

5.6 Appearance

5.6.1 Mansion Block

Mansion Block Character

The proposed mansion block repairs Maygrove Road, replacing the blank wall of light industrial units with a carefully articulated row of mansion houses, appropriately scaled and constructed of high quality, durable materials. The building character has been developed with reference to existing local mansion block precedents, reinterpreted with a palette of contemporary but harmonious materials that are durable and will age gracefully and in a manner in-keeping with adjacent neighbouring buildings. The building character of the mansion block is defined by four building elements:

Balcony Bays

Reflecting the bay windows of mansion blocks on West End Lane and the opposing residential terraces of Maygrove Road, the balcony bays define the sub division of the terrace into smaller mansion houses. The pairing of bays mark the entry points to the residential cores.

Precast Sills and Framing Elements

The use of feature stonework is evident in precedent mansion blocks to highlight windows openings and entrances and add relief and articulation to elevations. The same principle is applied to the proposed terrace, where red tinted precast reconstituted stone is used for the sills to window openings. The entrance and top coping stone is of light reconstituted stone.

Inset Balconies

The dual aspect units benefit from windows to the north and south of the blocks. To maximise the sunlight exposure of the south elevation, these units are provided with large inset balconies. These balconies add an additional layer to the elevation of the building providing greater articulation and referencing the loggias of Victorian mansion blocks.

Secondary Metalwork

In addition to the inset and bay balconies, the proposed south facing windows are full height with an external balustrade. The use of powder coated steel railings adds a light, perforate layer to the elevation and provides a new interpretation of the Victorian wrought iron metalwork of neighbouring residential properties.

The four building elements are composed to establish a carefully articulated facade that is in-keeping with the scale, mass and character of the local context yet has a strong identity which is legible in its setting behind an existing woodland embankment.



Visualisation of Maygrove Road, view to the north east showing the residential terrace behind the retained woodland embankment

5.6 Appearance

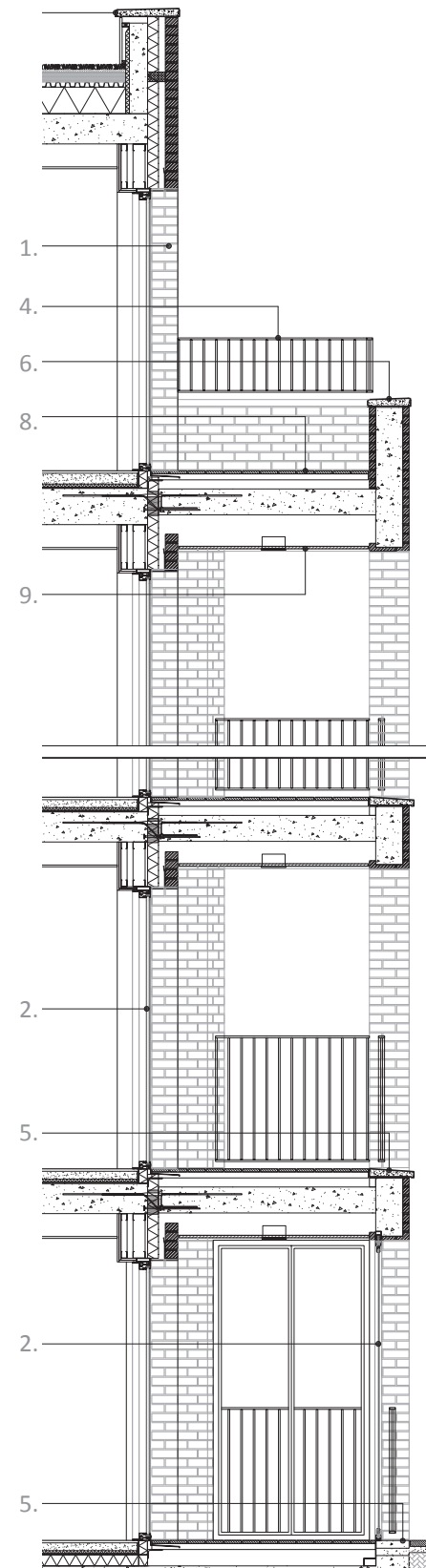
5.6.1 Mansion Block

Paired Bays

The paired bays of the mansion block define the entrance to each of the mansion houses in the row. At ground floor, these bays are enclosed as winter gardens, providing private and defensible amenity space for the ground floor units. On the upper floors, the bays open out as balconies. The stacked balconies benefit from the shelter of the balcony above on the first, second and third floor and provide relief and shadowing to the building elevation. On the uppermost storey, the bays step back from the building edge and become enclosed as part of the living space.

