

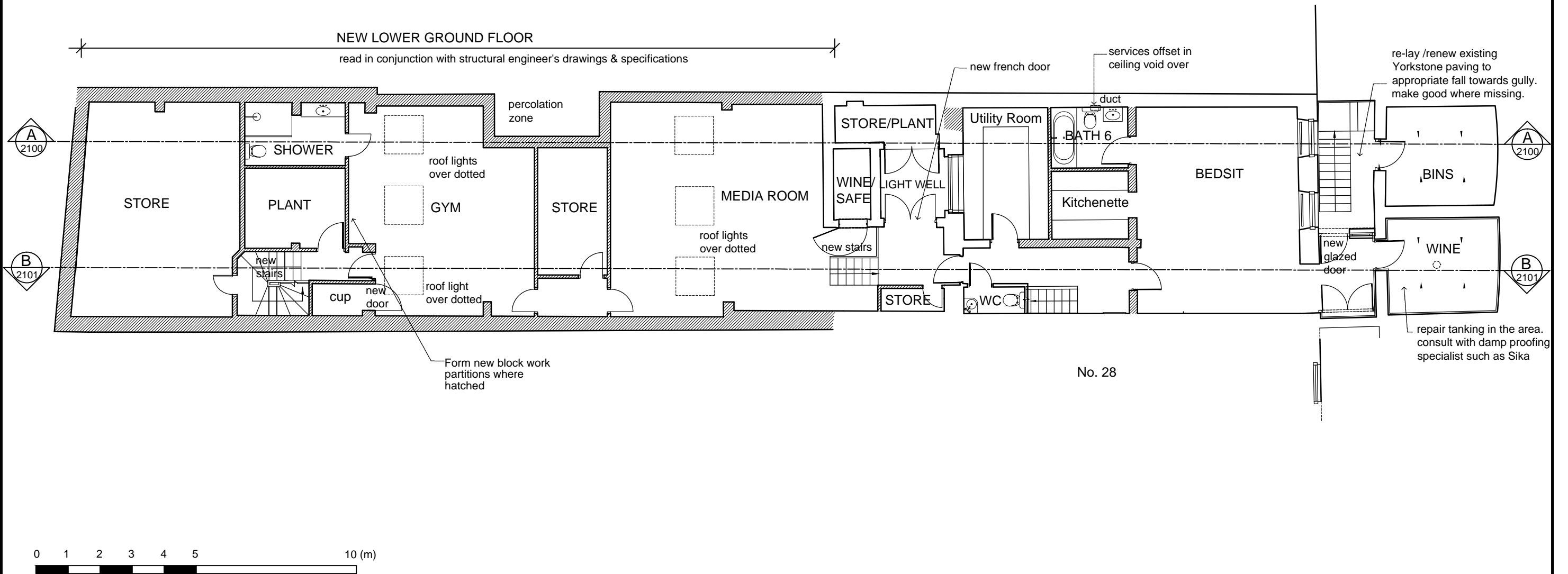
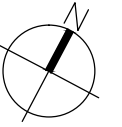
BASED ON SURVEY BY OTHERS

**General notes:**

1. Shading indicates new construction.
2. All existing bathroom, kitchen and sanitaryware fittings to be removed.
3. Original joinery to be recorded and set aside for resale where removal necessary.
4. No original door survived throughout the house. New door details to follow those of DIA drawings.
5. Fireplaces and hearth surrounds to be retained unless noted otherwise. Existing chimney flues to be unblocked and lined.
6. Existing services and drains removed and replaced throughout.
7. Overhaul and repair all windows/shutters and mouldings, including paneled aprons (except where stated as new items).
8. All rooms to be fitted with smoke/heat detectors and sounders at ceiling level with air sampling detection system in fire rooms
9. Repair floor joists as necessary. Consult with Architect and Structural Engineer. Strengthen existing joists where new stone floor finish to be installed.
10. Provide new appropriately detailed and sized cornices of traditional design throughout to replace existing modern cornices.
11. All services and pipe routes to follow existing routes where possible to avoid additional notching of joists or removal of existing fabric.
12. All new doors to be timber 4 panelled doors of traditional Georgian detailing.

**Notes on Lower Ground Floor:**

- Internal doors: S/F new traditionally detailed painted SW door and architraves throughout except where indicated otherwise.



No.	NOTES (STATUS: F. FEASIBILITY S. SKETCH DESIGN P. PLANNING B. BUILDING CONTROL D. DESIGN DEV / PRELIM M. MEASUREMENT T. TENDER C. CONSTRUCTION R. RECORD)	Rev	Date	Dwn	Auth	REVISIONS
1	For construction use only if status 'C' and checked against current revision	F	24/03/2014	TJB	ACS	General notes added, LGF floor level lowered by height of one step
2	All dimensions to be checked on site by contractor	E	10/03/2014	SZP	ACS	Ground floor Mews rear wall aligned with Mews walls above.
3	Do not scale from this drawing	D	17/02/2014	JXA	ACS	Re-submission of planning issue
4	Unless otherwise indicated all dimensions are in millimetres	C	10/01/2014	JXA	ACS	Reinstatement of existing light well
		B	05/09/2013	JXA	ACS	Planning Issue and alterations to layout
		A	29/08/2013	JXA	ACS	Adding Notes and alterations to layout
		-	30/07/2013	JXA	ACS	Initial Issue
G	25/06/14 TJB ACS Car stacker converted to Store					

