



DESIGN & ACCESS STATEMENT
38 (D-E) Regents Park Road
ALTERATION & EXTENSION
(UPPER FLOOR FLATS)

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the **DRAWING ROOM**

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I.00 INTRODUCTION

- I.01 This Design & Access Statement is submitted in support of an application for Full Planning Permission and Conservation Area Consent on behalf of owner occupier Mr S Novick, for the alteration and extension of Flats D&E at 38 Regents Park Road, Primrose Hill NW1 7SX.
- I.02 Our Client recently purchased the second floor flat (Flat D), with the intention of combining it with his existing third/ fourth floor flat (Flat E) and restoring the original character of the building, in keeping with the neighbouring properties (with full support from neighbouring properties).
- I.03 We are seeking to retain and enhance all original features to the front and rear elevations, replace rear elevation windows with more traditional detailing, replace existing glass roof extension, third floor front dormer window, third floor side extension, and add a small extension to the side/rear at second floor to complete the renovation proposals initiated with the recent approval of application 2013/1041/P to provide a harmonious property.



DIAGRAM I : Aerial Location Plan

2.00 SITE

- 2.01 The application site is located at No. 38 Regents Park Road, in Primrose Hill, NW1 7SX, between the junctions with Princess Road (to the East) and Fitzroy Road (to the West) backing on to the rear of the properties to Kingstown Street.
- 2.02 The application site extends to 0.038 Hectares and currently comprises 4 No. residential flats (with a planning approval to convert the 2 No. lower ground-first floor flats into 1 No.) within a single building
- 2.03 The street/locale is predominantly residential, with the majority of properties being large 4-5 storey Italianate Villas (see photographs on pages 6-8)
- 2.04 The existing five storey property (with an additional glazed roof pod), is currently divided into 4 No. separate flats:
Flat A : Lower Ground Floor – separate access
Flat B : Ground & First floor – accessed via main communal stair
Flat D : Second Floor – (owned by our Client) accessed via main communal stair
Flat E : Third/roof space (owned by our Client) - accessed via main communal stair
- 2.05 It is noted that the approval 2013/1041/P amends this to:
Flat A : Lower Ground/Ground/First Floor – separate access from Lower Ground Floor. Therefore we seek to provide a total of 2 No. flats within the building in approval of both applications.
- 2.06 There is 1 No. off street parking space located at the front of the property (accessed from Regents Park Road) owned by the Ground Floor Flat.

3.00 AERIAL VIEWS



IMAGE 1 : South-East Corner



IMAGE 2 : South-West Corner



IMAGE 3 : North-West Corner



IMAGE 4 : North-East Corner

3.01 SITE PHOTOGRAPHS



PHOTOGRAPH 1 : Front Elevation



PHOTOGRAPH 2 : Front Elevation



PHOTOGRAPH 3 : Roof Terrace (rear)



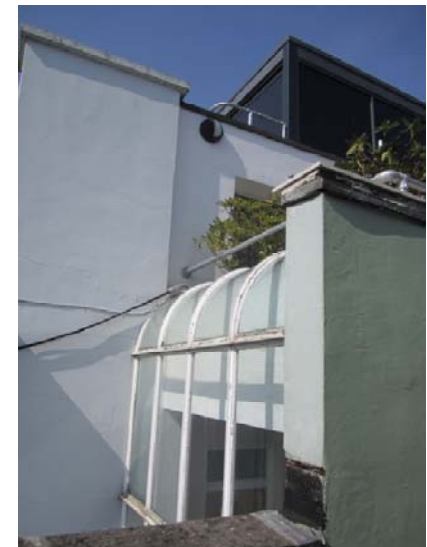
PHOTOGRAPH 4 : Rear Elevation



PHOTOGRAPH 5 : Rear Elevation



PHOTOGRAPH 6 : Terrace Balustrade



PHOTOGRAPH 7 : Third Floor Terrace



PHOTOGRAPH 8 : Roof Terrace (west)