Material Key

1. Solid facing brick stretcher bond with terracotta mortar
2. Composite aluminium casement windows with anodized finish
3. Anodized aluminium entry door
4. Balcony balustrades in powder coated steel
5. Pre-cast reconstituted stone sill
6. Pre-cast reconstituted stone copings
7. Pre-cast reconstituted stone external wall lining
8. Massaranduba hardwood decking timber
9. Cementitious board soffit lining to inset balconies
10. Powder coated steel signage
11. Glass mosaic tiles



Strip Section through balcony bays



Elevation bay study of south elevation entrance to mansion house

5.6 Appearance

5.6.1 Mansion Block



Visualisation of Maygrove Road, with the western end of the mansion block shown on the right-hand-side

5.6 Appearance

5.6.1 Mansion Block

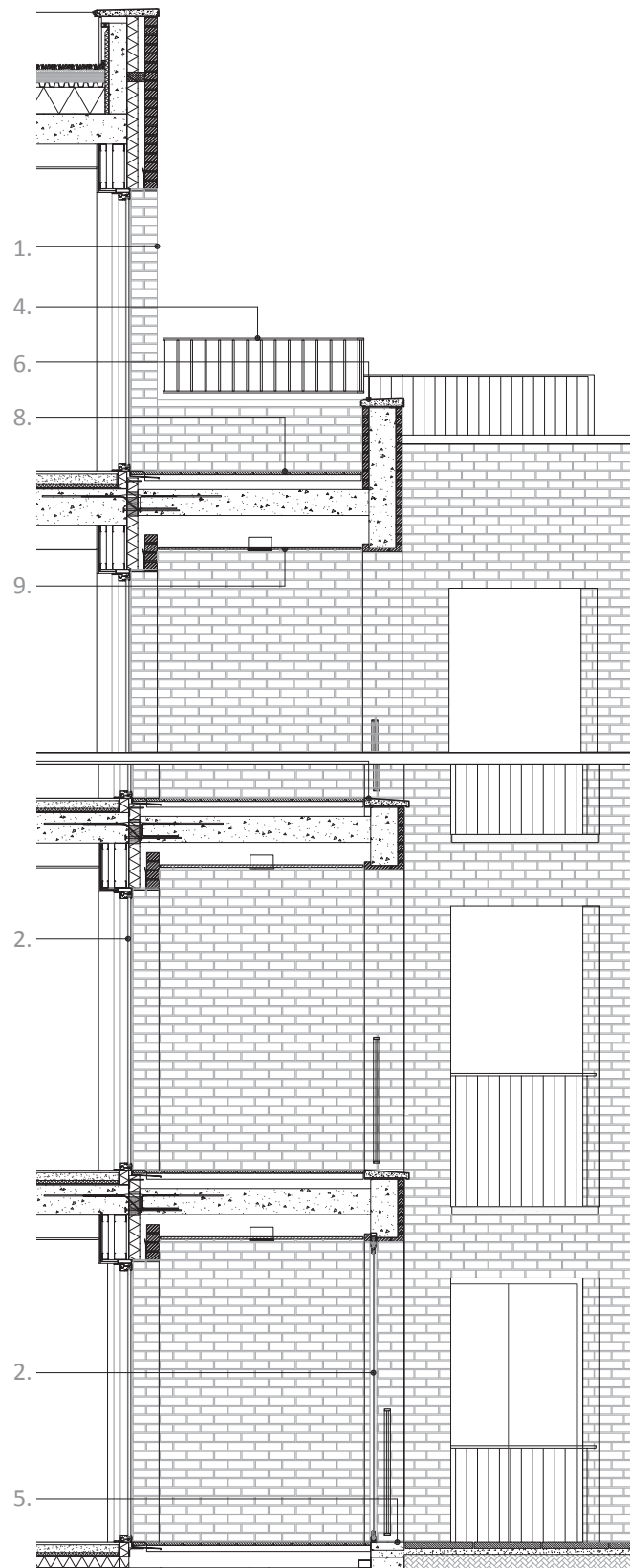
Inset Balconies

The layering of the building is completed by the introduction of inset balconies to the dual aspect units at first second and third floors. At ground floor, these spaces are enclosed as winter gardens.