**DONALD INSALL ASSOCIATES LIMITED** CHARTERED ARCHITECTS PLANNING CONSULTANTS

12 Devonshire Street London W1G 7AB Tel: 020 7245 9888 Email: london@insall-architects.co.uk

**Job** 27 John Street & 21 John's Mews

**Title** Proposed Lower Ground Floor Plan

Job	JS27.02	Status	P
No	2000	Rev	G

Scale (A3) 1: 1 2 5

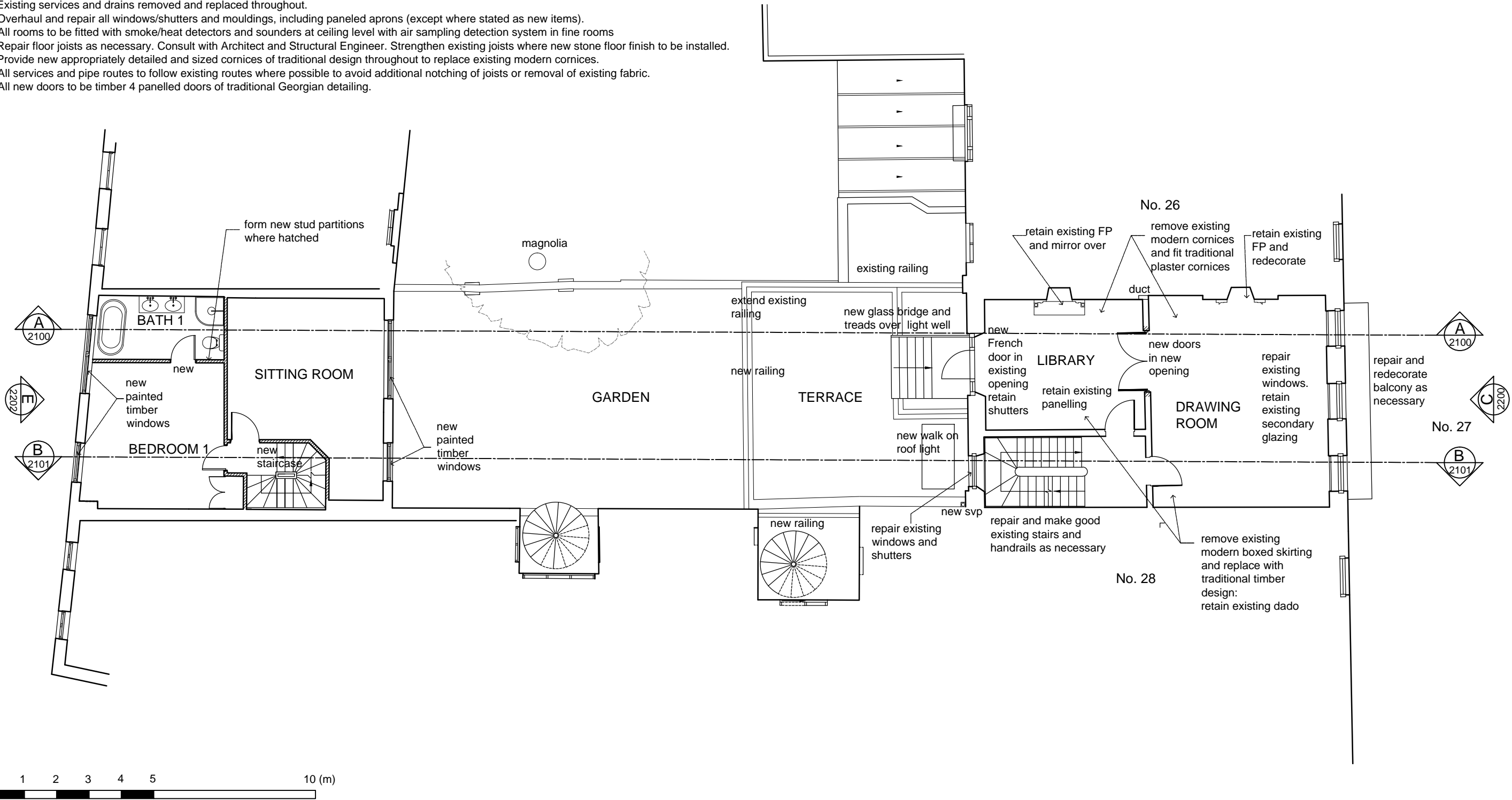
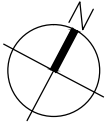


**General notes:**

1. Shading indicates new construction.
2. All existing bathroom, kitchen and sanitaryware fittings to be removed.
3. Original joinery to be recorded and set aside for reuse where removal necessary.
4. No original door survived throughout the house. New door details to follow those of DIA drawings.
5. Fireplaces and hearth surrounds to be retained unless noted otherwise. Existing chimney flues to be unblocked and lined.
6. Existing services and drains removed and replaced throughout.
7. Overhaul and repair all windows/shutters and mouldings, including paneled aprons (except where stated as new items).
8. All rooms to be fitted with smoke/heat detectors and sounders at ceiling level with air sampling detection system in fire rooms
9. Repair floor joists as necessary. Consult with Architect and Structural Engineer. Strengthen existing joists where new stone floor finish to be installed.
10. Provide new appropriately detailed and sized cornices of traditional design throughout to replace existing modern cornices.
11. All services and pipe routes to follow existing routes where possible to avoid additional notching of joists or removal of existing fabric.
12. All new doors to be timber 4 panelled doors of traditional Georgian detailing.

**Notes on First Floor:**

- Internal doors: S/F new traditionally detailed timber door and architraves throughout the house except where indicated otherwise. 4 panelled painted SW door for mews.



No.	NOTES (STATUS: F. FEASIBILITY S. SKETCH DESIGN P. PLANNING B. BUILDING CONTROL D. DESIGN DEV / PRELIM M. MEASUREMENT T. TENDER C. CONSTRUCTION R. RECORD)	Rev	Date	Dwn	Auth	REVISIONS
1	For construction use only if status 'C' and checked against current revision	F	24/03/2014	TJB	ACS	General notes added
2	All dimensions to be checked on site by contractor	E	10/03/2014	SZP	ACS	Ground floor Mews rear wall aligned with Mews walls above.
3	Do not scale from this drawing	D	17/02/2014	JXA	ACS	Re-submission of planning issue
4	Unless otherwise indicated all dimensions are in millimetres	C	10/01/2014	JXA	ACS	Reinstatement of existing light well and new SVP
		B	05/09/2013	JXA	ACS	Planning Issue
		A	29/08/2013	JXA	ACS	Adding Notes and alterations to layout
		-	30/07/2013	JXA	ACS	Initial Issue