PHOTOGRAPH 9 : Glass Roof Extension



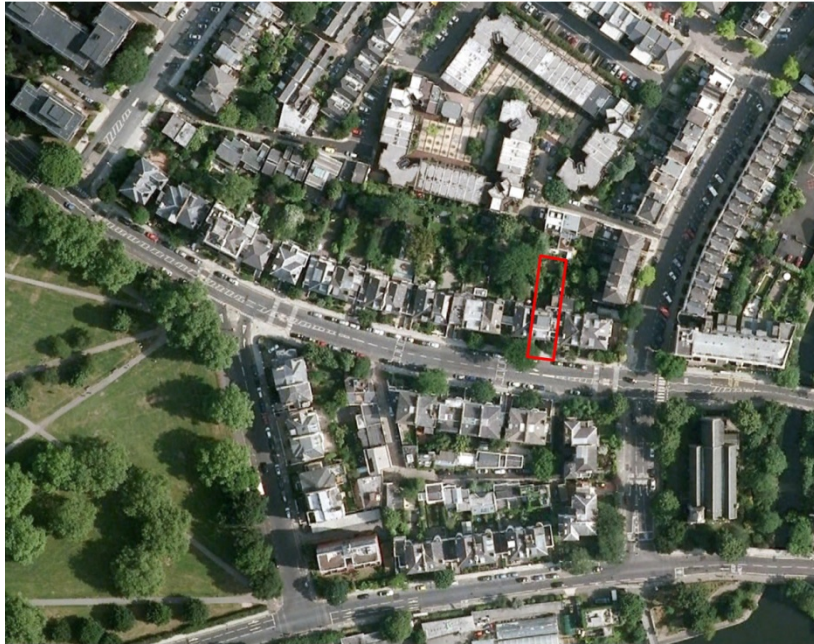
PHOTOGRAPH 10 : Third Floor Extension (stair)



PHOTOGRAPH 11 : Context (No.44 Regents Pk Rd) - Example of non-subservient additions, that detract from the original building form



PHOTOGRAPH 12 : View of existing roof extension from No. 36 Regents Pk Rd



4.00 DESIGN

4.10 USE

4.11 The use of the site, ie. residential (use classification C3) remains unchanged.

4.12 The density is reduced from the approved 3 No. units within the building into 2 No. units by combining:

- Flat D : Two Bed Unit (Second Floor)
- Flat E : One Bed Unit (Third/Fourth Floor)

To create one larger four bedroom flat over three floors.

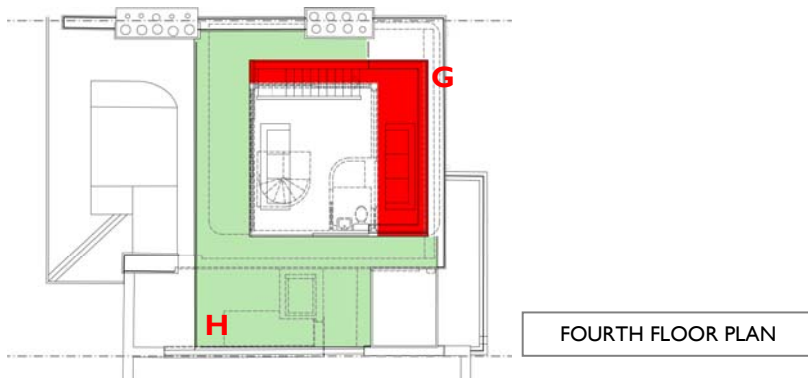
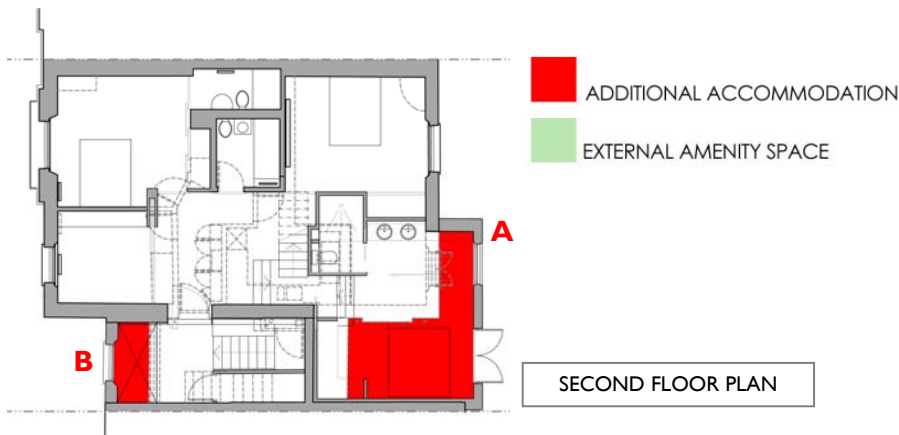
4.13 The location of the site within a long-established neighbourhood means there is a broad range of community facilities available on Regents Park Road (further West) alongside the Park, which is within a 2 minute walk.