These spaces provide valuable covered private amenity space for year-round use. The set back of the building to form the balconies provides a tertiary plane of brickwork (the first provided by the protruding bays and the second by the main elevation) giving the building depth and a range of light and shade across the elevation. The combination of the balconies and railings adds further layering to the composition.

Material Key

1. Solid facing brick stretcher bond with terracotta mortar
2. Composite aluminium casement windows with anodized finish
3. Anodized aluminium entry door
4. Balcony balustrades in powder coated steel
5. Pre-cast reconstituted stone sill
6. Pre-cast reconstituted stone copings
7. Pre-cast reconstituted stone external wall lining
8. Massaranduba hardwood decking timber
9. Cementitious board soffit lining to inset balconies
10. Concrete pavers



Strip Section through inset balconies



Elevation bay study of south elevation inset balconies

5.6 Appearance

5.6.1 Mansion Block

Material Selection

The materials for the mansion block have been carefully selected to create a strong identity for the new terrace. They reference the red brick mansion block typology of West End Lane and provide a rich but minimal palette which will sit harmoniously with neighbouring buildings on Maygrove Road and proposed adjacent buildings in the Liddell Road Development. The materials have a range of textures and colours within the same family of tone. The composition of these elements provides a layered elevation with variety, depth and articulation.

Texture

The main materials creating the texture are the proposed stock bricks. These bricks have a strong terracotta colour in reference to nearby mansion blocks, but have a much richer varied texture. The varied surface this creates offers a shared materiality with both the proposed adjacent buildings and the existing terraced houses on Maygrove Road.

Outline Specification

Item	Product	Finish
Bricks	Renaissance Multi (by Wienerberger)	Red tone textured brick to be laid stretcher bond with terracotta mortar
Architectural Stonework	Pre-cast Reconstituted Stone	
Windows and Vents	Composite Aluminium Windows (by Velfac or similar approved)	Anodized Exterior Finish (Anolok 543 Bronze), White Painted Timber Interior Finish
Residential Core Entrance Doors	Anodised Aluminium Entrance Doors (by Schuco or similar approved)	Thick Framed Anodized Aluminium Doors (Anolok 543 Bronze)
Bin Stores and Service Entrance Doors	PPC Steel Entrance Doors (by Sunray or similar approved)	Invisible Framed PPC RAL 8014 (Sepia Brown)
Juliette Balcony Balustrades	PPC Galvanized Hot Dip Steel	PPC RAL 8014 (Sepia Brown)
Timber Decking	Massaranduba Hardwood (FSC Certified) Timber Decking (or similar approved)	Natural Planed Finish with 3mm Gaps



Red-multi textured stock brick in stretcher bond, Renaissance Multi by Wienerberger or similar approved