**DONALD INSALL ASSOCIATES LIMITED**

12 Devonshire Street London W1G 7AB Tel: 020 7245 9888 Email: london@insall-architects.co.uk

**Job** 27 John Street & 21 John's Mews

**Title** Proposed First Floor Plan

CHARTERED ARCHITECTS  
PLANNING CONSULTANTS

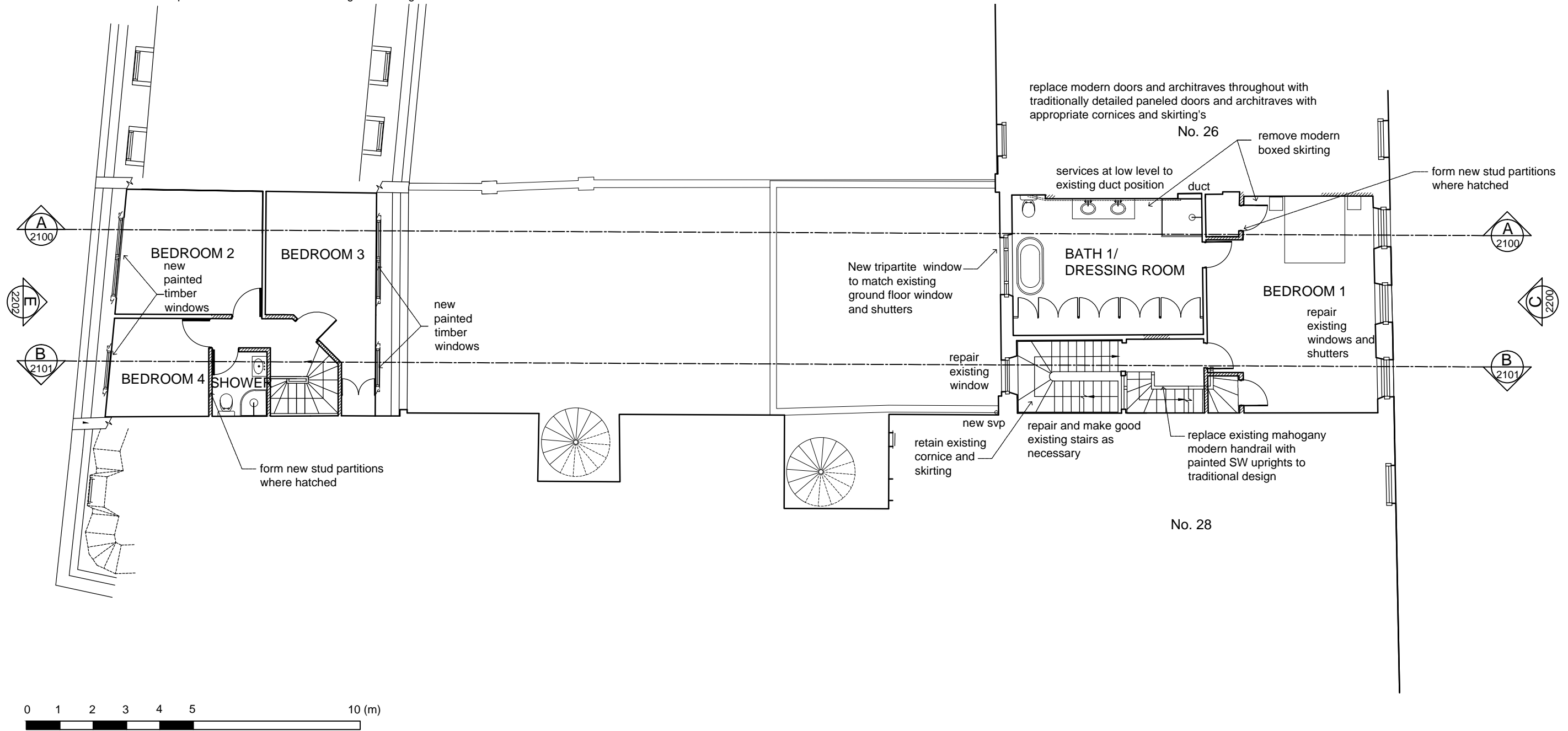
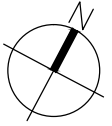
Job	JS27.02	Status	P	
No	2002	Rev	F	
Scale (A3)	1:	1	2	5

**General notes:**

1. Shading indicates new construction.
2. All existing bathroom, kitchen and sanitaryware fittings to be removed.
3. Original joinery to be recorded and set aside for reuse where removal necessary.
4. No original door survived throughout the house. New door details to follow those of DIA drawings.
5. Fireplaces and hearth surrounds to be retained unless noted otherwise. Existing chimney flues to be unblocked and lined.
6. Existing services and drains removed and replaced throughout.
7. Overhaul and repair all windows/shutters and mouldings, including paneled aprons (except where stated as new items).
8. All rooms to be fitted with smoke/heat detectors and sounders at ceiling level with air sampling detection system in fire rooms
9. Repair floor joists as necessary. Consult with Architect and Structural Engineer. Strengthen existing joists where new stone floor finish to be installed
10. Provide new appropriately detailed and sized cornices of traditional design throughout to replace existing modern cornices.
11. All services and pipe routes to follow existing routes where possible to avoid additional notching of joists or removal of existing fabric.
12. All new doors to be timber 4 panelled doors of traditional Georgian detailing.

**Notes on Second Floor:**

- Internal doors: S/F new traditionally detailed painted SW door and architraves throughout except where indicated otherwise.



No.	NOTES (STATUS: F. FEASIBILITY S. SKETCH DESIGN P. PLANNING B. BUILDING CONTROL D. DESIGN DEV / PRELIM M. MEASUREMENT T. TENDER C. CONSTRUCTION R. RECORD)	Rev	Date	Dwn	Auth	REVISIONS
1	For construction use only if status 'C' and checked against current revision	F	24/03/2014	TJB	ACS	General notes added
2	All dimensions to be checked on site by contractor	E	10/03/2014	SZP	ACS	Ground floor Mews rear wall aligned with Mews walls above.
3	Do not scale from this drawing	D	17/02/2014	JXA	ACS	Re-submission of planning issue
4	Unless otherwise indicated all dimensions are in millimetres	C	10/01/2014	JXA	ACS	New proposed bath 1/ dresser room
		B	05/09/2013	JXA	ACS	Planning Issue
		A	29/08/2013	JXA	ACS	Adding Notes and alterations to layout
		-	30/07/2013	JXA	ACS	Initial Issue

