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# Imperial Works, Camden

Design & Access Statement- 22.12.2014

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# CONTACTS

## SITE ADDRESS

Imperial Works  
Perren Street  
London NW5 3ED

## CONTACTS

### Applicant

Name	Imperial Works Ltd.
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### Agent

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## ISSUE

Revision	P1
Date	22/12/2014
By	Coffey Architects

## PLANNING

# CONTENTS

1.0 INTRODUCTION	4
2.0 DRAWINGS	5
3.0 SITE	6
3.1 Site Location	
3.2 Existing Building	
3.3 Site Photographs	
3.4 Site Considerations	
4.0 PROPOSALS	10
4.1 Use	
4.2 Area	
5.0 DESIGN	11
5.1 Massing	
5.2 Street Views	
5.3 Layout	
5.4 Materials	
5.5 Sustainability	
6.0 ACCESS	15
6.1 Accessibility	
7.0 APPENDIX	17
7.1 Previous Application Drawings	

# 1.0 INTRODUCTION

## 1.0 INTRODUCTION

This report has been produced by Coffey Architects for Imperial Works Ltd. in support of a full planning application for the extension of the roof and cladding of existing external fire escape stair to Imperial Works Building, Perren Street, London NW5.

## 2.0 DRAWINGS

The application drawings:

No.	Title	Scale	Size
799-001	Location Plan	1:1250	A3
799-105	Existing Fourth Floor Plan	1:100	A2
799-106	Existing Fifth Floor Plan	1:100	A2
799-107	Existing Roof Plan	1:100	A2
799-110	Existing Section AA	1:100	A2
799-111	Existing Section BB	1:100	A2
799-120	Existing Elevation 01	1:100	A2
799-121	Existing Elevation 02	1:100	A2
799-122	Existing Elevations 03 & 04	1:100	A2
799-205	Proposed Fourth Floor Plan	1:100	A2
799-206	Proposed Fifth Floor Plan	1:100	A2
799-210	Proposed Section AA	1:100	A2
799-211	Proposed Section BB	1:100	A2
799-220	Proposed Elevation 01	1:100	A2
799-221	Proposed Elevation 02	1:100	A2
799-222	Proposed Elevations 03 & 04	1:100	A2

# 3.0 SITE



Aerial view of West elevation



Aerial view of the South elevation

- 1- Ryland House
- 2- Portland House
- 3- Kentish Town West Overground Station
- 4- Talacre community Sport centre
- 5- Talacre Gardens
- 6- Perren Street
- 7- Ryland Road
- 8- Grafton Road

## 3.1 SITE LOCATION

The site is located on Perren Street which is situated just off Ryland Road. It is also adjacent to the major thoroughfare of Prince of Wales Road and Kentish Town West Overground Station. The site is situated within the Inkerman Conservation Area – Shown in Fig 1 below.

Various bus routes are accessible along Prince of Wales Road and Kentish Town Road. Kentish Town and Chalk Farm Northern Line Underground Stations are also 5/10 minutes walk.

Talacre Gardens are close by, and the location is well served for shopping on Kentish Town Road.

The site is located between two streets which are predominantly residential. From the upper levels there are views over the railway lines and surrounding area.

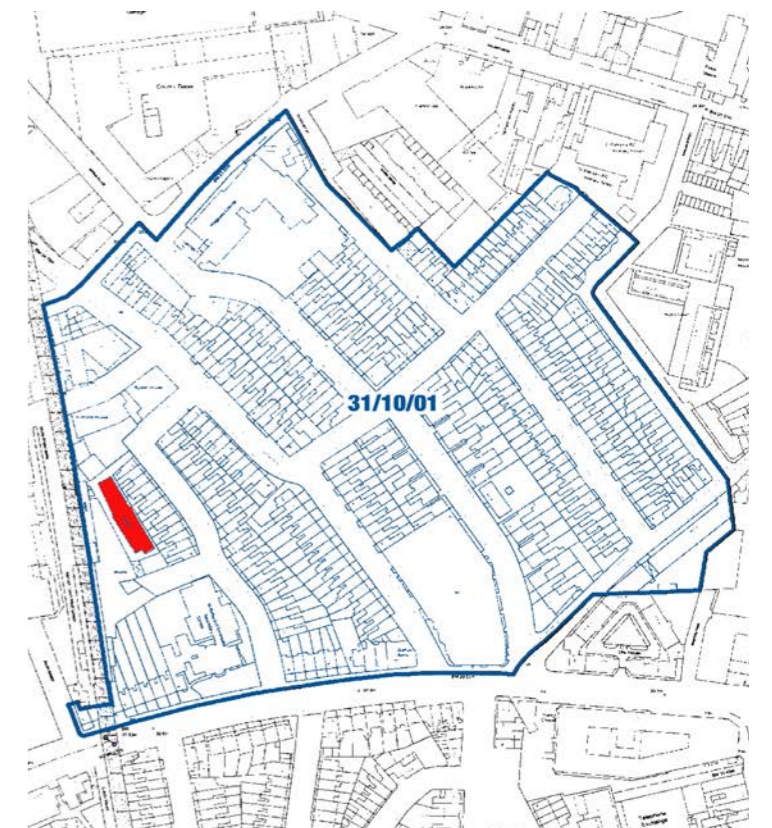


Fig 1.



View from Perren Street

### 3.2 EXISTING BUILDING

Imperial Works building was originally a large multi-storey 19th century industrial building. The current use of the building is B1a office – including a series of open plan office spaces along with cellular meeting/service zones. There are three storeys above ground floor plus a lower ground, with an additional two storeys in the central core roof protrusion. The above ground storeys have generous ceiling heights and large windows. The street façades are fairly regular, with brick detailing.

The flat roof is at the fourth floor level, accessed via the central stair/lift brick core and a metal staircase at the North end of the building.

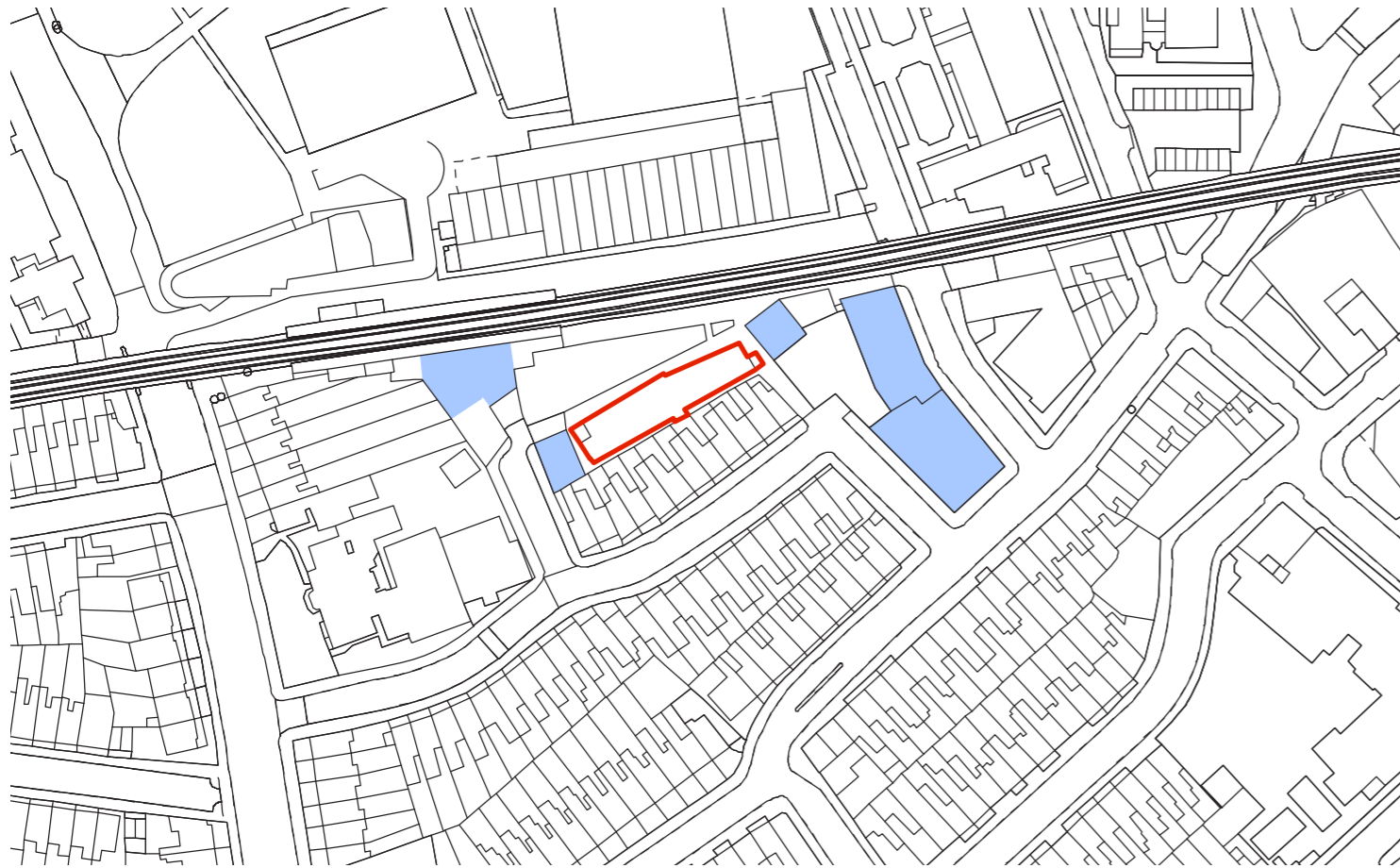
The existing building is split into three sections by structural party walls. The building is on a southeast-northwest axis, with sunlight to the street elevations in the morning, and to the rear elevation in the evening.