Red-tint Pre-Cast Concrete Reconstituted Stonework



RAL 8014, Sepia Brown



Anodized Aluminium, Anolok 543

5.6 Appearance

5.6.1 Mansion Block

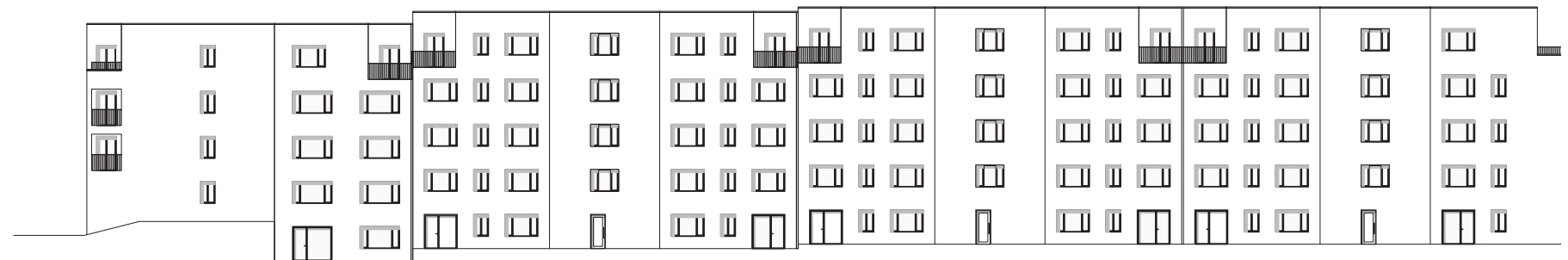
'Front' and 'rear' of building

As described throughout this section of the document the front of the mansion block is highly articulated and formal and takes close reference from Victorian and Edwardian mansion blocks. The windows are all generous vertical french doors, which mainly lead into living room spaces. The four mansion houses are separated by a clear shadow gap marking them as four identifiable buildings

The sides and the rear elevations of the mansion is less articulated than the front but instead provides a calm facade to the sides of the building, which mainly contain bedrooms. The windows do not extend down to the floor in order to provide more privacy. The stair cores project slightly and thus structure the length of the elevation. Top floor terraces at the junction of the individual mansion houses further articulate the separate buildings.



Mansion Block - North Elevation



Mansion Block - South Elevation

5.6 Appearance

5.6.2 Tall Building

Tall Building Character

The proposed tall building provides a marker to the new place that is being created in West Hampstead. The building will share a common materiality with the adjacent school, terrace and workspace building defining these as a set of buildings around the new public open space. The building character is defined by a set of layered elements which have been arranged to articulate the shape of the building from specific views and to build a strong relationship with neighbouring buildings.

Balcony Bays

As a further development of the language of bays utilised in the mansion block, the balcony bays define the orientation of the building to the south and provide the building with a tapered profile that minimises the perceived mass of the upper storeys of the building. The bays to the south east and west corners have been aligned with the workspace building opposite providing a framed entry point to the public space in the master plan and the Maygrove Peace Park beyond.

Masonry Framing Elements

The scale of the building supports the addition of a grid to the faces of the building, defining a rhythm and order to the elevations and providing depths and relief to the surfaces. The use of different tones of brickwork for the frame and the infill further enhances the articulation of the facade with areas of light and dark breaking down the perceived volume of the building.

Full Height Windows

The windows of the tall building are proposed as floor to ceiling casement windows permitting deeper penetration of natural light into the living spaces and allowing long views out over wider London. The proportions of the windows provides an elegant verticality appropriate to the 11 storey height of the building. The proposed anodized finish lends a high quality, variegated appearance that will age well and require minimal maintenance.

Juliette Balconies

All of the proposed windows are full height with an external balustrade. The use of powder coated steel railings adds a light, perforate layer to the elevation and provides a new interpretation of the Victorian wrought iron metalwork of neighbouring residential properties.

The composition of these elements and the introduction of the formal grid establishes a clear and distinct identity for the tall building. The layering of these elements provides variety and definition to the building which is seen in its entirety from within the site.