4.14 The site is located within close proximity to the generous open green space of Primrose Hill. Primrose Hill is a hill of 256 feet (78 m) located on the northern side of Regent's Park (see Eastern corner of the hill on the aerial photograph opposite).

4.15 The existing flats (to be combined) each have small terrace amenity space as follows:

- Flat D 11sqm (second floor – North facing)
- Flat E 5sqm (third floor – South facing)
25sqm (fourth floor – wrap around glass box)

With the exception of Flat D terrace, none of the existing amenity is particularly useable, having a depth of just over 1m.



4.20 AMOUNT

4.21 The proposal is to combine two existing apartments, and add small scale extensions to increase the building footprint by 34sqm (see highlighted areas in diagram opposite) to:

Second Floor (side extension to the rear)

- A** Infill in the location of the existing rear terrace to create larger Master Bedroom (13m²)
- B** Extension to the stair well (front) as approved in application 2013/1041/P

Third Floor (side extension)

- C** Glass extension to either side of the existing enclosed stairwell to form dining area and extension to living space (12m²)
- D** Replacement dormer window (scale as existing)
- E** Replacement fenestration – to original detailing
- F** Small secondary balcony terrace to the rear (6m²)

Fourth Floor (side and rear extension)

- G** Replacement glass box extension, increased marginally to the side and rear to improve symmetry of the building form and the front elevation. The line of the glass box does not extend beyond the existing line to the front elevation (9m²).
- H** Extend terrace amenity over new third floor extension, to create a useable amenity space, suitable for the four bedroom property (32m²)

4.22 The off street parking provision is retained as existing (1 x car port to the front of the building) – ownership of the lower flat.

4.24 The small scale additions to the building mass do not have any adverse effect on the local amenities, and are in keeping with the density of this and neighbouring properties, being subservient to the original building form.

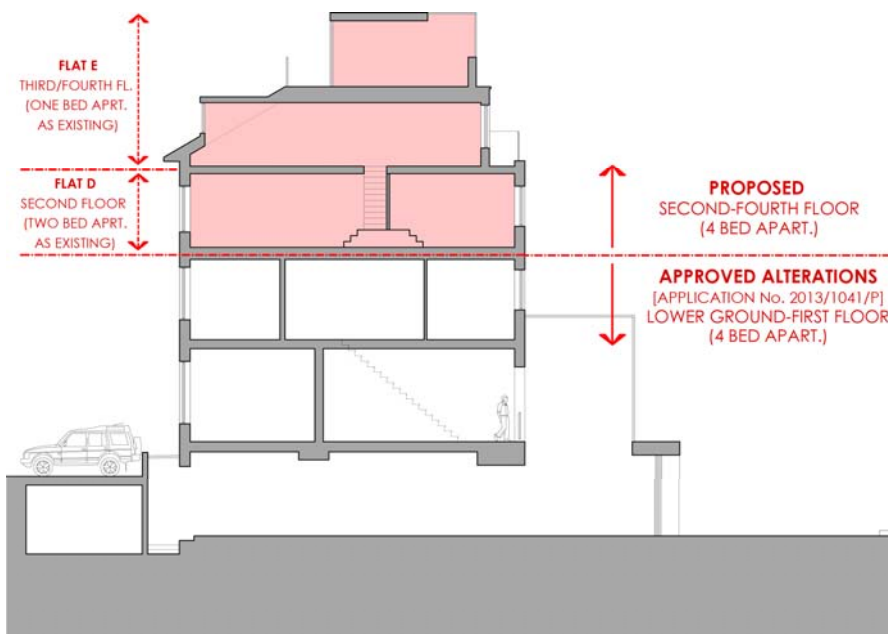


DIAGRAM 2 : Layout of the two proposed apartments – Design Section

4.30 LAYOUT

- 4.31 The layout of the original building in terms of orientation and movement around the site is unchanged.
- 4.32 The bringing together of two units has been designed to take advantage of the existing views and generous amount of natural light within the top two floors for the living accommodation, retaining the second floor as bedroom space, but creating an open, grand entrance hall and flexible use of study/occasional bedroom space.
- 4.33 The small scale extensions are all located to the side and rear of the building and are subservient to the original Italianate Villa.
- 4.34 The layout of the open plan internal spaces, within the new additions make best use of the natural daylight and are in keeping with the orientation of spaces within the existing property – facing front on to Regents Park Road, and to the rear over private gardens.
- 4.35 All existing floor levels are retained throughout.