### 3.3 SITE PHOTOGRAPHS

1. View from typical existing office space
2. View West along Perren Street
3. View of existing metal external escape stairs
4. View from existing roof and protruding brick core





Map of buildings

### 3.4 SITE CONSIDERATIONS

Within the Inkerman Conservation Area there are examples of previous developments that have gained planning permission for substantial roof extensions.

1. 24 Ryland Road  
Roof extension granted Ref: 2005/4991/P
2. Portland House  
Roof extension granted Ref: 2011/5370/P  
Note: Photo taken before roof extension constructed
3. Imperial Works Block D  
Additional storey granted Ref: PEX0200895  
Amendments granted Ref: 2011/5370/P
4. 1 Perren Street  
Roof extension granted Ref: 2008/1775/P
5. 1A Perren Street  
Roof extension granted Ref: 2006/2033/P  
Amendments granted Ref: 2007/2304/P  
Details granted Ref: 2007/6369/P

Locations highlighted in blue in the top left map.



Aerial view of the Area

# 4.0 PROPOSALS



## 4.1 USE

The proposals include two open plan office spaces within the roof extension(s) that will be accessed directly from the existing central core of Imperial Works. Fire escape access will be available from the existing north-west metal fire escape stairs. The protruding existing brickwork core will be utilised predominantly as a entry and ancillary kitchen area. The proposals also include enclosing the existing external fire escape stair to the south-east with timber cladding.

Outdoor amenity space in the form of set back terraces will be provided to the office spaces and will be utilised as breakout zones in good weather situations.

## 4.2 AREA

The proposed roof extension increases the floor area for Imperial works by 177 sqm (GIA) as follows:

Existing Gross internal Areas:

Fourth Floor	-	27 sqm
Fifth Floor	-	25 sqm
<b>TOTAL</b>	-	<b>52 sqm</b>

Proposed Gross Internal Areas:

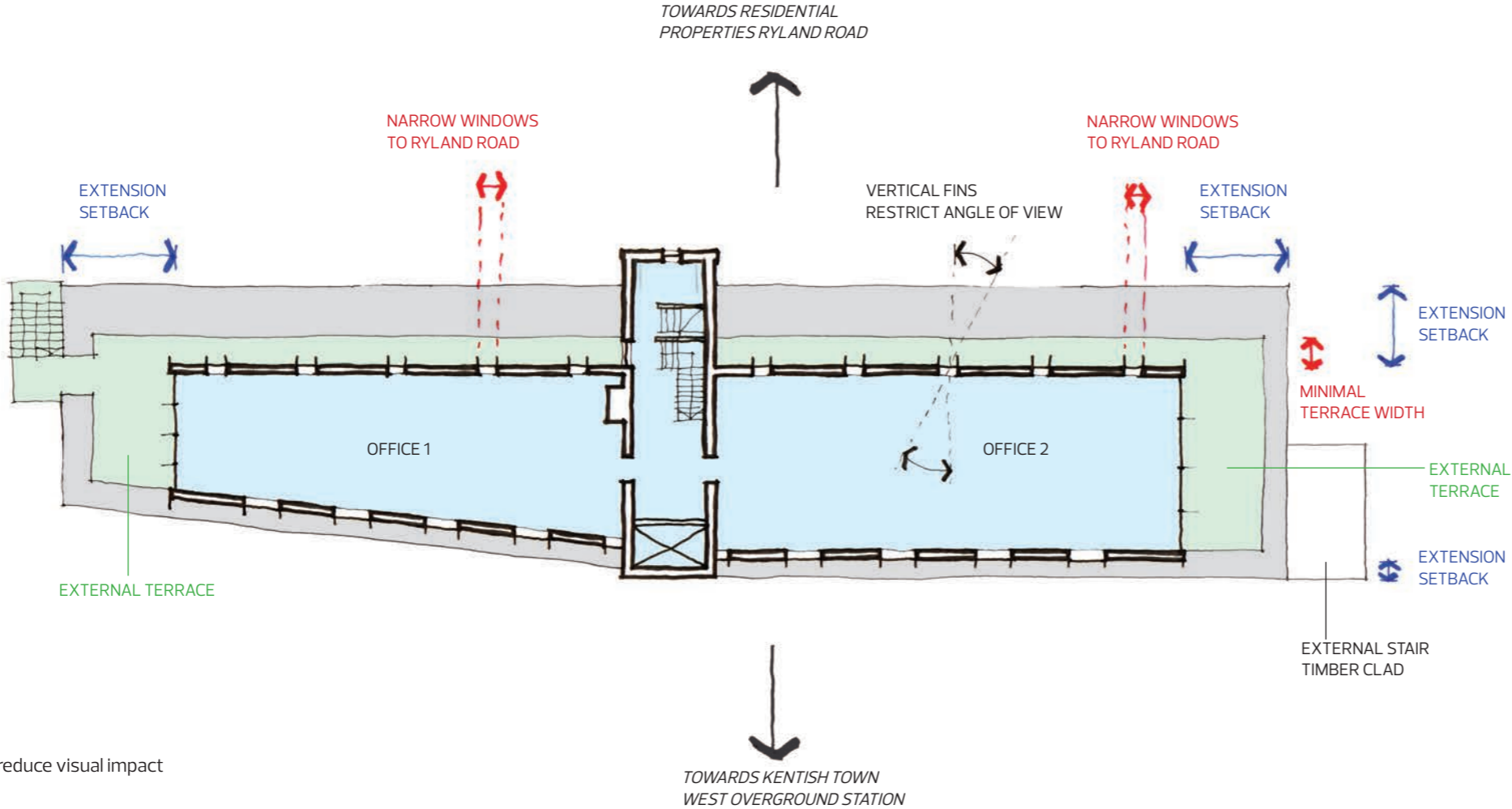
Fourth Floor	-	204 sqm
Fifth Floor	-	25 sqm
<b>TOTAL</b>	-	<b>229 sqm</b>