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CHARTERED ARCHITECTS  
PLANNING CONSULTANTS

12 Devonshire Street London W1G 7AB Tel: 020 7245 9888 Email: london@insall-architects.co.uk

Job 27 John Street & 21 John's Mews

Title Proposed Second Floor Plan

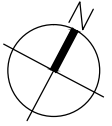
Job	JS27.02	Status	P	
No	2003	Rev	F	
Scale (A3)	1:	1	2	5

**General notes:**

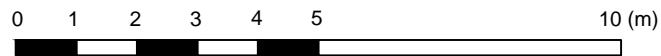
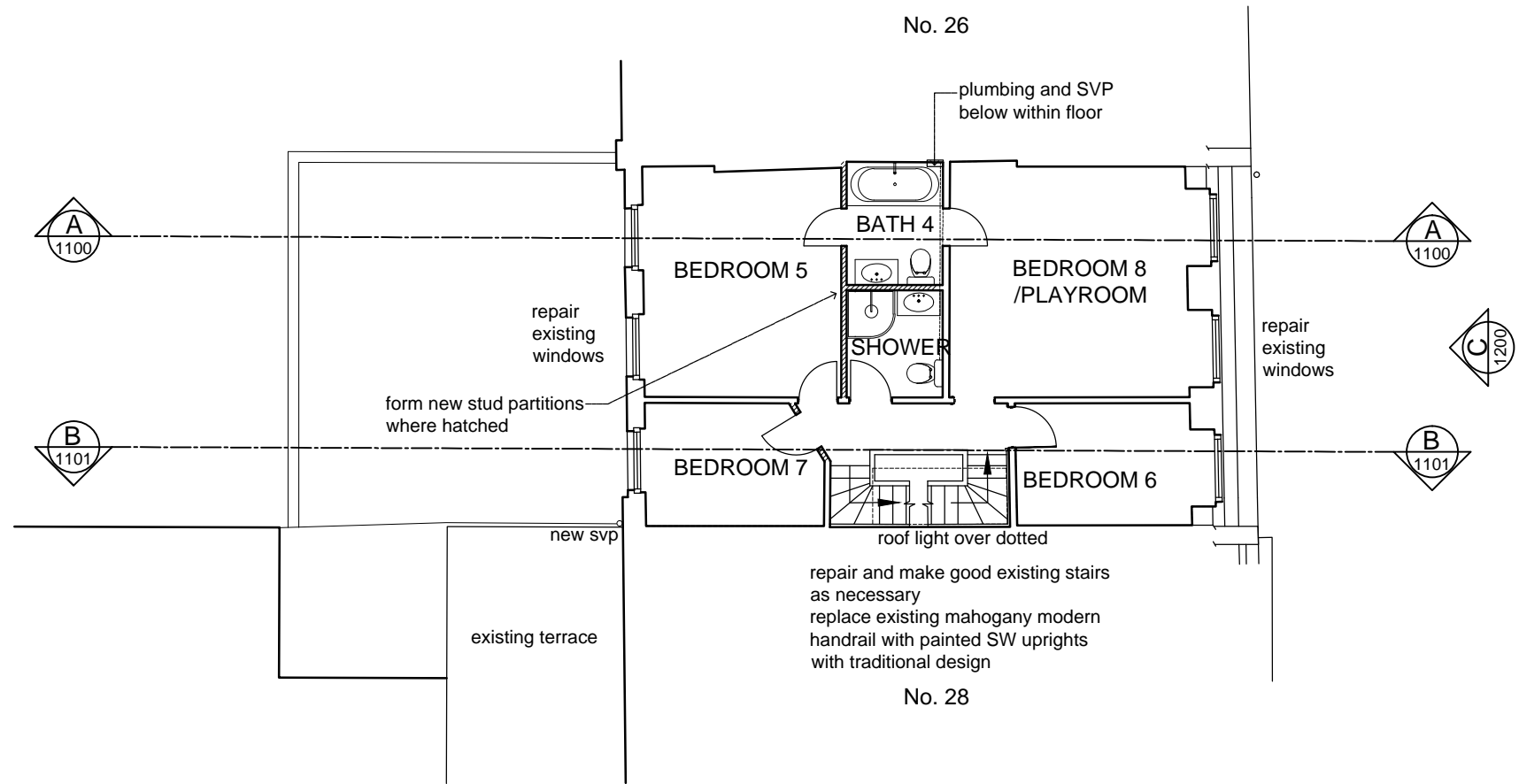
1. Shading indicates new construction.
2. All existing bathroom, kitchen and sanitaryware fittings to be removed.
3. Original joinery to be recorded and set aside for reuse where removal necessary.
4. No original door survived throughout the house. New door details to follow those of DIA drawings.
5. Fireplaces and hearth surrounds to be retained unless noted otherwise. Existing chimney flues to be unblocked and lined.
6. Existing services and drains removed and replaced throughout.
7. Overhaul and repair all windows/shutters and mouldings, including paneled aprons (except where stated as new items).
8. All rooms to be fitted with smoke/heat detectors and sounders at ceiling level with air sampling detection system in fire rooms
9. Repair floor joists as necessary. Consult with Architect and Structural Engineer. Strengthen existing joists where new stone floor finish to be installed.
10. Provide new appropriately detailed and sized cornices of traditional design throughout to replace existing modern cornices.

