

DRY ARCHITECTS

DESIGN AND ACCESS STATEMENT

FOR WORKS AT:

37 Pilgrim's Lane, London NW3 1SS

Revised Jan 2015



RIBA 
Chartered Practice

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1.0 Introduction

This Design and Access Statement has been prepared in support of a full planning application for works to this mid-terraced nineteenth century property at 37 Pilgrim's Lane (previously, 37-39 Pilgrim's Lane). The proposal is for the following:

- Cutting back of front lightwell wall to form stepped enclosure and planting. With no change at street level.
- Enlargement of existing dormer to the rear elevation.
- Replacement of the existing glass conservatory at 3rd floor of closet wing with a contemporary glazed box.
- Replacement of single storey glazed infill with new two storey glazed infill extension to rear elevation.
- Two new timber framed windows to existing rear closet wing.
- General internal alterations.

There is an Article 4 Direction associated with this property which relates to the loss of some permitted development rights to the front elevation. This has been considered



Figure 1: OS map showing 37 Pilgrim's Lane in red line

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2.0 The Site and Surroundings

This application relates to a mid-terraced property on the north western side of Pilgrim's Lane NW3, which lies in The Hampstead Conservation Area, part of the The Hampstead Town Ward of Camden, London. The property is not listed, however as part of the conservation area it is deemed culturally or historically significant, and as such, care has been taken with this application to acknowledge that fact. The property is currently arranged as a single dwelling over 4 storeys with a lower ground and a garden to the rear. There is a main entrance to the building from the street and a secondary entrance via steps, near the front vaults at lower ground floor level.

The immediate neighbouring properties in the terrace are both also nineteenth century Victorian townhouses, which have similar frontages to no. 37 onto the main road. Further along the row and to the opposite side of the street the vernacular of the architecture changes and becomes very mixed; it ranges from middle eastern arches, to modern urban infills. The roof line of the properties in the street is just as assorted with both gabled and hipped roofs, some with dormers and some without, all of varying sizes and heights.

Like the front of the house, the surrounding properties at the rear are all an array of sizes, styles and masses. Directly opposite no. 37, the rear of no. 47 Denning road is a wholly glazed full width rear extension with horizontal sliding windows up the rear facade, which is uncharacteristic of the conservation area.

The property to the left, no. 41, has similar rear facade to the existing of no. 37 comprised of red London Stock bricks and an Edwardian closet wing extension, albeit with a larger mansard roof extension and roof terrace.

The property to the left of no. 41, no.43, protrudes extensively beyond the rear line of numbers 35-41, it has a raised roof line and is clad in white plaster render as opposed to brick.

Our proposal aims to retain the integrity of the original Victorian house, whilst adding contemporary elements. We are mindful not to further add to the discord of the rear of this group of properties, our design aims to be subtle and well co-ordinated.



Figure 2: Existing Street Scape

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Figure 3: Existing Street Scape opposite no. 37

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Existing Plans

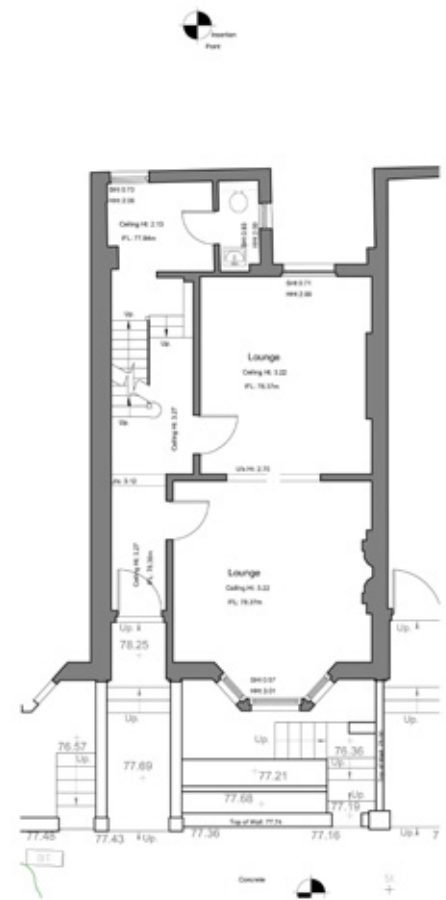


Figure 4: Lower ground floor plan as existing

Figure 5: Ground floor plan as existing

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Figure 6: First Floor plan as existing