# 5.0 DESIGN

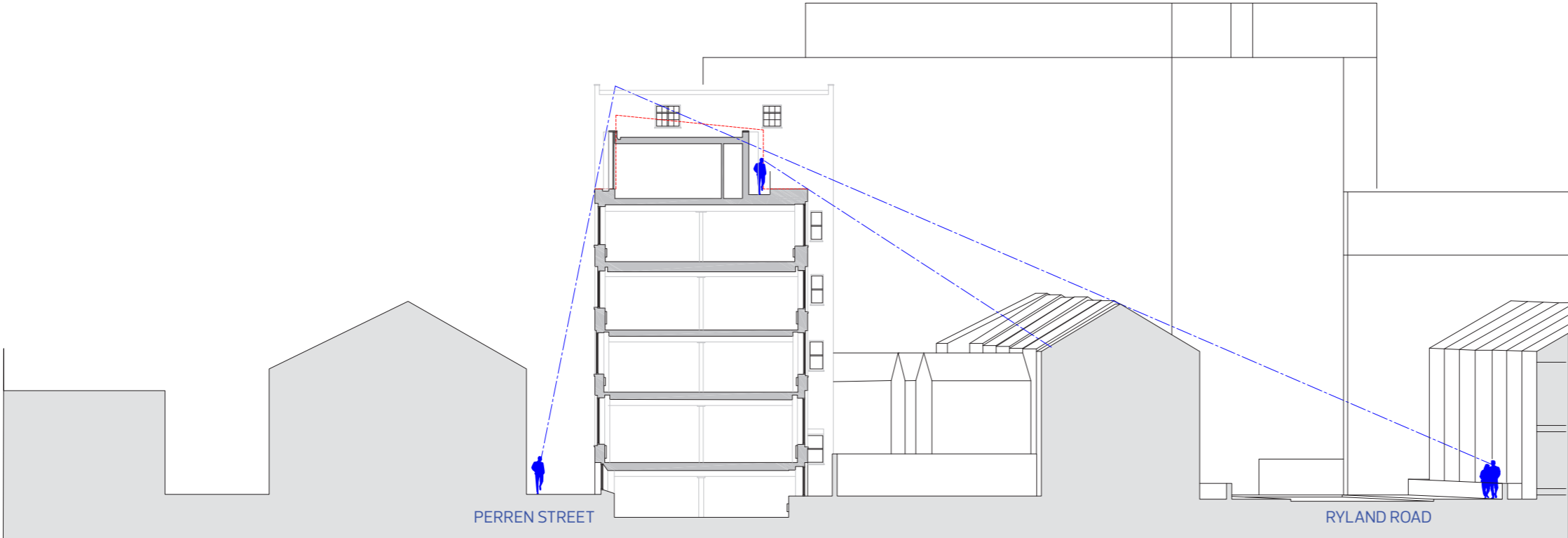
## 5.1 MASSING

The massing of the roof extension has been developed to minimise the visual impact from the surrounding streetscape and overlooking to adjacent properties whilst achieving high quality office spaces. This has been achieved by respectfully stepping back the mass from the existing perimeter and restricting the terrace access to the rear to a minimum for maintenance.

This proposal incorporates comments from the previous application in 2000 for a residential roof extension – Application Ref: PEX0000576. These measures include setting the proposal further back from the perimeter, reducing the height and footprint; all of which result in an appropriately scaled extension – negating issues of overlooking and visual intrusion to adjoining properties.



Plan highlighting measures to reduce visual impact



Section showing minimal visual impact from surrounding streets



View West across Ryland Road  
**Existing** \_ showing two storey core overrun



View West across Ryland Road  
**Proposed** \_ minimal visual impact

## 5.2 STREET VIEWS

The design extends the existing building envelope with minimal impact on the surrounding street views.

*Note: Views are for information only – not verified*



View from Grafton Road  
**Existing** \_ Imperial Works building behind Victorian housing



View from Grafton Road  
**Proposed** \_ extension set back negating visual impact.



View from Kentish Town West Overground Platform  
**Existing** \_ view towards Imperial Works



View from Kentish Town West Overground Platform  
**Proposed** \_ lightweight roof extension; facade echoes rhythm of existing building

**5.3 STREET VIEWS (CONTD.)**

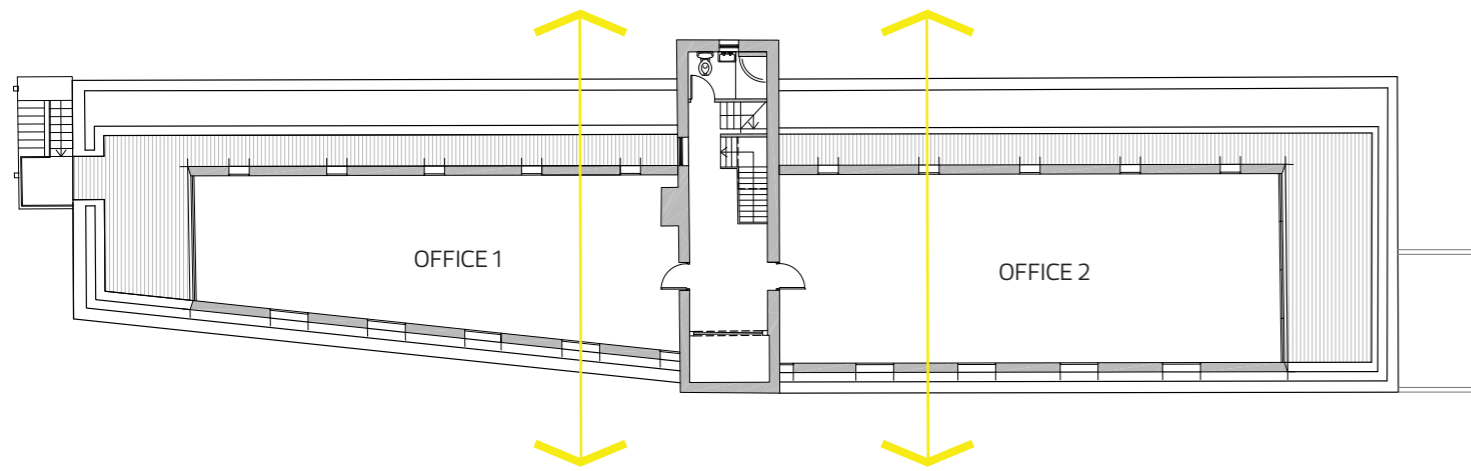
*Note: Views are for information only – not verified*



View from North End of Ryland Road  
**Existing** \_ view picking up core / stairs overrun



View from North End of Ryland Road  
**Proposed** \_ Minimal visual impact



Proposed layouts on fourth floor showing dual aspect

	Area (GIA) sqm	Proposed Areas
Fourth Floor	204	
OFFICE 1	74.6	
OFFICE 2	97.4	
<b>TOTAL OFFICE</b>	<b>172</b>	

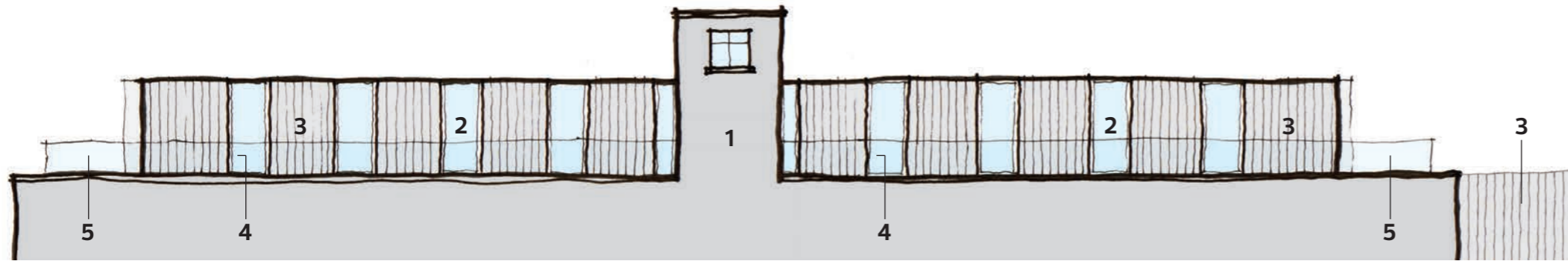
#### 5.4 LAYOUT

The form of the existing building sets the parameters for the proposed roof extension. The perimeter envelope is set back by varying amounts to reduce visual impact as previously discussed.