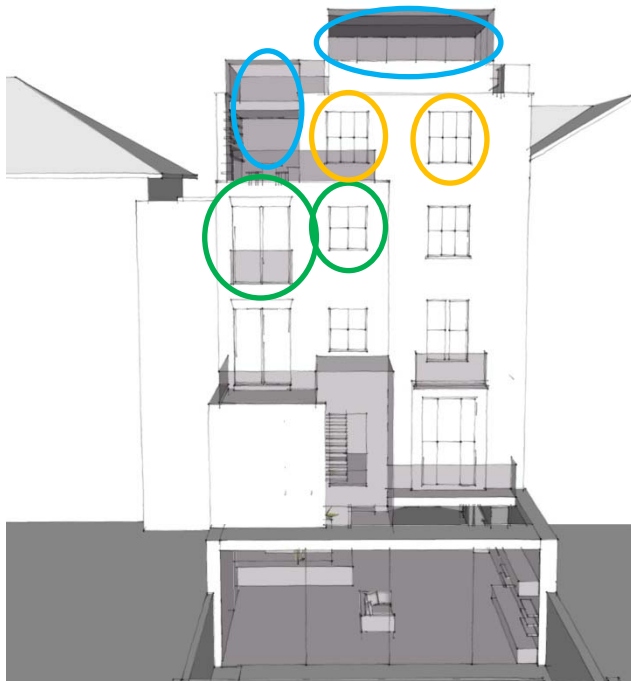





DIAGRAM 3 : Scale of Fenestration – Rear Elevation

KEY:

-  New Fenestration in masonry extension (in keeping with original detailing)
-  Replacement Fenestration (in keeping with original detailing)
-  Contemporary fully glazed, set back extensions (compliment rather than fight against the original detailing)

4.40 SCALE

4.41 Key to our exploration of improving the useable square footage of the property was ensuring any additions are in keeping with, and appear subservient to the original building mass.

4.42 In doing so we have, as was approved in the previous application (2013/1041/P) and discussed with the planning/conservation officers at the time, designed all new additions/alterations to be either of solid masonry construction with, punched windows of traditional detailing, where this relates to the main building, or of lightweight, crisp contemporary detailing which complements the original detail of the original building fabric.

4.43 The diagrams opposite demonstrate the scale and massing of the proposed additions (highlighted blue), which again seek to appear subservient to and respectful of the original building form.

4.44 Something that we were very mindful of was to ensure the separation between properties was retained, and the form of the original building is still the primary focus. We highlight an instance on Regents Park Road where we feel additions between the two properties has not been successful due to insufficient set backs and poor use of materials, causing the extensions to detract from the original mass of the villa -see photograph 11, p8.

4.45 All proposed punched windows are to appropriate scale and are in keeping with, and indeed an improvement to, the existing fenestration (highlighted green and yellow, on Diagram 3, opposite)