5.6 Appearance

5.6.2 Tall Building

Building Bays

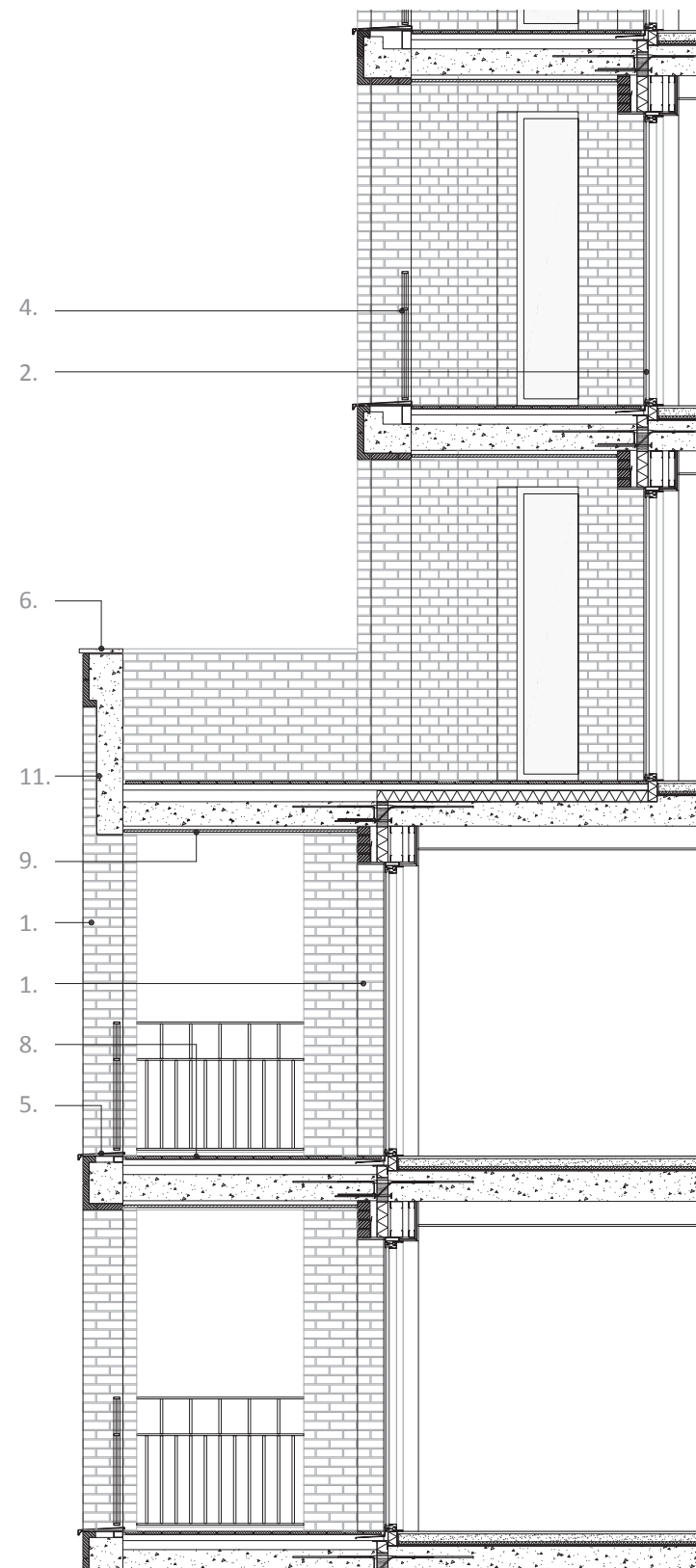
The bays of the tall building reference and reinterpret the smaller bays of the mansion block and provide definition to the mass of the building. The position of the bays has been developed to relate to the specifics of the site and to offer optimum orientation for views and sunlight provision to private amenity space.

Continuing the language of the mansion block, all of the bays provide private outdoor amenity space - to the south in the form of open balconies and to the east and west in the form of winter gardens.

The initial extrusion of the bays from the ground floor has been refined stopping short of the top of the building to reduce the perceived height of the block. The top of the bays to the southern elevation have been aligned with the adjacent proposed workspace building offering a sense of framed gateway to the Maygrove Peace Park to the west and the new public space to the east.

Material Key

1. Solid facing brick stretcher bond with grey mortar
2. Composite aluminium casement windows with anodized finish
3. Anodized aluminium entry door
4. Balcony balustrades in powder coated steel
5. Powder coated aluminium sill
6. Pre-cast reconstituted stone copings
7. Pre-cast reconstituted stone external wall lining
8. Massaranduba hardwood decking timber
9. Cementitious board soffit lining to inset balconies
10. Reconstituted stone spandrels
11. Concrete pavers