The two proposed offices achieve high quality spaces throughout by implementing the following design principles:

- Natural light to both office spaces
- Natural ventilation to across all office areas
- Dual aspect

The aforementioned 2000 refused planning application (Ref: PEX0000576), mentions detailed design and form as reasons for refusal. As a result, the ordered facade of this proposal directly relates to the existing fenestration patterns on the existing building; creating a contextual, ordered facade. The horizontal nature of the timber cladding helps to further break down the proposed form. The reduced scale of the window pattern and widths to the north-east elevation is a direct result of overlooking concerns raised in the previous application (Ref: PEX0000576).



Proposed South-West Elevation

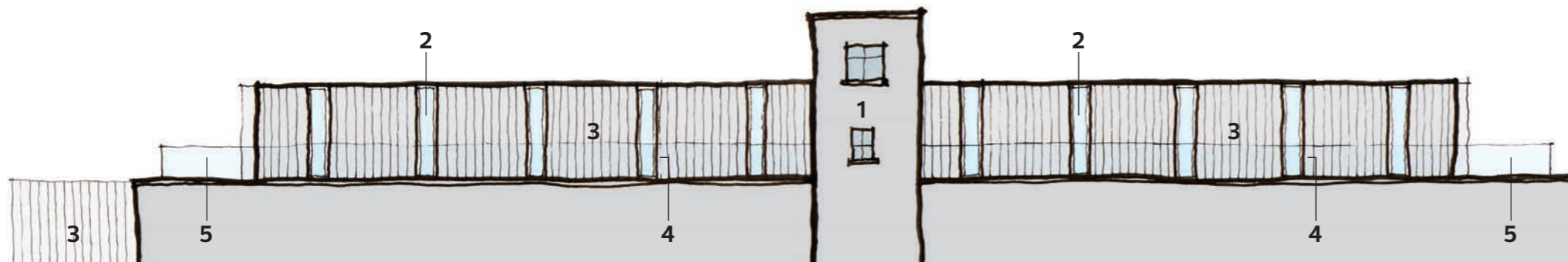


Proposed North-West Elevation

Proposed South-East Elevation

**PROPOSED MATERIALS**

- 1 / Existing London Stock Brickwork
- 2 / Ultra-Slim Aluminium Glazing System
- 3 / Dark Stained / Carbonised Timber Cladding
- 4 / Treated Timber Fins (reducing solar gain)
- 5 / Frameless Translucent Glass Balustrades



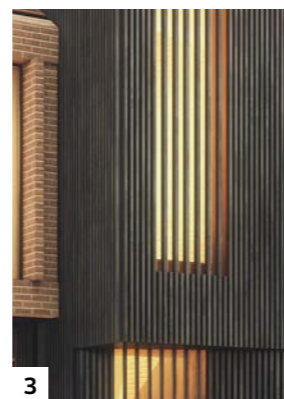
Proposed North-East Elevation



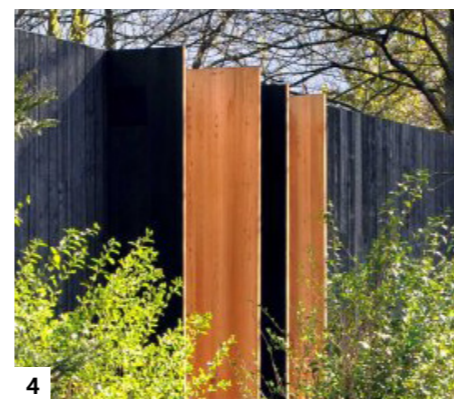
1



2



3



4



5

**5.5 MATERIALS**

The external envelope of the extension has been designed with a vertical emphasis to reduce the effect of a 'box on the roof' and provide a lighter termination to the top of the building.

The envelope consists of full height glazing with dark stained/carbonised timber cladding and treated timber fins to the window surrounds. The proposed cladding to the existing SE escape stairs will also be dark stained/carbonised timber.

At the perimeter of the roof extension, deep timber fins will control views and add privacy while adding further detail to the roof parapet profile.

The terrace is enclosed with 1100mm frameless translucent glass balustrading that assists further with any potential overlooking and visual intrusion to adjoining properties.

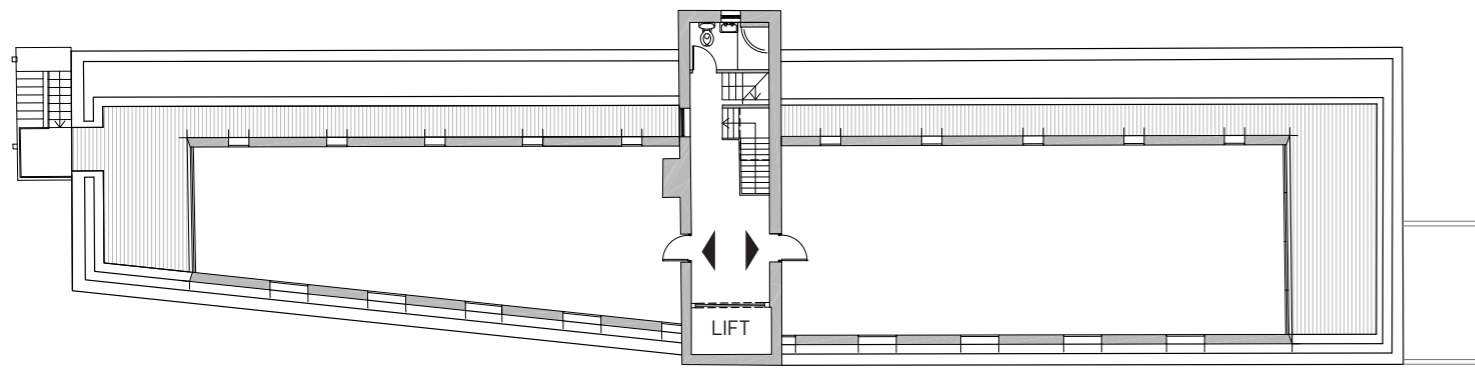
**5.6 SUSTAINABILITY**

Coffey Architects are committed to sustainable development and construction. Much of this is through common sense and passive measures.

Proposals will include:

- Highly insulated walls and roof to minimise heat loss.
- Through / dual aspect offices providing naturally ventilated spaces.
- Bathrooms with natural light
- Deep fins which help reduce solar gain
- Materials selected which have low embodied energy and high recycled content.

# 6.0 ACCESS



Proposed layouts on fourth floor showing level access

## 6.1 ACCESSIBILITY

Level access is provided at the ground floor as existing arrangement.

Lift access will be provided to the offices through internal extension of the existing lift to the 4th floor.

The offices will be accessible for disabled visitors. Both office spaces are directly accessible from entrance core and an accessible WC is to be provided in the existing entry core.