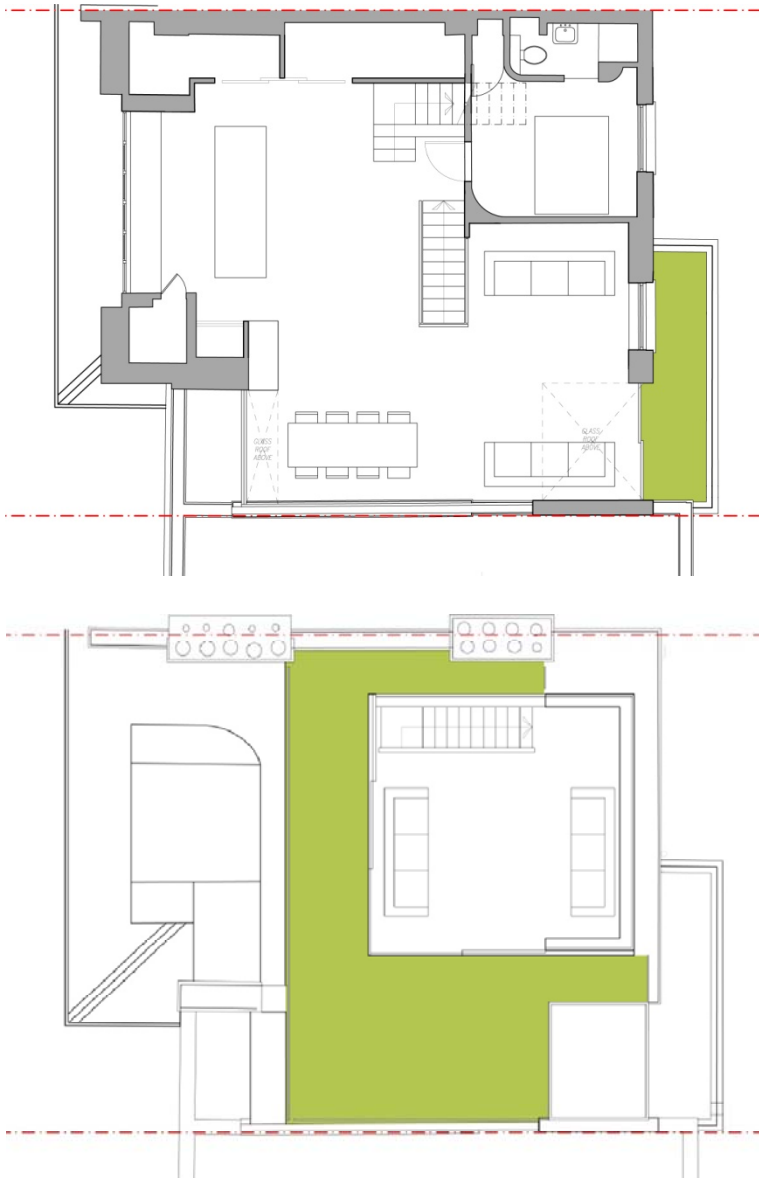


DIAGRAM 4 : Location of Terraces (Third & Fourth Floor)

4.50 LANDSCAPING

- 4.51 The generic landscaping scheme is largely unchanged from the existing layout, the approach to the property at ground floor is retained as existing.
- 4.52 No trees are affected by the works proposed in this application, as all the works proposed are to second floor upwards.
- 4.53 The only amendments to landscaping is the hard landscaping to the proposed roof terraces, which will be softened with potted plants to encourage wildlife, butterflies and bees.
- 4.54 Rainwater from the fourth floor roof extension will be harvested for irrigation purposes.
- 4.55 The two roof terraces are (see diagram opposite):
 Third Floor : Small (secondary) terrace to the rear (6m²)
 Fourth Floor : Main roof terrace over the side extension (32m²)

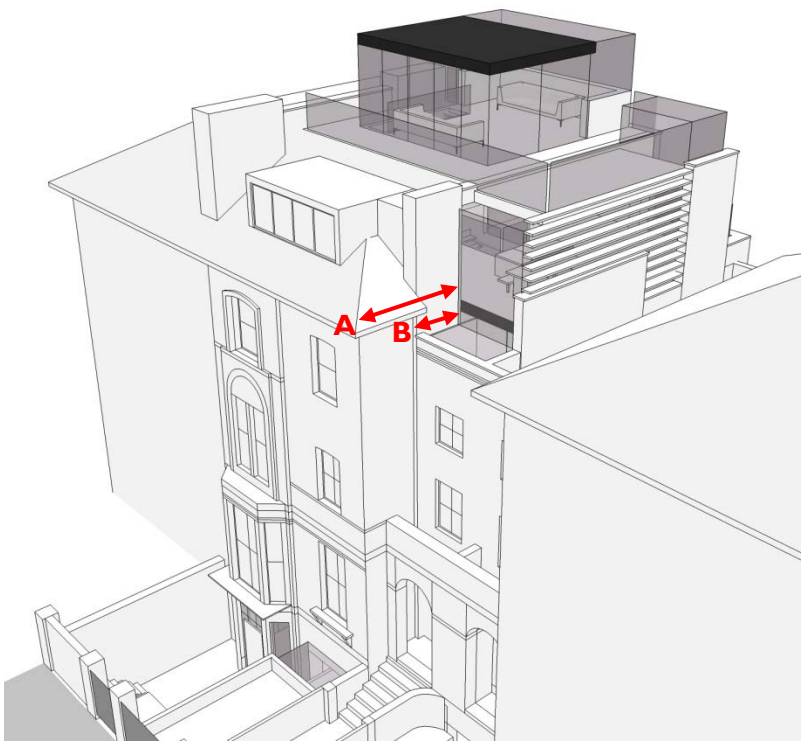


DIAGRAM 5 : Model of Proposed Extensions (South-East)