Figure 7: Second floor plan as existing



Figure 8: Existing Front Elevation



Figure 9: Existing Rear Elevation

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3.0 Access

The location of the site provides a convenient easy access to roads and public transport. It is situated within walking distance of Hampstead and Hampstead Heath tube and rail stations. Resident on-street car parking is available as well as metered visitor parking.

Access to the dwelling is via main entrance at upper ground floor level from the street level via 3 steps with clear visibility of the street; there are also steps at street level leading down to a second entrance next to the vaults at lower ground floor level. The garden is accessed from lower ground floor level via the conservatory or a door through the existing closet wing at the same level.

Part of the proposal includes the cutting back the front lightwell wall, to create a stepped garden feature. It will not change the front access or the elevation from the street level, but will allow more light to enter into the lower ground floor front room.

Current means of escape is via the ground floor entrance.

The building is a private dwelling and not covered by the provisions of the Disability Discrimination Act. The front door is accessed via 3 steps and any changes would affect the frontal appearance of the property that currently contributes to the features of The Hampstead Conservation Area.

Access will remain unchanged.

4.0 Proposed development

The proposed development will comprise of the following:

- Cutting back of front lightwell wall to form stepped enclosure and planting
- Enlargement of existing dormer to the rear elevation.
- Replacement of the existing glass roof conservatory with a contemporary glazed box.
- Replacement of single storey glazed infill with new two storey glazed infill extension to rear elevation.
- Two new timber framed windows to existing rear closet wing.
- General internal alterations.

Front Alterations

The alterations proposed to the front of the property will not affect the neighbouring properties, or set unwarranted precedent. The proposed cut back of front lightwell wall to form stepped enclosure and planting will not alter the existing street elevation, however it will increase the amount of natural light that enters the lower ground floor.

Alterations to the rear of the building

The proposal intends to extend the existing flat roofed dormer window, again this is a practicality to create more head room internally. The new dormer will stop short of the existing roof line and be inset from either side of the party wall, this will reduce overlooking and loss of amenity issues with neighbours.

There is an existing roof conservatory at 1st floor half level above the existing closet wing. Although this does not have planning permission, it was built 1978 and a certificate of lawfulness has been applied for. It is currently fully glazed with a Georgian wired glass roof with heavy timber formed sections. The current appearance is overbearing and conspicuous. The proposal to alter this element of the rear to a contemporary glazed box will be a better lightweight alternative. The new glass will also be double glazed and predominantly frosted, this will increase privacy and reduce light pollution.

The rear facade of the closet wing has two timber framed windows to the right hand side, our proposal intends to mirror these and create a new symmetry which we believe will increase the visual harmony of the rear.

We also intend to remove the existing conservatory at lower ground floor level and replace it with a double height contemporary glazed infill. In order for the infill to remain subservient to the host property, as is common within conservation areas, the glazing will be slim line aluminum framed, set back from the existing closet wing brickwork and the interior will remain exposed brick, allowing the original wall of the house to always remain visible.



Lastly the owners will be constructing a lower ground floor extension that will run three quarters length across the rear of the house, extend approximately 3m from the rear building line. . There is currently a painted timber outhouse, housing a boiler, which will be demolished to make room for the extension. The roof will be a sustainable sedum green roof, with high thermal and weather proofing properties. It will open onto the garden with aluminum framed bi-fold doors. The Pre- application response confirms this is permitted This is legally permitted development, however has been mentioned in this application to further give context to the design of the rear of the property as a whole,