# 7.0 APPENDIX

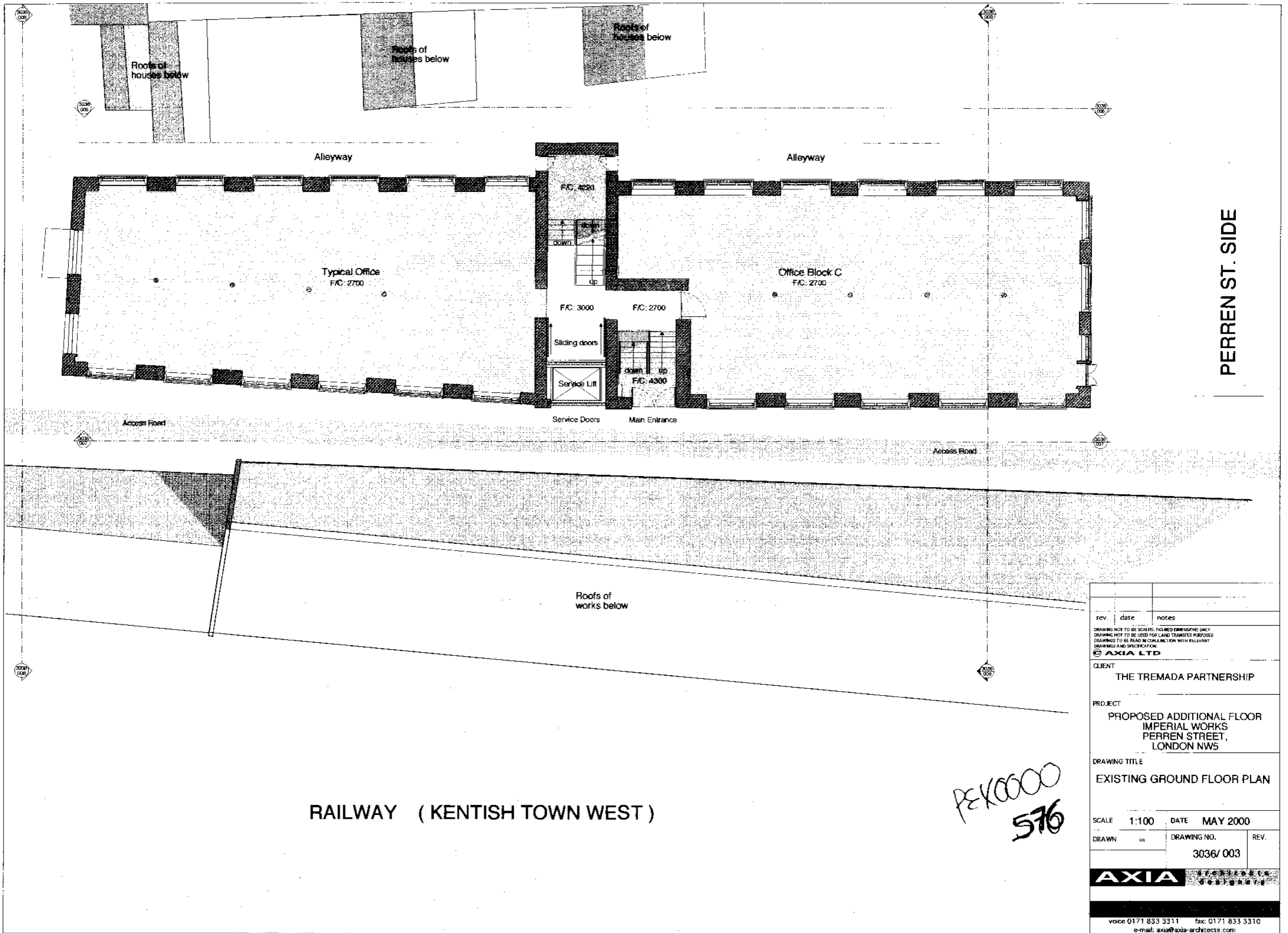
## 7.1 PREVIOUS APPLICATION DRAWINGS

Imperial Works – Application for the erection of an additional storey to the B1 building to provide 2 new flats.

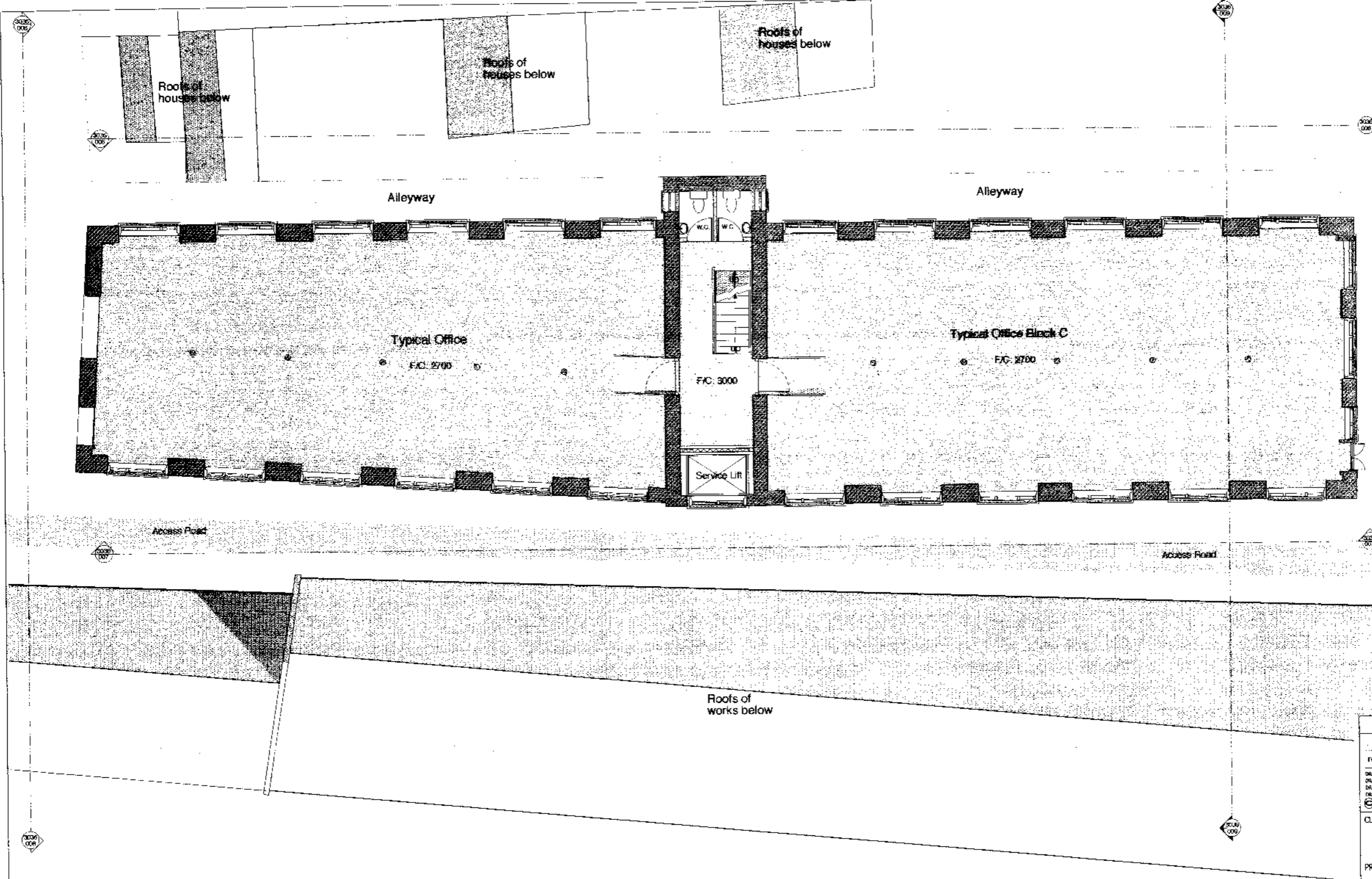
Application Ref: PEX0000576

– Refused 29/09/00

– Appeal Dismissed 29/06/01



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CLIENT THE TREMADA PARTNERSHIP		
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AXIA		REV.
voice 0171 833 3311 fax: 0171 833 3310 e-mail: axia@axia-architects.com		



RAILWAY (KENTISH TOWN WEST)

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<b>AXIA</b> architects designers		REV.
voice 0171 833 3311 fax: 0171 833 3310 e-mail: axia@axia-architects.com		



External staircase

External staircase

PERREN ST. SIDE

Boarded windows to lower level

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<b>AXIA</b>		REV.
<small>voice 0171 833 3311 fax: 0171 833 3310            e-mail: axia@axia-architects.com</small>		