PRECEDENT IMAGE : Cantifix Pureglaze

4.60 APPEARANCE

- 4.61 The overall improved appearance of the property within the street scene is paramount. The design of this application takes on board the design considerations from the previous approval, and extends this same considered detailing up to include the subsequent two floors – ensuring that once the whole building is complete it is done so with harmonious detailing, and with a coordinated approach to the design of the entire property (both flats).
- 4.62 Our client was inspired by the plans proposed by his neighbour (in Flat A) and approved by the LPA, and is proposing alterations to the upper three floors to be in keeping with those approved, such that the villa does not become fragmented by contrasting designs. The proposal is for all work to be undertaken by the same contractor (who recently refurbished No. 52 Regents Park Road to a very high standard), details designed by the same architect.
- 4.63 The frontage will be further simplified and improved from the previous application that sought to replace the 70's glass link with a masonry solution with punched windows to mirror the details of neighbouring property (No. 36). This application seeks to further improve the frontage with replacement glass/masonry side extension set back (A) 2.8m from the main front elevation, (B) 1.5m from the new masonry stair. As before, the original detailing takes precedence with a simple frameless subservient extension (see Diagram 5 opposite).
- 4.64 The existing poorly finished a-symmetrical glass roof extension is to be replaced by a seamless contemporary addition, detailing to match the approved glass extension to lower levels in the previous application (Cantifix Pureglaze – as used in English Heritage Projects) – see precedent images opposite.

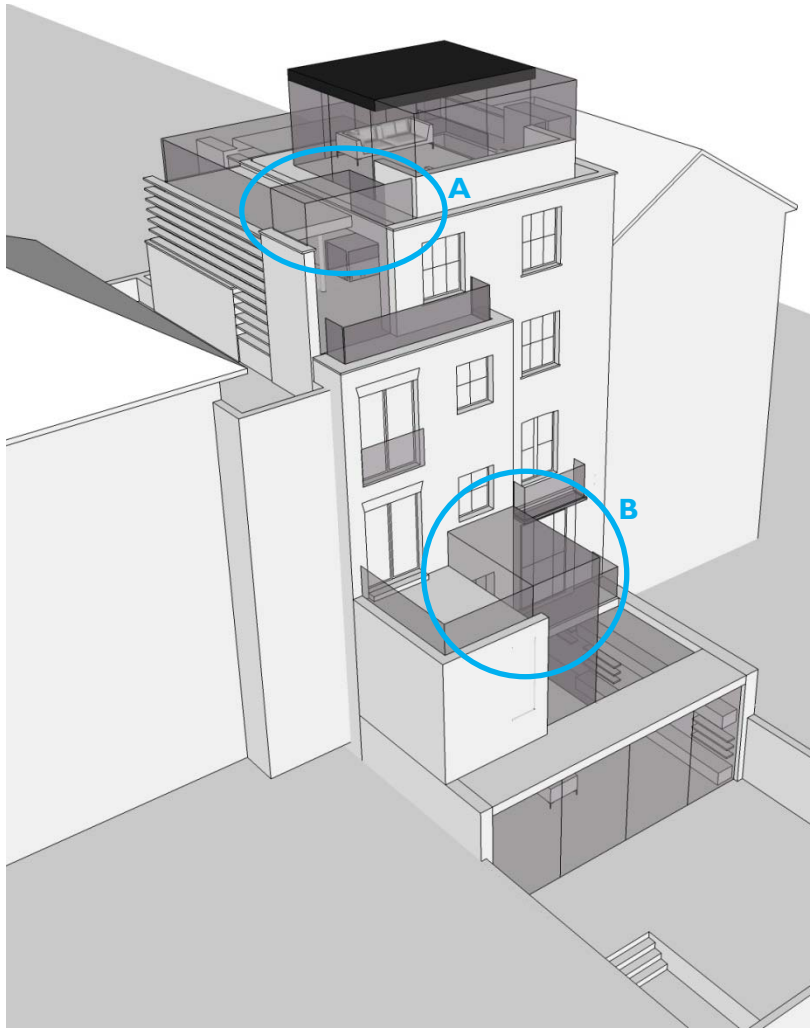


DIAGRAM 6 : Model of Proposed Extensions (North-East)