Proposed Plans, Section and Elevations

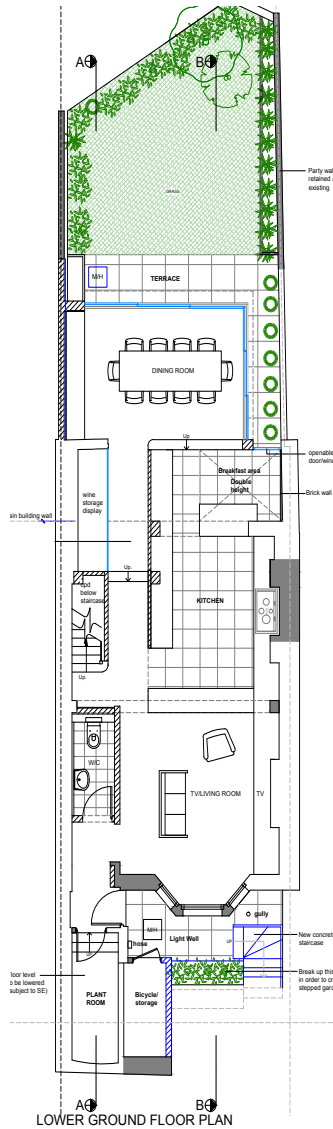


Figure 11: Lower ground floor proposed plan

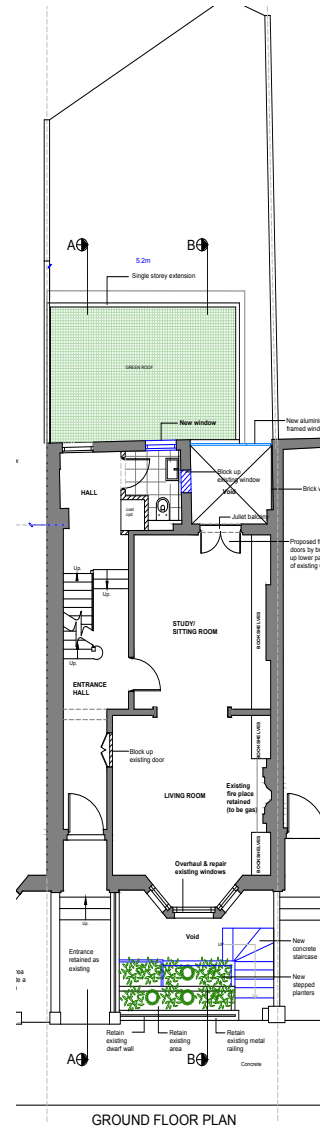


Figure 12: Ground floor proposed plan



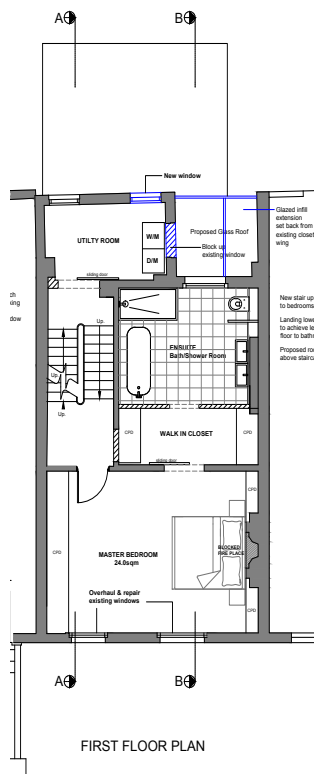


Figure 13: First floor Proposed Plan

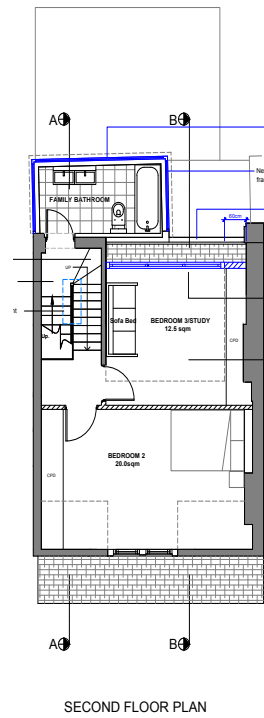
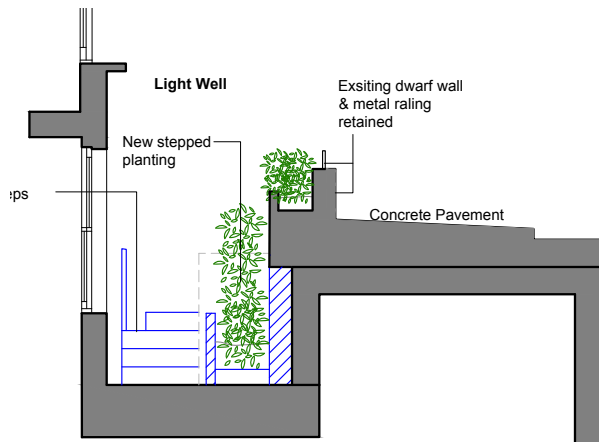
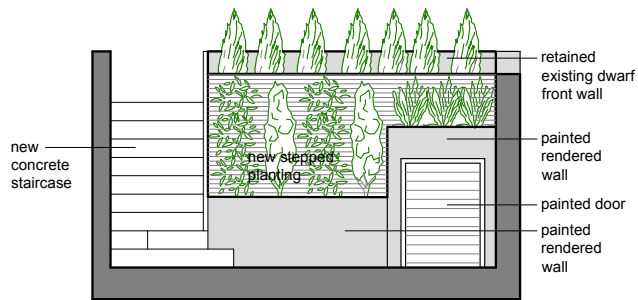


