
Scale	1:200 @ A1 1:400 @ A3
Drawn	AO

1-475-PL-005

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