**Notes on Lower Ground Floor:**

- Internal doors: S/F new traditionally detailed painted SW door and architraves throughout except where indicated otherwise.



replace modern doors and architraves throughout with traditionally detailed paneled doors and architraves with appropriate cornices and skirting's



No.	NOTES (STATUS: F. FEASIBILITY S. SKETCH DESIGN P. PLANNING B. BUILDING CONTROL D. DESIGN DEV / PRELIM M. MEASUREMENT T. TENDER C. CONSTRUCTION R. RECORD)	Rev	Date	Dwn	Auth	REVISIONS
1	For construction use only if status 'C' and checked against current revision					
2	All dimensions to be checked on site by contractor					
3	Do not scale from this drawing					
4	Unless otherwise indicated all dimensions are in millimetres					
		B	05/09/2013	JXA	ACS	Planning Issue
		A	29/08/2013	JXA	ACS	Adding Notes and alterations to layout
		-	30/07/2013	JXA	ACS	Initial Issue

**DONALD INSALL ASSOCIATES LIMITED**

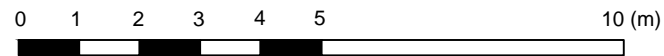
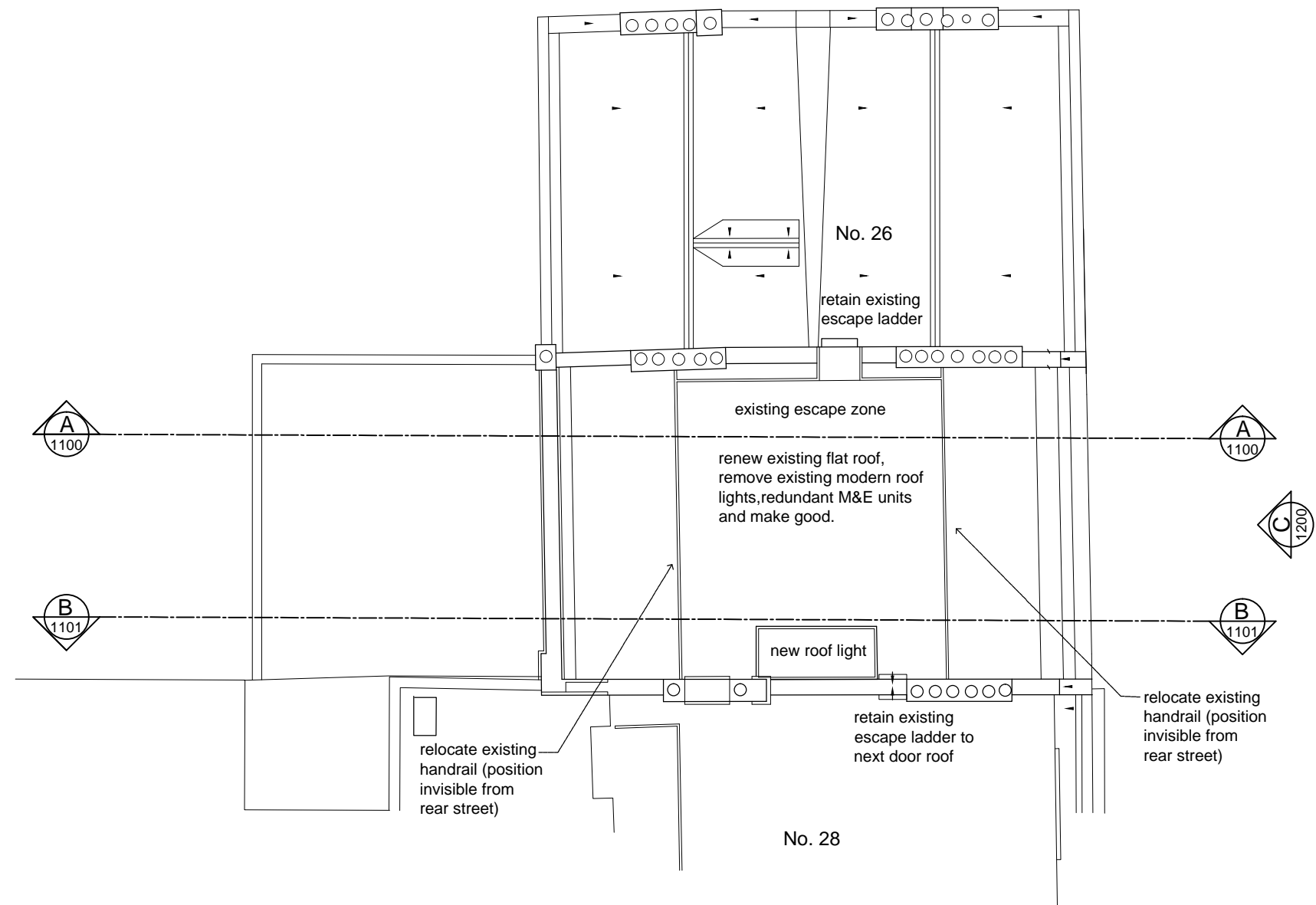
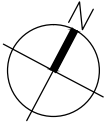
12 Devonshire Street London W1G 7AB Tel: 020 7245 9888 Email: london@insall-architects.co.uk

**Job** 27 John Street & 21 John's Mews

**Title** Proposed Fourth Floor Plan

CHARTERED ARCHITECTS  
PLANNING CONSULTANTS

Job	JS27.02	Status	P
No	2005	Rev	B
Scale (A3)	1:	1	2
		5	



No.	NOTES (STATUS: F. FEASIBILITY S. SKETCH DESIGN P. PLANNING B. BUILDING CONTROL D. DESIGN DEV / PRELIM M. MEASUREMENT T. TENDER C. CONSTRUCTION R. RECORD)	Rev	Date	Dwn	Auth	REVISIONS
1	For construction use only if status 'C' and checked against current revision					
2	All dimensions to be checked on site by contractor					
3	Do not scale from this drawing					
4	Unless otherwise indicated all dimensions are in millimetres					
		B	05/09/2013	JXA	ACS	Planning Issue
		A	29/08/2013	JXA	ACS	Adding Notes and alterations to layout
		-	30/07/2013	JXA	ACS	Initial Issue