Figure 14: Second floor Proposed Plan



PROPOSED LIGHT WELL TO FRONT ELEVATION



PROPOSED LIGHT WELL TO FRONT ELEVATION- FACING IN TO HOUSE

Figure 15: Proposed front Lightwell

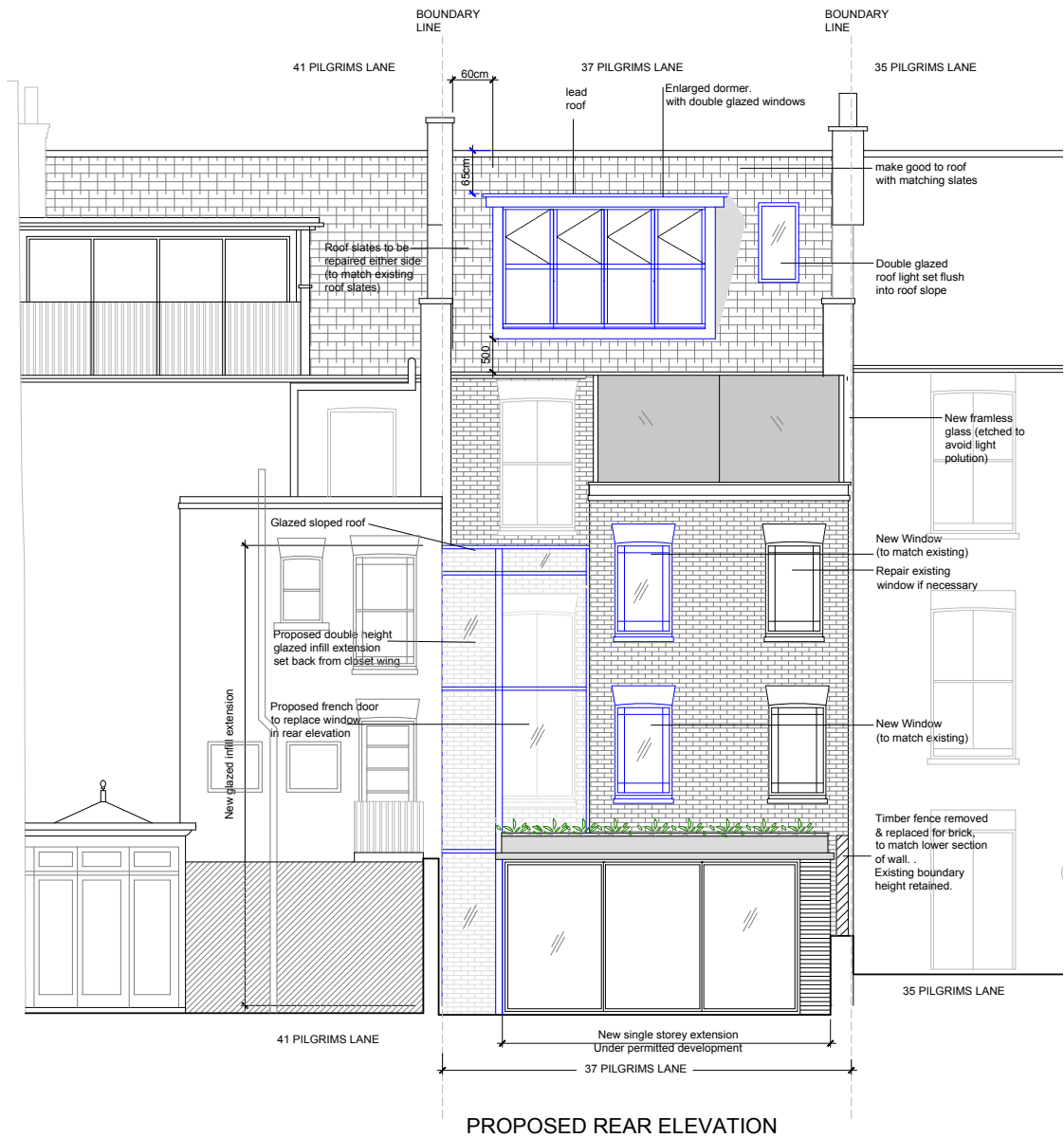


Figure 16: Proposed Rear Elevation



Figure 17: Proposed 3D Visuals showing front elevation and lightwell

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Figure 18: Proposed 3D Visuals showing rear elevation

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5.0 Scale and appearance

The proposals respect the scale and appearance of the adjoining properties and do not significantly alter the impact of the property on the rest of the terrace.

The glazed infill will be subservient to the host house and will not effect the neighbouring properties through overlooking issues or loss of amenity. The artificial light emitted from the glazed infill will only be visible front on and not from numbers 35 or 41. Also, as the garden from the neighbouring property of 47 Denning Road is perpendicular to the garden of number 37, we feel there will be minimal if any artificial light pollution to any neighbouring properties.

The introduction of windows to the existing closet wing will bring a symmetry to the rear elevation and compliment the character of the existing building.

The conservatory will be rebuilt to the same scale following the same footprint as the existing conservatory. The appearance of the proposed conservatory has been outlined previously in this document.

The enlarged dormer will be remain a minor extension to the existing house and be located at least 0.5m away from the sides of the roof, 0.5m away from the eaves of the roof and 0.5m away from the ridge. Thus maintaining the rhythm of the rear roof line and avoiding heavy massing to the roofline.

6.0 Landscaping

There will be some landscaping to the property where the new lower ground extension is built, however this will be minimal; the owners wish to keep the garden largely untouched where possible.