Strip section through loggias



Elevation bay study of loggia to tall building

5.6 Appearance

5.6.2 Tall Building



5.6 Appearance

5.6.2 Tall Building

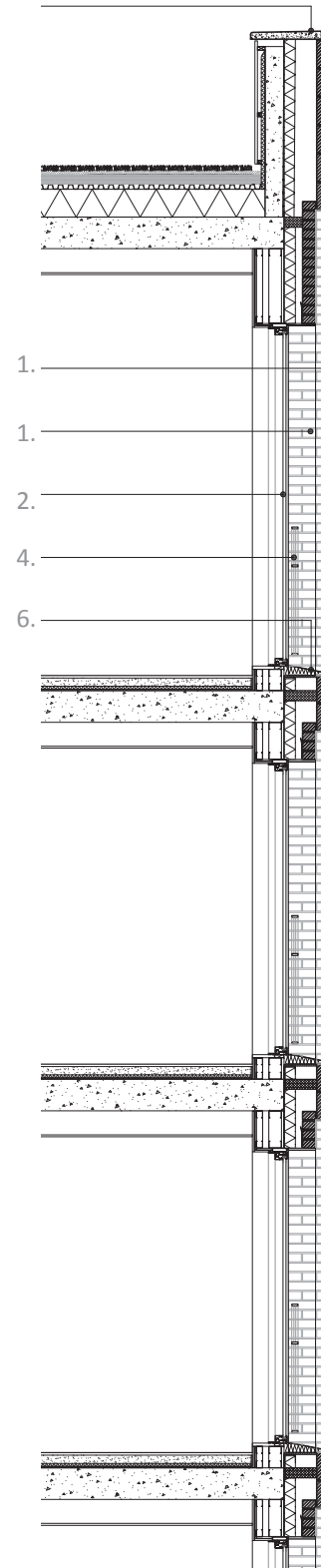
Relief and Articulation

The scale of the proposed building establishes a rhythm of windows across the elevation. To further define and order this pattern, a framing device has been applied to the elevations. The frame of lighter brickwork is set against a darker brick infill panel enhancing the relief and articulation of the building facades. The combination of shadow and relief and varied materials that are provided by the frame assists in reducing the perceived mass of the building.

The installation of portrait proportioned windows within the frame assists in enhancing the verticality of the building lending it a slender and elegant appearance. The articulation and depth of the elevation is further enhanced by the introduction of Juliette balconies to each of the windows.

Material Key

1. Solid facing brick stretcher bond with grey mortar
2. Composite aluminium casement windows with anodized finish
3. Anodized aluminium entry door
4. Balcony balustrades in powder coated steel
5. Aluminium window sill
6. Powder coated aluminium sill
7. Pre-cast reconstituted stone external wall lining
8. Massaranduba hardwood decking timber
9. Cementitious board soffit lining to inset balconies
10. Concrete pavers



Strip Section through balcony bays



Elevation bay study of south elevation entrance to mansion house

5.6 Appearance

5.6.2 Tall Building

Material Selection

The materials for the tall building have been considered to bring together the palettes of the workspace building and the mansion block. A light-multi brick has been selected for the framing element to reduce the perceived mass of the building, whilst the red of the mansion block is used in the infill to accentuate the relief of the facade. Proposed metalwork and window frame colours are of a warm mid-grey of similar tone to the framing brickwork. The composition of these elements provides a layered elevation with variety, depth and articulation.

Texture

The main materials creating the texture are the proposed stock bricks. The varied surface this creates offers a shared materiality with both the proposed adjacent buildings and the existing terraced houses on Maygrove Road.

Outline Specification

Item	Product	Finish
Bricks - Infill Panels	Renaissance Multi (by Wienerberger)	Red tone textured brick to be laid stretcher bond with natural mortar
Bricks - Frame Element	Heritage Blend (by Wienerberger)	Light red-multi textured brick to be laid stretcher bond with natural grey mortar
Windows and Vents	Composite Aluminium Windows (by Velfac or similar approved)	Anodized Exterior Finish (Anolok 541 Light Bronze), White Painted Timber Interior Finish
Residential Core Entrance Doors	Anodised Aluminium Entrance Doors (by Schuco or similar approved)	Thick Framed Anodized Aluminium Doors (Anolok 541 Light Bronze)
Bin Stores and Service Entrance Doors	PPC Steel Entrance Doors (by Sunray or similar approved)	Invisible Framed PPC RAL 7006 (Beige Grey)
Juliette Balcony Balustrades	PPC Galvanized Hot Dip Steel	PPC RAL 7006 (Beige Grey)
Timber Decking	Massaranduba Hardwood (FSC Certified) Timber Decking (or similar approved)	Natural Planed Finish with 3mm Gaps