## DONALD INSALL ASSOCIATES LIMITED

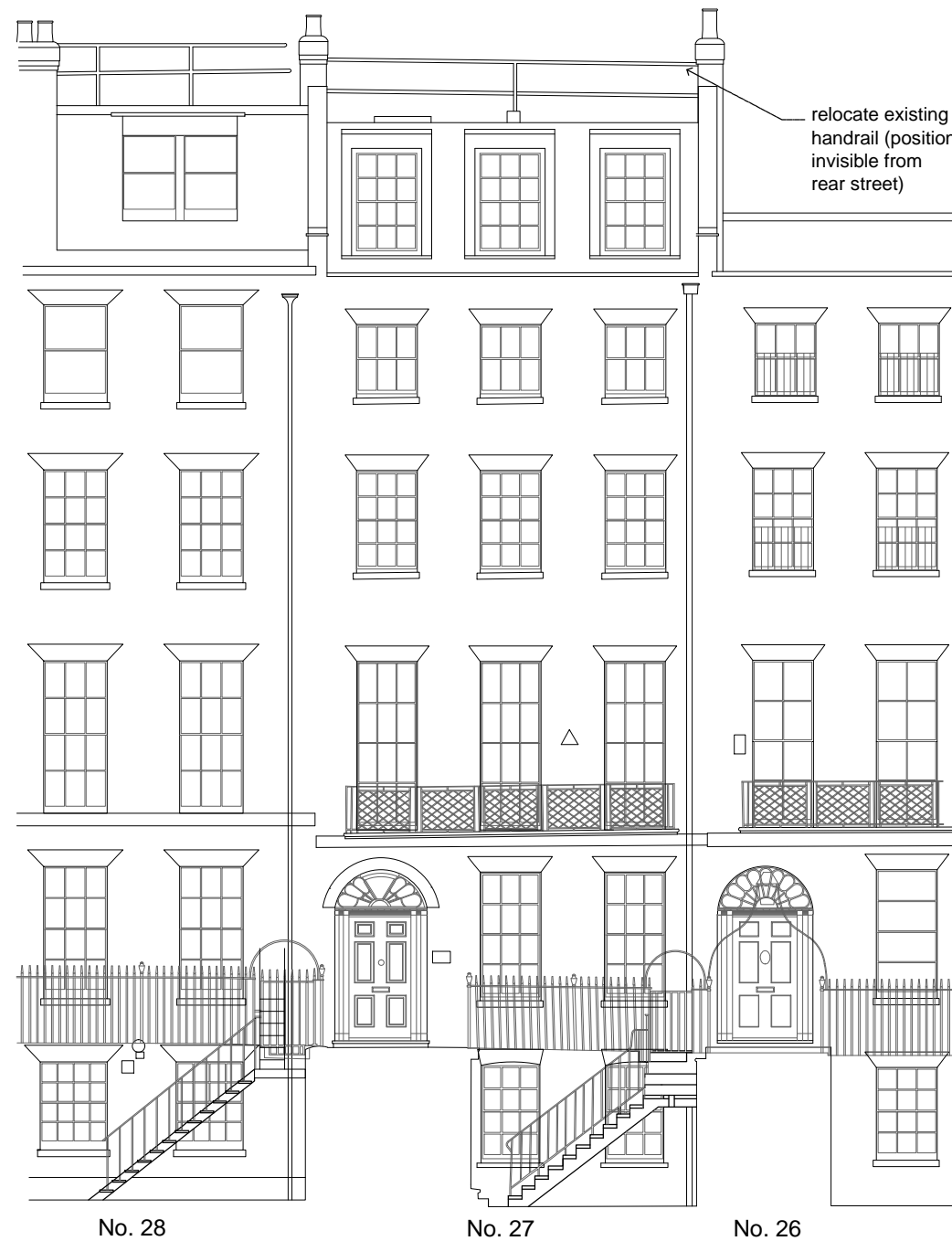
12 Devonshire Street London W1G 7AB Tel: 020 7245 9888 Email: london@insall-architects.co.uk

Job 27 John Street & 21 John's Mews

Title Proposed Roof Plan

CHARTERED ARCHITECTS  
PLANNING CONSULTANTS

Job	JS27.02	Status	P
No	2006	Rev	B
Scale (A3)	1:	1	2
		5	



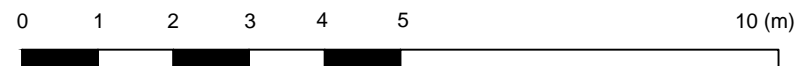
**General Notes on Repairs:**

- Brickwork**
- Carefully rake out damaged joints and re-point where necessary in matching mortar.
  - Carefully brush clean brickwork to remove moss and staining where necessary.
  - Replace mismatching brickwork with second hand bricks to match existing - sample must be approved by Architect
  - Soot down any repairs to match existing.

- Stone**
- Carefully brush clean stonework - remove moss and stain and repoint as necessary.

- Leadwork**
- Carefully investigate roof leadwork once safe access is established, and repair/replace as necessary all in accordance with Lead Sheet Association's recommendations.

- Drainage**
- Remove redundant services.
  - Repair/replace damaged pipes as necessary.
  - Clear all the blockages
  - All the external rainwater and soil vent pipes are to be replaced in cast iron to match existing.
  - All internal soil vent pipes must be adequately sound insulated and properly concealed, and to follow existing service route where possible.



No.	NOTES (STATUS: F. FEASIBILITY S. SKETCH DESIGN P. PLANNING B. BUILDING CONTROL D. DESIGN DEV / PRELIM M. MEASUREMENT T. TENDER C. CONSTRUCTION R. RECORD)					
1	For construction use only if status 'C' and checked against current revision					
2	All dimensions to be checked on site by contractor					
3	Do not scale from this drawing					
4	Unless otherwise indicated all dimensions are in millimetres					
		B	05/09/2013	JXA	ACS	Planning Issue
		A	29/08/2013	JXA	ACS	Adding Notes
		-	01/08/2013	AXT	ACS	Initial Issue
		<b>Rev</b>	<b>Date</b>	<b>Dwn</b>	<b>Auth</b>	<b>REVISIONS</b>