Figure 19: Existing Garden Elevation

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7.0 Planning Policies

The following policies are from the Camden Council Core Strategy, Development Policies and Hampstead Conservation Area Policies and are deemed relevant to this application:

Core Strategy

CS1 - Distribution and growth

CS5 – Managing the impact of growth and development

CS13 – Tackling climate change through promoting high environmental standards

CS14 – Promoting high quality places and conserving our heritage

CS15 – Protecting and improving our parks and open spaces & encouraging diversity

These policies all relate to the macro climate of Camden as a borough and the effect developments will have. We believe our proposed construction will positively contribute to the ideals set out in the core strategy for the local area.

Development policies

DP20 – Movement of goods and materials

DP22 – Promote sustainable design and construction

DP23 – Water

DP24 – Securing high quality design

-The Council will require all developments, including alterations and extensions to existing buildings, to be of the highest standard of design and will expect developments to consider:

- a) character, setting, context and the form and scale of neighbouring buildings;
- b) the character and proportions of the existing building, where alterations and extensions are proposed;
- c) the quality of materials to be used;
- d) the provision of visually interesting frontages at street level;
- e) the appropriate location for building services equipment;
- f) existing natural features, such as topography and trees;
- g) the provision of appropriate hard and soft landscaping including boundary treatments;
- h) the provision of appropriate amenity space; and
- i) accessibility

DP24.13 Extensions should be subordinate to the original building unless, exceptionally, it is demonstrated that this is not appropriate given the specific circumstances of the building.