Red-multi textured stock brick in stretcher bond, Renaissance Multi by Wienerberger or similar approved



Light red-multi textured stock brick in stretcher bond, Heritage Blend by Wienerberger or similar approved



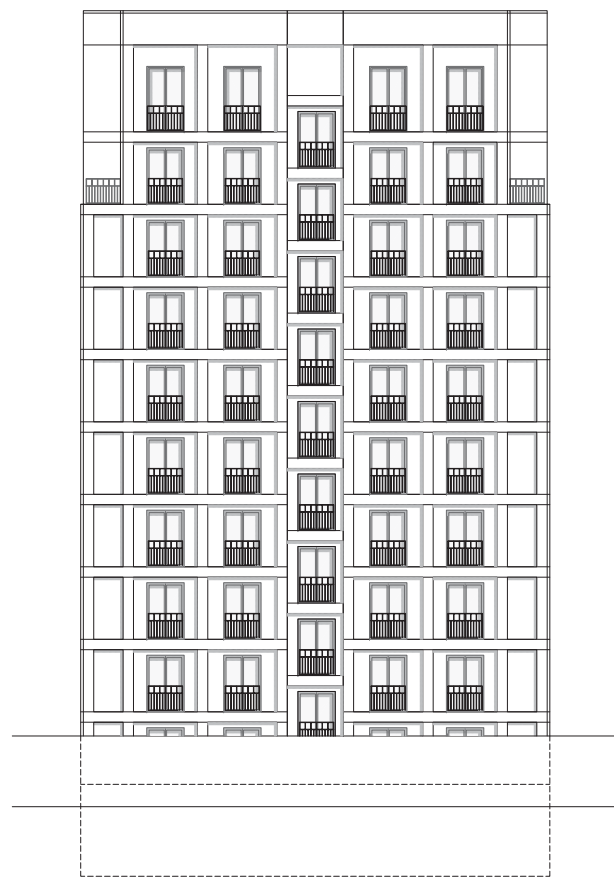
RAL 7006, Beige Grey



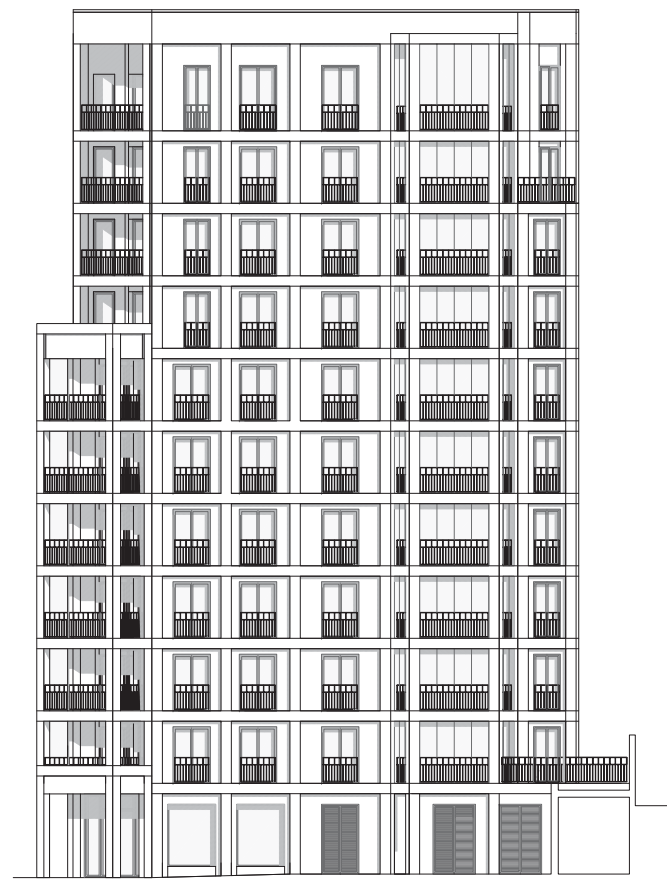
Anodized Aluminium, Anolok 541

5.6 Appearance

5.6.2 Tall Building



North Elevation



East Elevation



South Elevation



West Elevation

5.7 Access

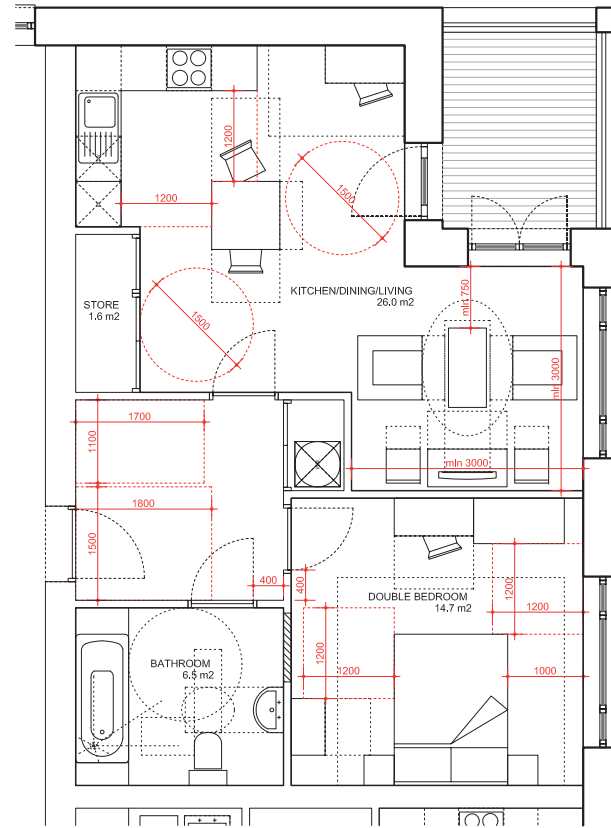
Access in its broadest sense (walking, cycling, vehicular access and traffic and public transport) is detailed in chapter 3.8 of this report. The purpose of this section is to describe the approach to inclusive design in the provision of the residential dwellings.

Consistent with the Mayor’s London Plan, 10% of the residential units have been designed to be easily adaptable for use by residents who are wheelchair users. These units have been designed to meet the guidance set out in the Wheelchair Housing Standards (GLA) and Wheelchair Design Guide (Habinteg 2006).

All of the residential dwellings in the development have been designed to meet Lifetime Homes Standards. Level access is provided to all the units in the proposed development (both the mansion block and the tall building).