**DONALD INSALL ASSOCIATES LIMITED**

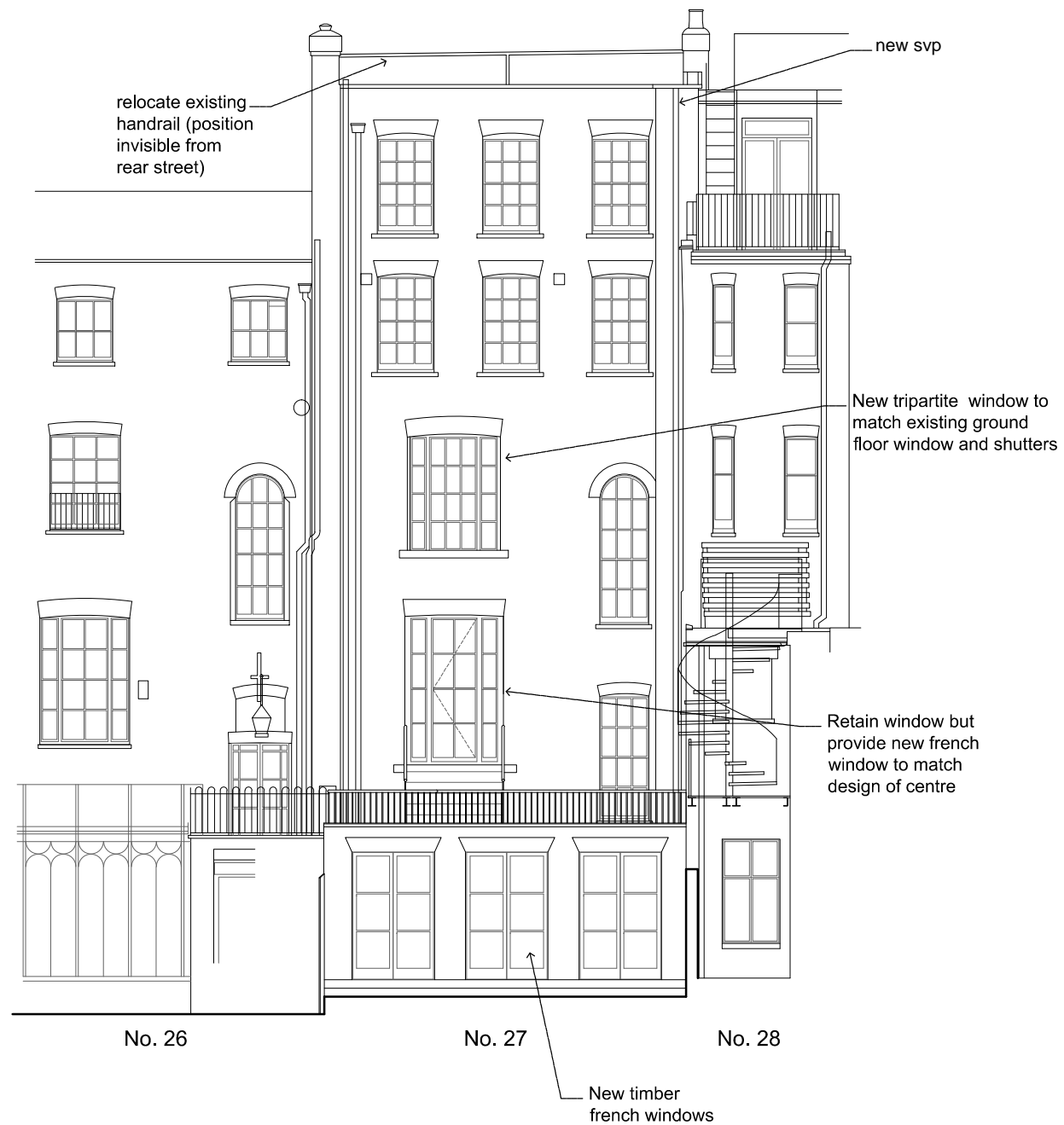
CHARTERED ARCHITECTS  
PLANNING CONSULTANTS

12 Devonshire Street London W1G 7AB Tel: 020 7245 9888 Email: london@insall-architects.co.uk

**Job** 27 John Street & 21 John's Mews

**Title** Proposed Front Elevation

Job	JS27.02	Status	P
No	2200	Rev	B
Scale (A3)	1:	1	2
		5	



**General Notes on Repairs:**

**Brickwork**

- Carefully rake out damaged joints and re-point where necessary in matching mortar.
- Carefully brush clean brickwork to remove moss and staining where necessary.
- Replace mismatching brickwork with second hand bricks to match existing - sample must be approved by Architect
- Soot down any repairs to match existing.

**Stone**

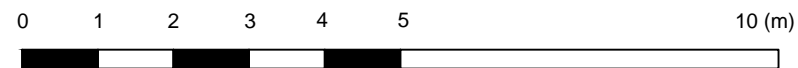
- Carefully brush clean stonework - remove moss and stain and repoint as necessary.

**Leadwork**

- Carefully investigate roof leadwork once safe access is established, and repair/replace as necessary all in accordance with Lead Sheet Association's recommendations.

**Drainage**

- Remove redundant services.
- Repair/replace damaged pipes as necessary.
- Clear all the blockages
- All the external rainwater and soil vent pipes are to be replaced in cast iron to match existing.
- All internal soil vent pipes must be adequately sound insulated and properly concealed, and to follow existing service route where possible.



No.	NOTES (STATUS: F. FEASIBILITY S. SKETCH DESIGN P. PLANNING B. BUILDING CONTROL D. DESIGN DEV / PRELIM M. MEASUREMENT T. TENDER C. CONSTRUCTION R. RECORD)	Rev	Date	Dwn	Auth	REVISIONS
1	For construction use only if status 'C' and checked against current revision					
2	All dimensions to be checked on site by contractor					
3	Do not scale from this drawing	D	17/02/2014	JXA	ACS	Re-submission of planning issue
4	Unless otherwise indicated all dimensions are in millimetres	C	10/01/2014	JXA	ACS	New second floor window, additional french window on ground floor extension
		B	05/09/2013	JXA	ACS	Planning Issue
		A	29/08/2013	JXA	ACS	Adding Notes
		-	01/08/2013	AXT	ACS	Initial Issue