We have addressed the three policies above by designing elements that are not out of character with neighbouring properties and the local areas; they are to be constructed of high quality materials; they will be submissive to the existing building; we intend to create an interesting frontage at street level; we aim to positively impact the existing amenity space by provide light elements and allowing the building to be opened up to the garden; there is no change to access.

DP25 – Conserving Camden’s heritage

Conservation areas

In order to maintain the character of Camden’s conservation areas, the Council will:

- a) take account of conservation area statements, appraisals and management plans when assessing applications within conservation areas;
- b) only permit development within conservation areas that preserves and enhances the character and appearance of the area;



DP 26 Managing the impact of development on occupiers and neighbours

The Council will protect the quality of life of occupiers and neighbours by only granting permission for development that does not cause harm to amenity. The factors we will consider include:

- a) visual privacy and overlooking;
- b) overshadowing and outlook;
- c) sunlight, daylight and artificial light levels;
- d) noise and vibration levels;
- e) odour, fumes and dust;
- f) micro-climate;
- g) the inclusion of appropriate attenuation measures.

We will also require developments to provide:

- h) an acceptable standard of accommodation in terms of internal arrangements, dwelling and room sizes and amenity space;
- i) facilities for the storage, recycling and disposal of waste;
- j) facilities for bicycle storage; and
- k) outdoor space for private or communal amenity space, wherever practical.

Steps have been taken during the design process to increase privacy, reduce over looking and take into account any other negative impacts to neighbouring properties, we feel employing this practise will successfully allow alterations to contribute positively to the neighbourhood.

DP27- Basements and lightwells.

The Hampstead Conservation Area Policies State:

H31 Planning permission is required for alterations to the roof, at the front, rear and side, within the Conservation Area. Some alterations at roof level have had a harmful impact on the Conservation Area. Because of the varied design of roofs in the Conservation Area it will be necessary to assess proposals on an individual basis with regard to the design of the building, the nature of the roof type, the adjoining properties and the streetscape

H33 Where the principal of an extension is acceptable they should respect the integrity of the existing roof form and existing original details should be precisely matched. In particular:

- The retention or reinstatement of any architecturally interesting features and characteristic decorative elements such as parapets, cornices and chimney stacks and pots will be encouraged.
- Roof extensions should be drained to the rear of the building; no rainwater piping will normally be allowed on the street elevation.
- External works should be carried out in materials that match as closely as possible in colour, texture and type those of the original building or are common in the area.

ROOF TERRACE/GARDENS

H34 The formation of roof terraces/gardens can be an opportunity for external space. Care should be given to locating gardens so that they do not have a detrimental impact on the street scene, surrounding buildings or on the architectural quality of the building. They can be successfully concealed, for example behind parapet walls. The introduction of a roof terrace/garden should not result in an unreasonable amount of additional overlooking or impact on long views in particular. Roof terraces/gardens should not be located on mansard roofs.

The roof has been designed to mirror the roof at the neighbouring property of no. 41 and the impact on all surrounding neighbours has greatly been taken into account.



8.0 Conclusion

The proposed alterations to the property are designed to preserve, and where possible enhance, the special architectural and historic interest of the conservation area property. Externally, the proposal seeks to enhance the existing building, adding alterations of high architectural quality and respecting the integrity of the existing Victorian property. Where there are significant changes in appearance to the exterior of the building, any new works are kept to or within existing building lines and do not conflict with the nearby properties.

The changes and improvements to the conservatory and the addition of new windows rationalise the rear elevation. The other rear alterations will create and follow a language of contemporary meets traditional that will compliment the Victorian property.

There is no impact of the privacy or loss of amenity to adjoining premises. Where there is the potential for overlooking issues relating to neighbours, we have created boundary treatments such as: balustrades, frosted glazing and foliage to reduce any repercussions from this.

As such we feel that this application shows a high quality design that will not reduce the character of the conservation area and best serve the needs of the existing and future owners. This application should therefore be granted for approval.

Please note that there is an accompanying photographic survey of the existing condition of the house as an attachment to this application.*



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