Wheelchair adaptable units are located in the eastern block of the mansion block and benefit from close proximity to the proposed blue badge resident parking space on Maygrove Road. The core of the eastern mansion house benefits from the provision of two passenger lifts, should one break down or require maintenance. One of the proposed lifts is sized to accommodate mobility scooters. In total, 10 market sale wheelchair adaptable units are provided on ground to third floors of the mansion block. One social rent wheelchair accessible unit is provided one the ground floor of the shared tenure core.

The adjacent floor plan shows an example of one of the flexible, high quality wheelchair adaptable units provided as part of the proposals. These dual aspect apartments provide flexible open plan living, easily adaptable to the special needs of a wheelchair user or resident of limited mobility.



Mansion Block
1 Bed, 2 Person Wheelchair Adaptable Unit (Above)

	Proposed	LHDG
Kitchen/Dining/Living	23.5 sqm	23.0 sqm
Double Bedroom	12.0 sqm	12.0 sqm
Storage/Utility	1.5 sqm	1.5 sqm
Amenity Space	5.0 sqm	5.0 sqm
UNIT	51.7 sqm	50 sqm

Mansion Block
3 Bed, 5 Person Wheelchair Adaptable Unit (Right)

	Proposed	LHDG
Living	19.6 sqm	16.0 sqm
Kitchen/Dining	19.0 sqm	12.8 sqm
Double Bedroom	19.8 sqm	12.0 sqm
Double Bedroom	17.4 sqm	12.0 sqm
Single Bedroom	11.7 sqm	8.0 sqm
Storage/Utility	3.1 sqm	3.0 sqm
Amenity Space	53.0 sqm	8.0 sqm
UNIT	125.9 sqm	86.0 sqm

