



## 1422 | 7-8 Jeffrey's Place

### Design and Access Statement

Planning

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## Document Control

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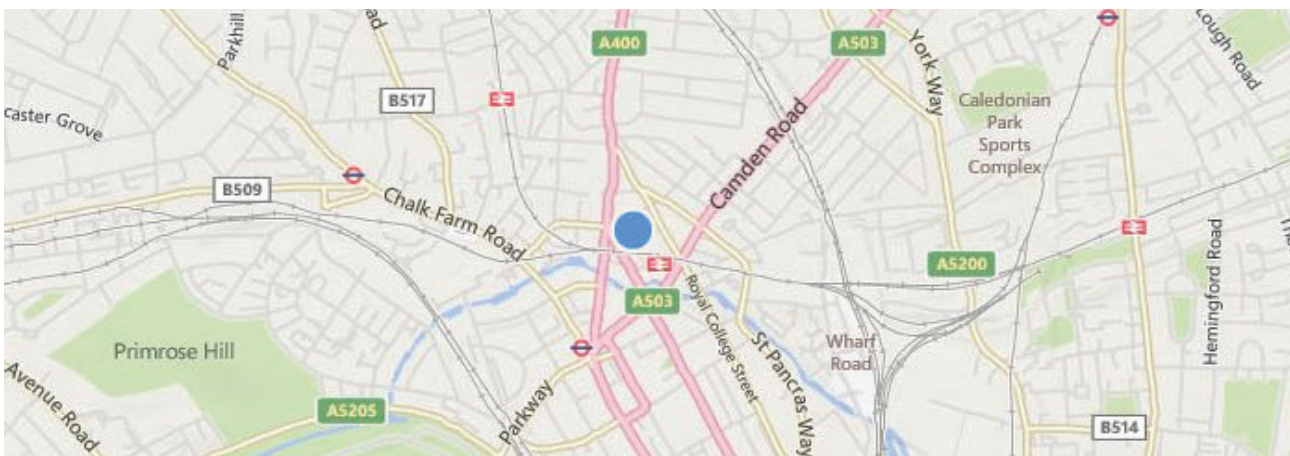
## 1.0 INTRODUCTION

Emrys Architects have prepared this Design and Access Statement on behalf of City and Provincial, the owner of 7- 8 Jeffrey's Place. This document is assembled to support the application for permitted development and prior approval for the renovation and change of use of the property from B1 office use to C3 residential - to be read alongside Emrys Permitted Development Application drawings.

## 2.0 BACKGROUND INFORMATION

### 2.1 Site Location & Aerial Photograph

Jeffrey's Place is situated in the London Borough of Camden. The property is not listed but lies within the Jeffrey's Street Conservation Area.



01. Location Map

Site Location ●



02. OS Map



03. Aerial View

### 2.2 Planning History

There is no recent planning history for the 7-8 Jeffrey's Place although within the direct vicinity there has been a certain amount of planning activity and development.

### **3.0 DESIGN STATEMENT**

#### **3.1 Design Proposal**

The design proposal is for permitted development prior approval notice for the internal alterations and refurbishments to the ground, first and second floors of 7-8 Jeffrey's place to create 6 x 2 bedroom flats.

#### **3.2 Proposed Use Classes**

The proposal is for the conversion of the ground, first and second floor from existing B1 Office use into C3 Dwellings under permitted development in line with the Town and Country Planning Order. Both staircases will be retained and serve 3 flats each.

#### **3.3 Landscape and Trees**

No alteration to landscape or trees is required

#### **3.4 Access**

There will be no alteration to the building entrances, access is by foot and remains from Jeffrey's Place.

#### **3.5 Amenity**

As there is no increase in the buildings massing, there will be no impact on the amenity of neighbouring buildings with regards to overlooking, sunlight or daylight levels. There is no private amenity space allowed for any of the flats as none can be accommodated by the existing building. This is off-set by the exceptionally high quality of nearby external public spaces.

#### **3.6 Transport and Cycle Provision**

There are excellent public transport connections to the site – the building is 5 minutes walk to Kentish Town Underground Station and Camden Road Overground station as well as numerous local bus routes close by.

1 cycle parking space has been allowed per unit. There is also exceptional public transport connections and the Mayor of London's cycle hire scheme with docking stations located opposite the site and within 2 minutes walk.

#### **3.7 Sustainability**

The alterations to 7-8 Jeffrey's Place are designed to be as sustainable as possible within the constraints of an existing building. Materials will have a low embodied energy and be sensitive to the existing fabric. Fittings in the bathroom will include design elements such as dual flush toilets; low flow shower heads and spray taps.

#### **3.8 Waste and Recycling**

Each flat will be equipped with 30litres of waste and recycling storage under sink within the kitchen. Occupants will put their rubbish out for daily collection as per the current arrangements.

#### **3.9 Flood Risk**

There will be no increased flood risk to the property due to the proposal.