PERREN ST. SIDE

Glass blocks

Rainwater drainage

Boarded windows to lower level

Service lift

Entrance doors to lobby

Doors to lower level

Windows to lower level

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**AXIA LTD**

CLIENT  
**THE TREMADA PARTNERSHIP**

PROJECT  
**PROPOSED ADDITIONAL FLOOR  
IMPERIAL WORKS  
PERREN STREET,  
LONDON NW5**

DRAWING TITLE  
**EXISTING FRONT ELEVATION  
FACING RAILWAY**

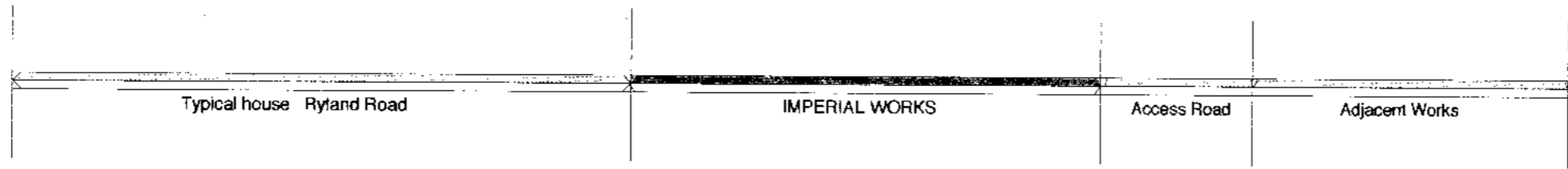
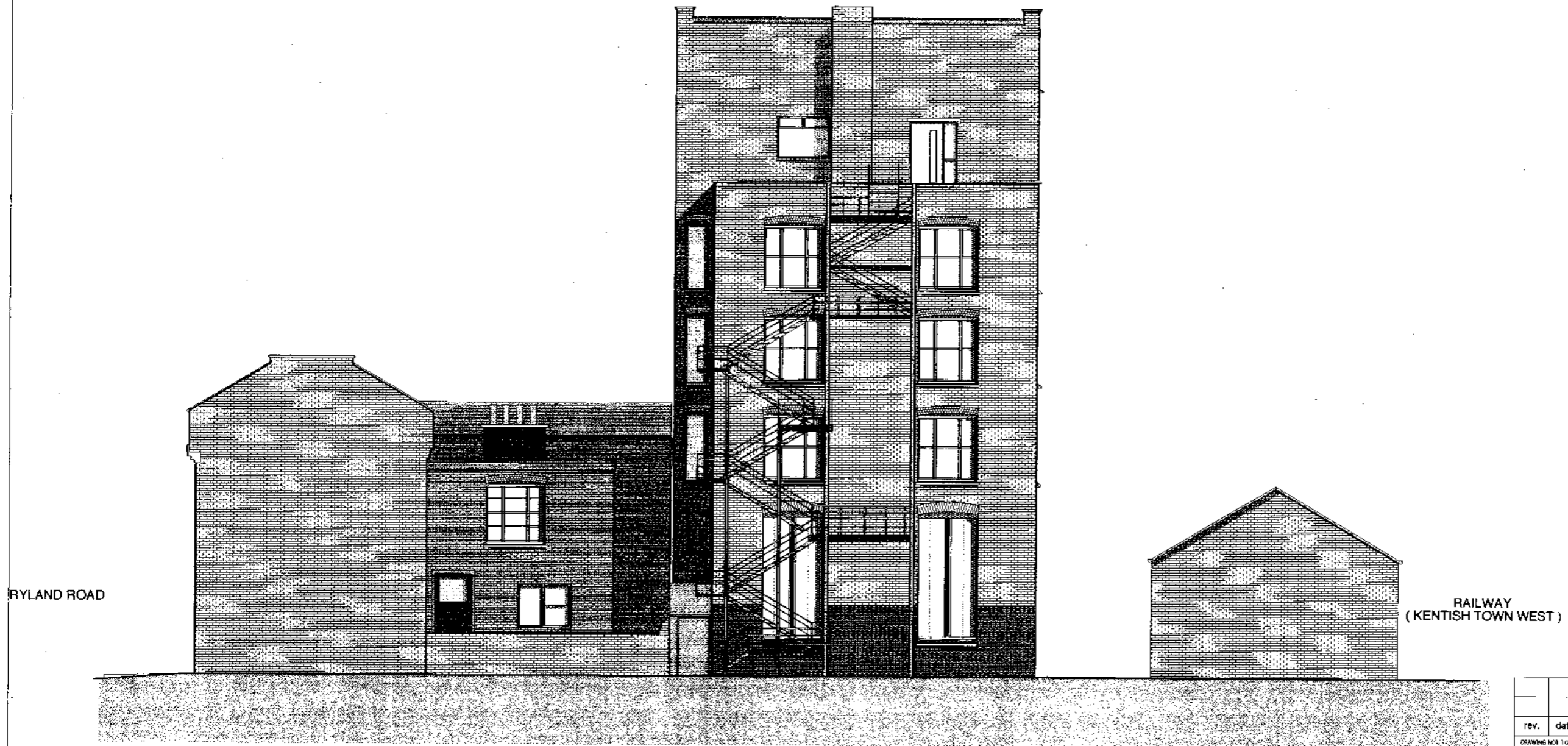
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**AXIA** ARCHITECTS

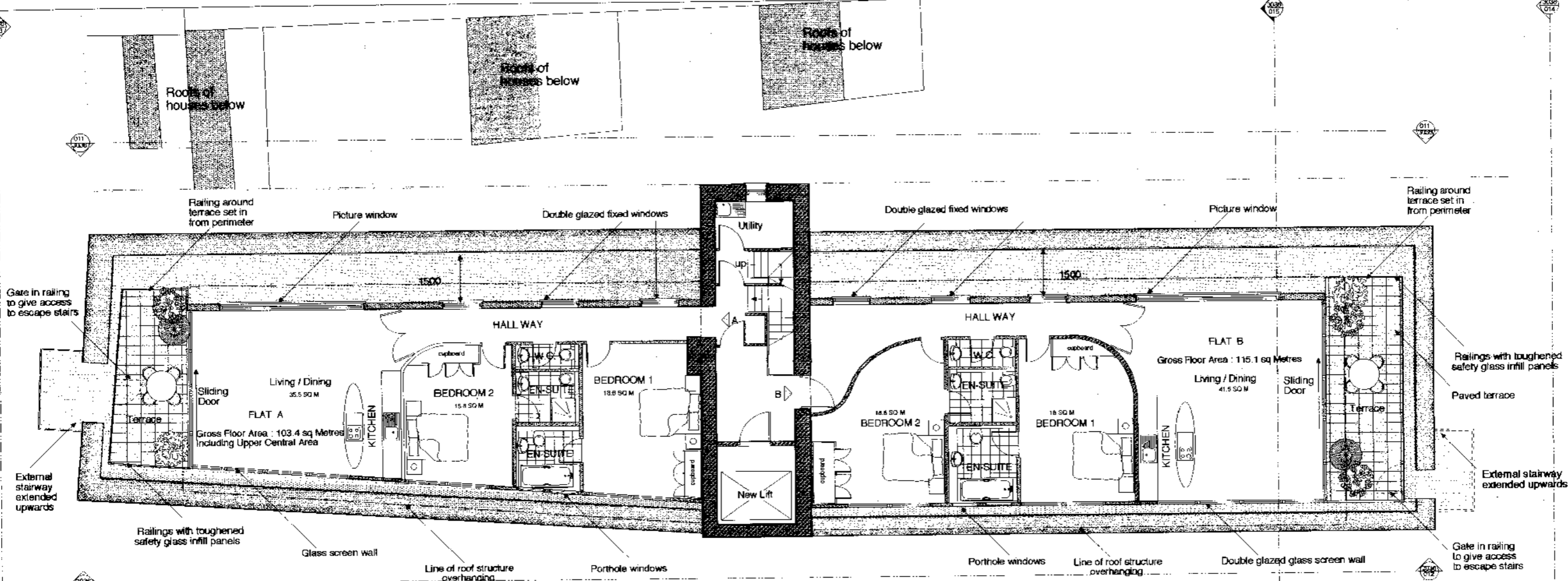
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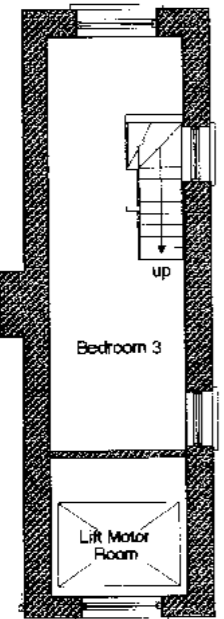
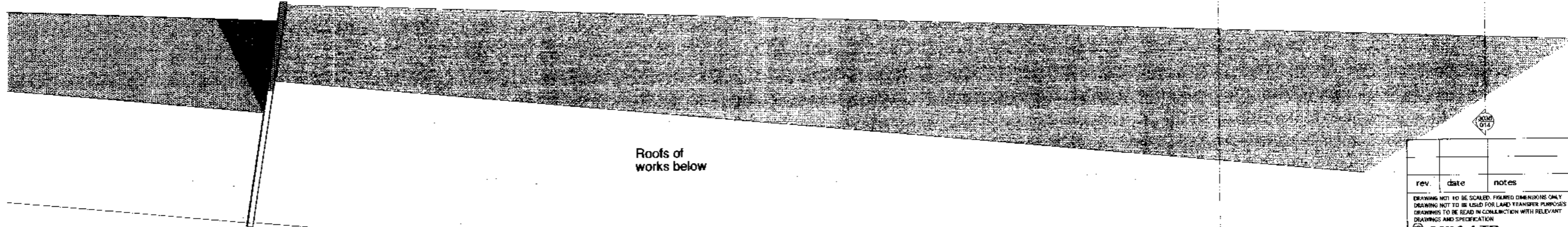