- 4.65 The poor quality and non-compliant industrial key clamp balustrade to the roof terrace (fourth floor) is also replaced (in its existing position) with a minimal frameless fully glazed balustrade (as approved elsewhere in the previous application). This aesthetic of balustrade is used throughout, from first floor (rear elevation) up to fourth floor (front and rear).
- 4.66 The dormer window (front, at third floor) is to be replaced with a rectilinear version, in keeping with the original building – replacing the final remaining element of the 70's design.
- 4.67 The materials are a very simple palette:
- Rendered masonry – all new masonry elements will be detailed to match the existing.
 - Brickwork (London stock) – all new brick elements (to the rear) will be designed with detailing to match the existing and original detailing.
 - Glass – all new, subservient elements are designed using the most up to date glass technology, frameless and seamless additions that allow the original detailing of the masonry and brick elements to take precedence.
- 4.68 This approach to the scheme is considered the most appropriate solution to replace poor quality elements and reinstating original detailing, without compromise to the existing property or the wider street scene, whilst creating a wonderful family dwelling from the existing 2 small flats – see diagrams showing the improvements both front and rear elevations on the next page (Diagram 7&8)
- 4.69 The design of the up and over glass roof with integrated terraces (A) is a detail incorporated and approved in the previous application (B), therefore this detail is replicated to ensure the continuity of the overall design aesthetic (see Diagram 6 opposite).

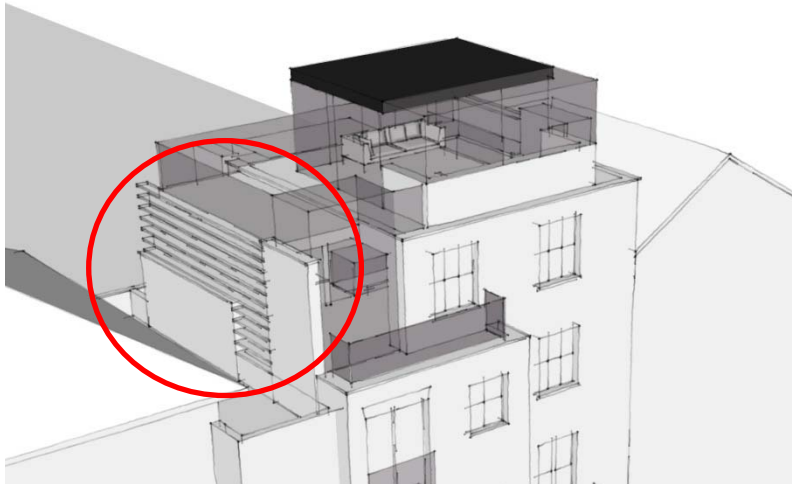


DIAGRAM 7 : Model of louvered side façade to third floor

- 4.70 The side elevation has been designed to retain the existing masonry and insert lightweight glass addition, with louvered facade to the east (side) elevation.
- 4.71 The louvers (see model image opposite) will be low maintenance, weather resistant PPC aluminium to ensure the longevity of the appearance of the building. The precedent images opposite show the design intent with regard to small area of louvers proposed.