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e-mail: axia@axia-architects.com		

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PERREN ST. SIDE



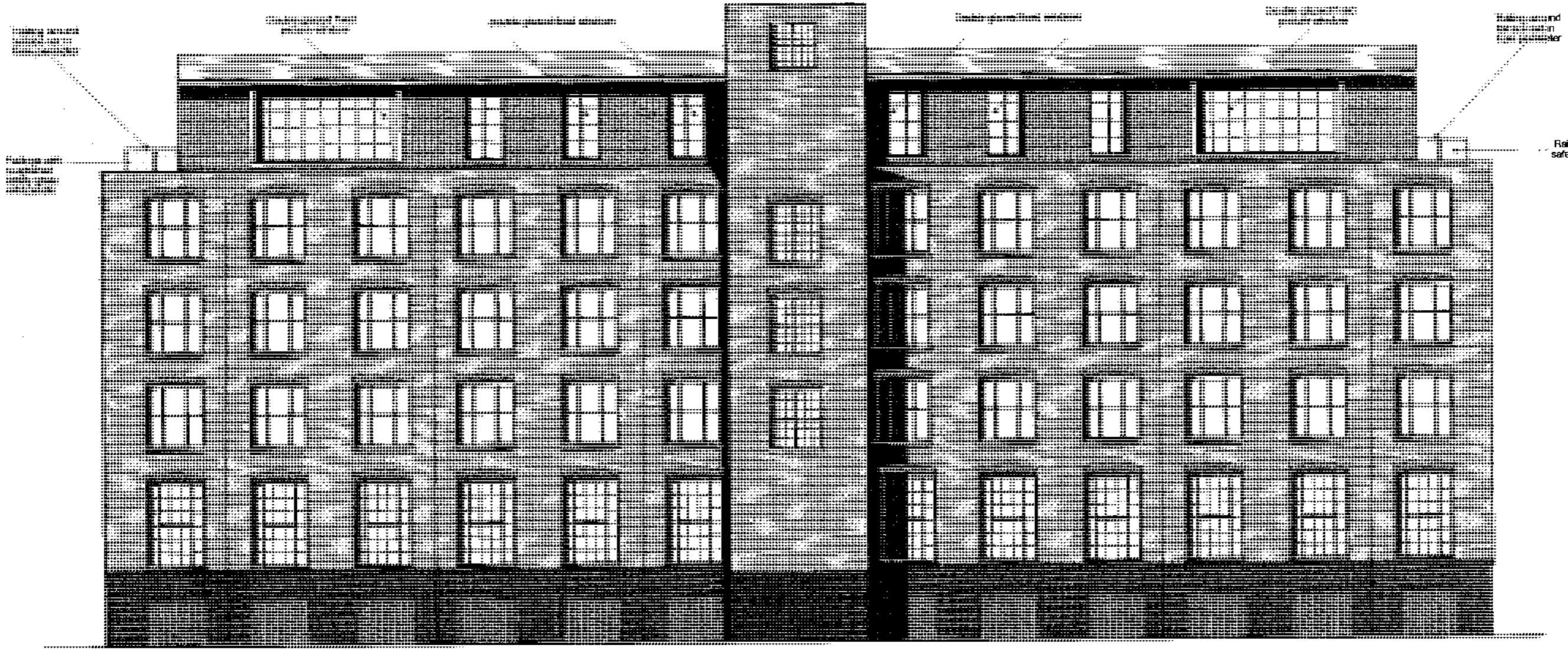
Plan of high level central area part of flat A (existing flat)

RAILWAY (KENTISH TOWN WEST)

New Gross Floor Area :