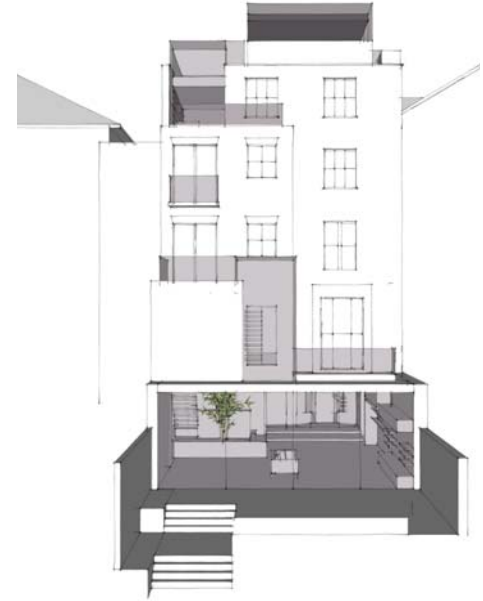
PRECEDENT IMAGE : Louvers



EXISTING



APPROVED SCHEME



PROPOSED SCHEME

DIAGRAM 8 : Shows the proposed changes to the Rear Elevation



EXISTING

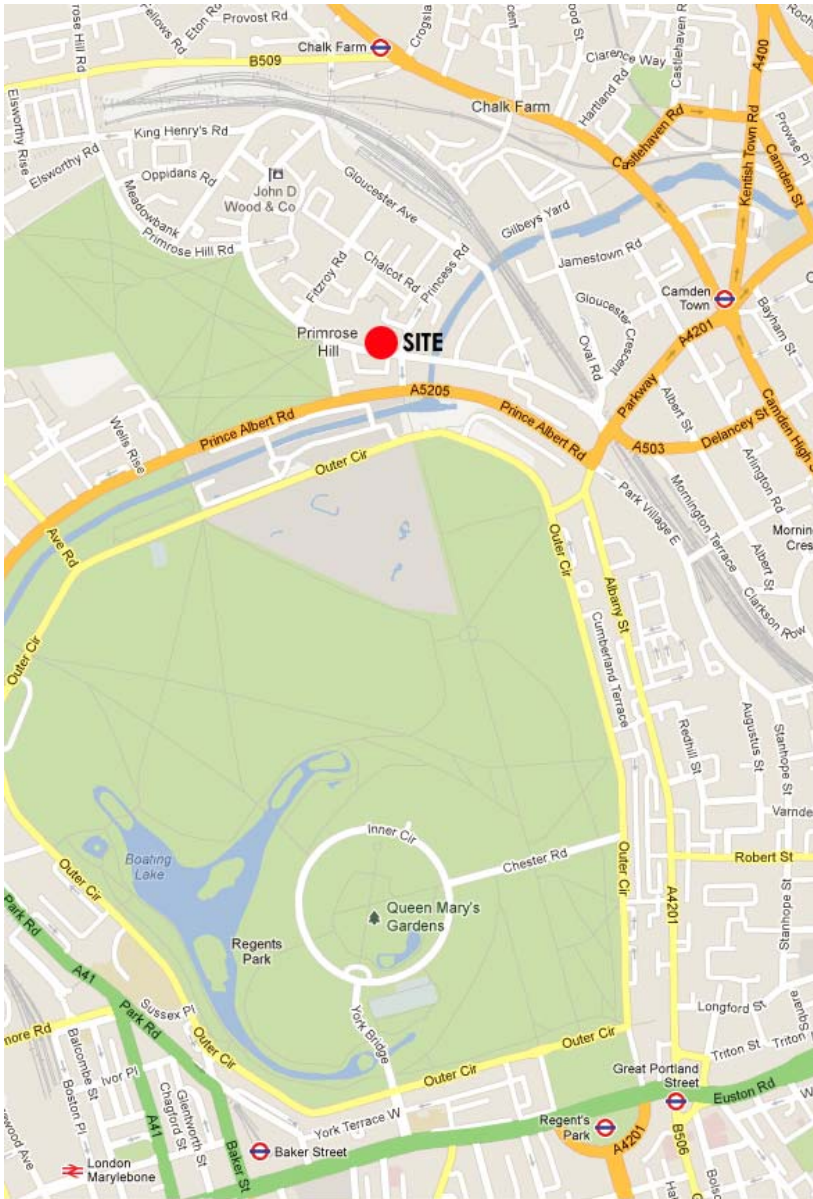


APPROVED SCHEME



PROPOSED SCHEME

DIAGRAM 9 : Shows the proposed changes to the Front Elevation



5.00 ACCESS

5.01 The vehicular access on site is restricted to the singular car port, to be retained as existing (this is owned/maintained by the Ground Floor Flat)

5.02 The pedestrian access will be retained as existing, to the communal entrance, improvements approved in application 2013/1041/P to be implemented.

5.05 Public Transport

The property is very well served by public transport, with strong existing links to both rail and bus:

5.06 Tube (Northern Line)

The site is located just over half a mile (10 min walk) from Chalk Farm Tube Station to the North, and the same distance from Camden Town Tube Station (East).

5.07 Bus

Stop K on the 274 Bus route is positioned almost immediately outside the property on Regents Park Road with links Eastbound to Angel, Islington and Westbound to Lancaster Gate at Hyde Park.

5.08 DDA ACCESS

The flat is located on the second-fourth floors of an existing building, accessed via a stepped approach from street level, as such it is not possible to create a fully DDA compliant scheme, however best endeavors have been made to create a logical layout and ease of movement around the dwelling for ambulant disabled persons.

5.09 The approach to the entrance is unchanged from existing.

6.00 SUMMARY

- 6.01 The proposal seeks to expand on the design approved in previous application (2013/1041/P), with replacement fenestration and small scale additions in keeping with the approved scheme to create a harmonious approach across the whole site.
- 6.02 The scheme combines 2 existing small units (a one bedroom flat with disproportionate living accommodation and a two bedroom flat with disproportionate bedroom accommodation) to create a well planned four bedroom family dwelling with appropriate amenity space.
- 6.03 The design approach is to ensure all contemporary additions are subservient to the original building mass, and is appropriately set back, and of contrasting minimal design which compliments rather than competes with the ornate detailing of the Italianate Villa frontage and rear brick facade.
- 6.05 The scheme has been conceived and designed to limit and/or address any potential for overriding material considerations that could prevent officer support.