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Glass blocks

Rainwater drainage

Borded windows to lower level

Service lift

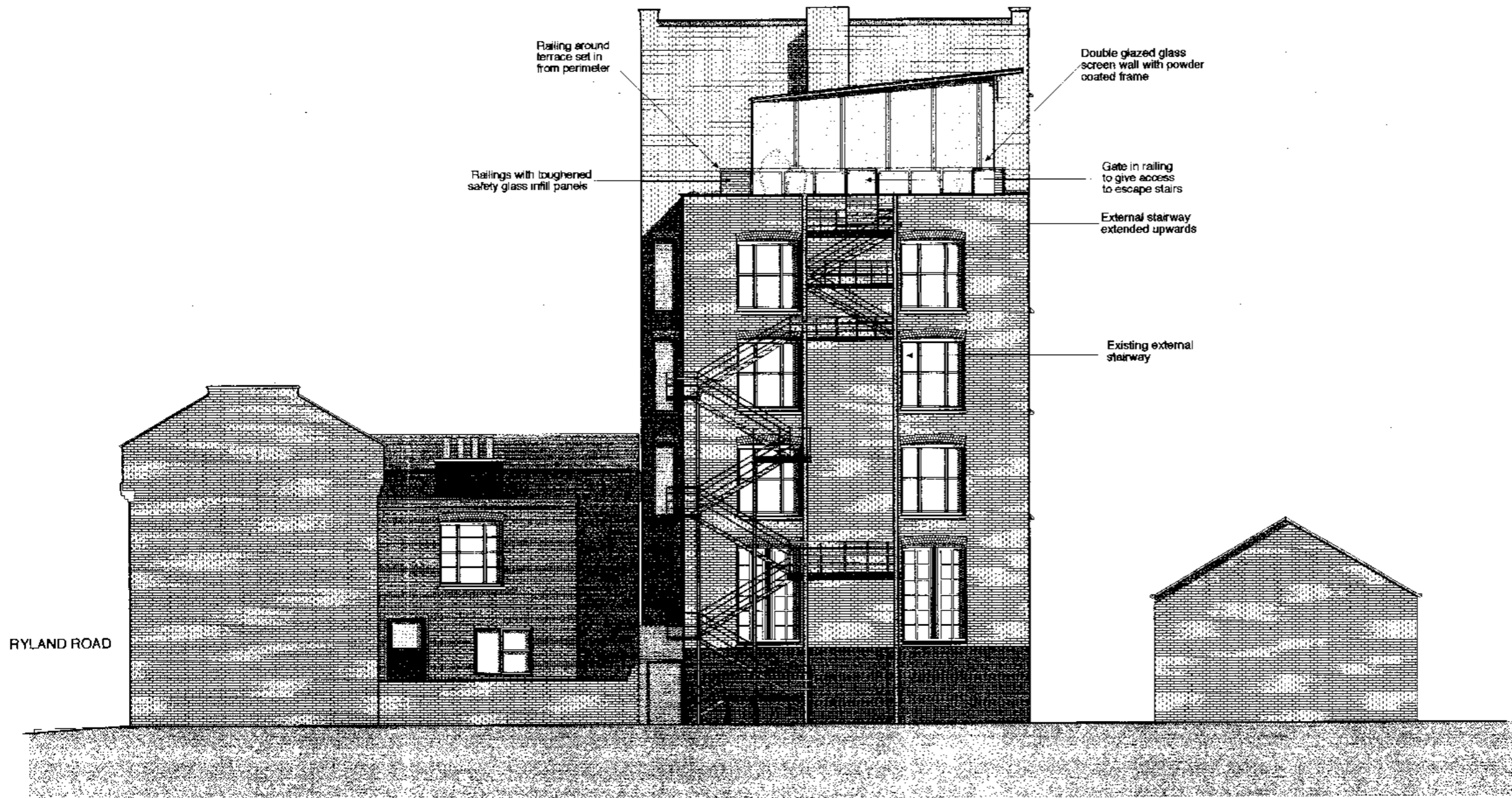
Entrance doors to lobby

Doors to lower level

Windows to lower level

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REV.		
voice 0171 833 3311 fax: 0171 833 3310 e-mail: axia@axia-architects.com		



Railing around terrace set in from perimeter

Double glazed glass screen wall with powder coated frame

Railings with toughened safety glass infill panels

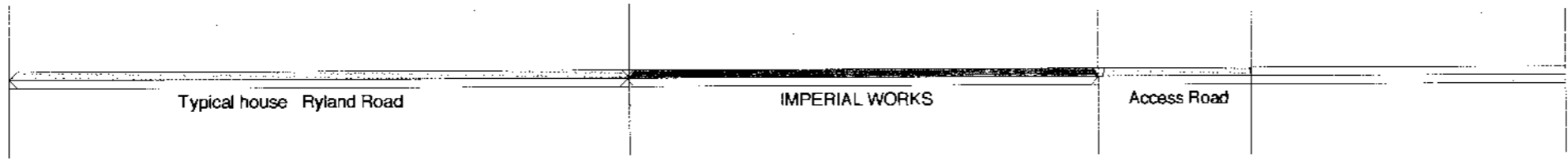
Gate in railing to give access to escape stairs

External stairway extended upwards

Existing external stairway

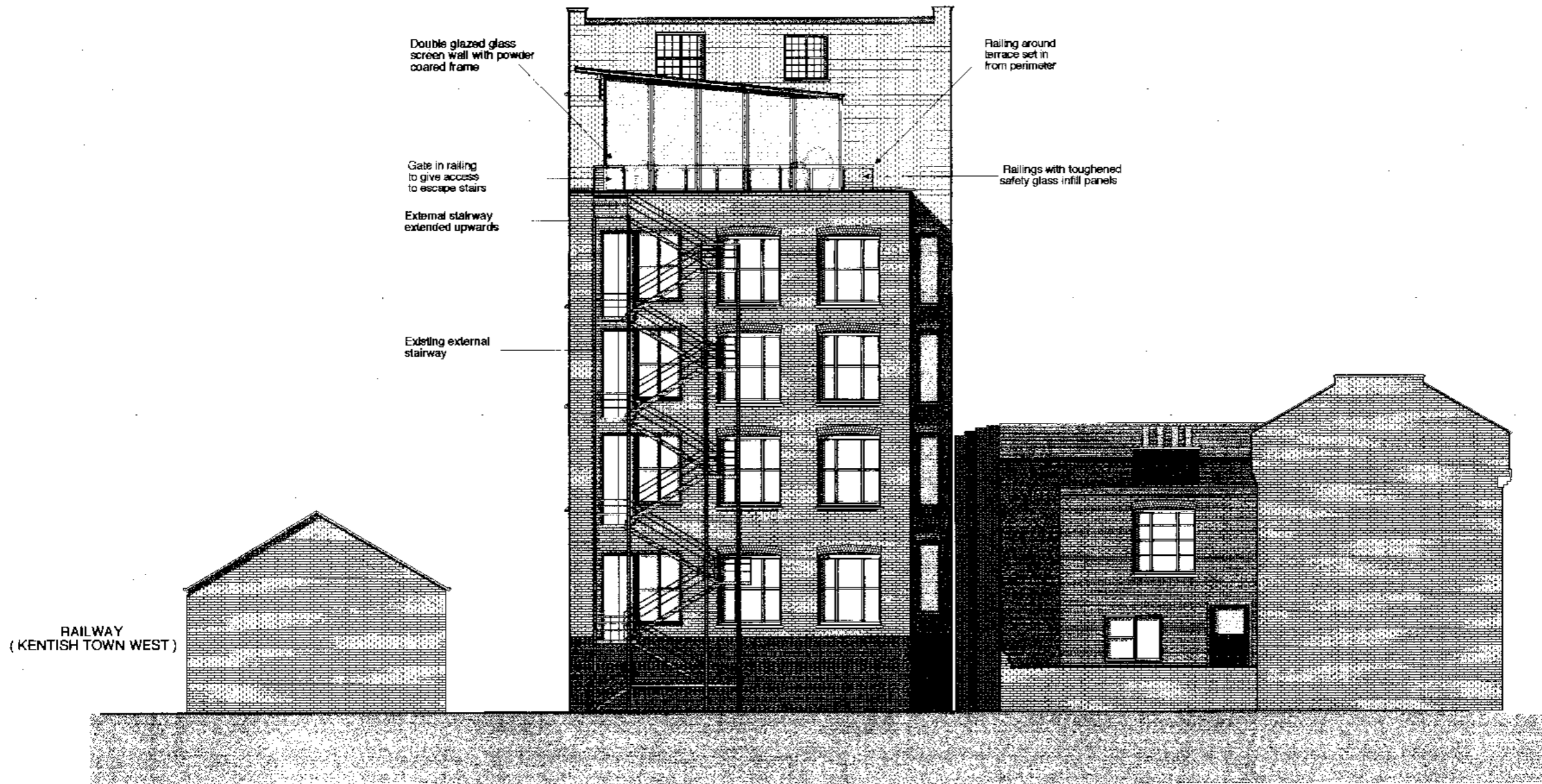
RYLAND ROAD

RAILWAY  
KENTISH TOWN WEST



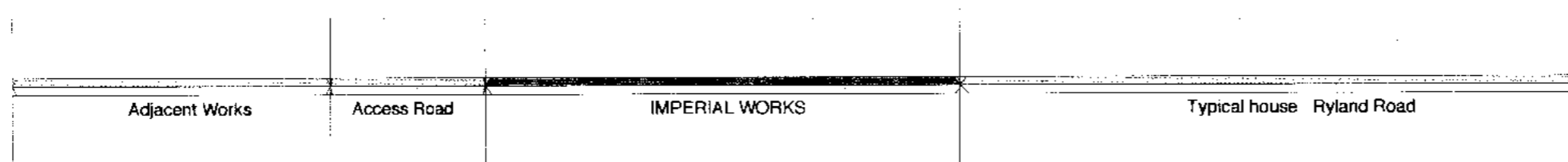
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<b>AXIA</b> ARCHITECTS		
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RAILWAY  
(KENTISH TOWN WEST)

RYLAND ROAD



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<b>AXIA</b>		
<small>voice 0171 833 3311 fax: 0171 833 3310            e-mail: axia@axia-architects.com</small>		

Double glazed  
porthole windows  
with chrome  
ring edges

Slatted wooden wall  
panels ( natural finish )

Roof structure

Full height double  
glazed glass wall  
with powder coated  
frame

Pex0000576



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<b>AXIA</b>		
voice 0171 833 3311 fax 0171 833 3310 e-mail: axia@axia-architects.com		

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