**DONALD INSALL ASSOCIATES LIMITED**

CHARTERED ARCHITECTS  
PLANNING CONSULTANTS

12 Devonshire Street London W1G 7AB Tel: 020 7245 9888 Email: london@insall-architects.co.uk

Job 27 John Street & 21 John's Mews

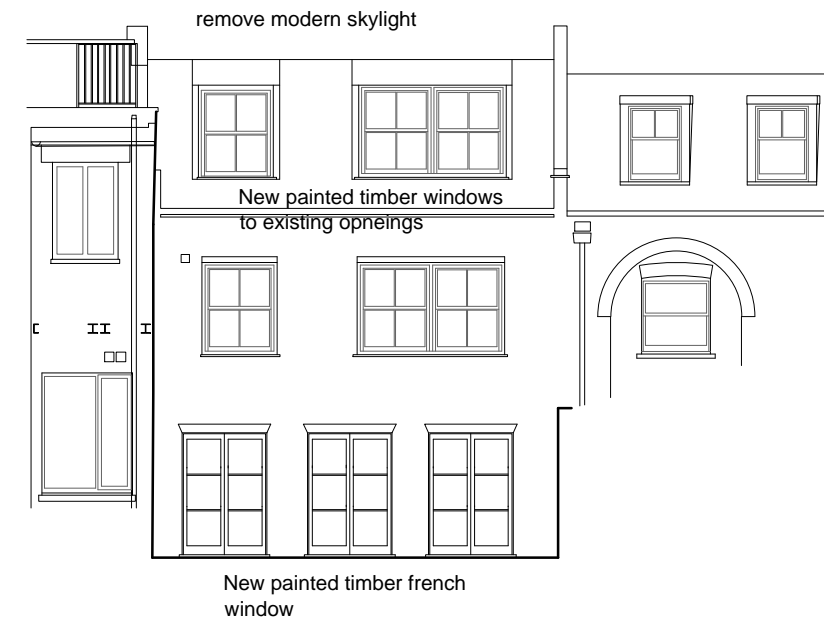
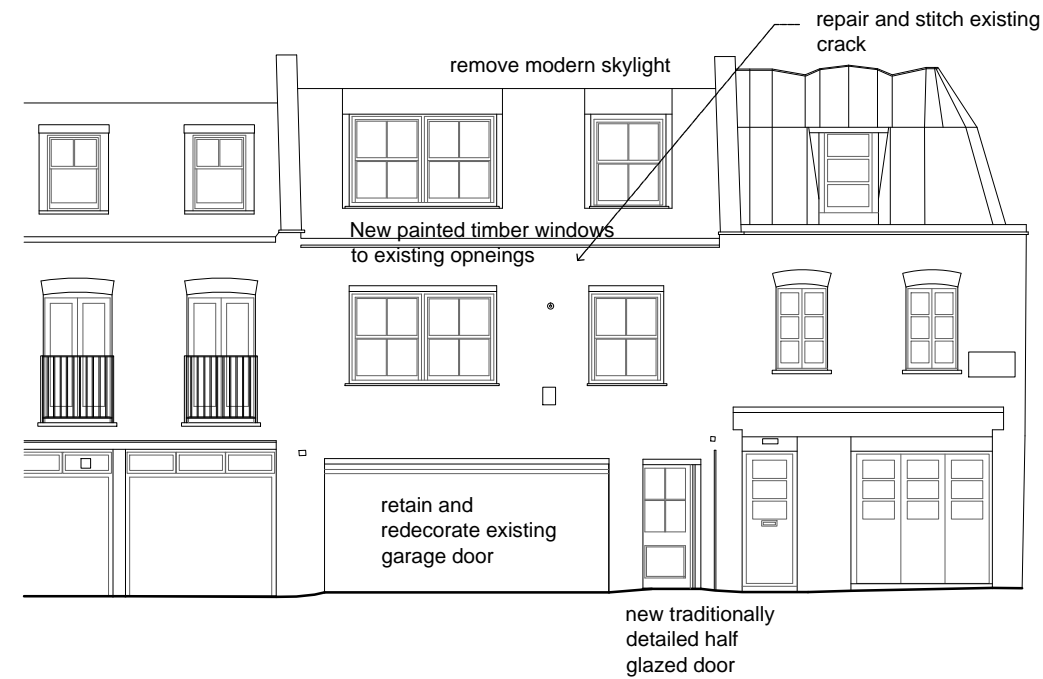
Title Proposed Rear Elevation

Job	JS27.02	Status	P
No	2201	Rev	C
Scale (A3)	1:	1	2
		5	



**notes on windows in Mews**

- remove existing boarding and replace with lead
- remove existing modern metal windows and replace with new sash windows with traditionally detailed painted timber double glazed windows



**General Notes on Repairs:**

**Brickwork**

- Carefully rake out damaged joints and re-point where necessary in matching mortar.
- Carefully brush clean brickwork to remove moss and staining where necessary.
- Replace mismatching brickwork with second hand bricks to match existing - sample must be approved by Architect
- Soot down any repairs to match existing.

**Stone**

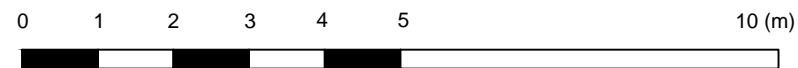
- Carefully brush clean stonework - remove moss and stain and repoint as necessary.

**Leadwork**

- Carefully investigate roof leadwork once safe access is established, and repair/replace as necessary all in accordance with Lead Sheet Association's recommendations.

**Drainage**

- Remove redundant services.
- Repair/replace damaged pipes as necessary.
- Clear all the blockages
- All the external rainwater and soil vent pipes are to be replaced in cast iron to match existing.
- All internal soil vent pipes must be adequately sound insulated and properly concealed, and to follow existing service route where possible.



No.	NOTES (STATUS: F. FEASIBILITY S. SKETCH DESIGN P. PLANNING B. BUILDING CONTROL D. DESIGN DEV / PRELIM M. MEASUREMENT T. TENDER C. CONSTRUCTION R. RECORD)	Rev	Date	Dwn	Auth	REVISIONS
1	For construction use only if status 'C' and checked against current revision					
2	All dimensions to be checked on site by contractor					
3	Do not scale from this drawing					
4	Unless otherwise indicated all dimensions are in millimetres	C	10/03/2014	SZP	ACS	Ground floor Mews rear wall aligned with Mews walls above.
		B	05/09/2013	JXA	ACS	Planning Issue
		A	29/08/2013	JXA	ACS	Adding Notes
		-	01/08/2013	AXT	ACS	Initial Issue

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CHARTERED ARCHITECTS  
PLANNING CONSULTANTS

12 Devonshire Street London W1G 7AB Tel: 020 7245 9888 Email: london@insall-architects.co.uk

**Job** 27 John Street & 21 John's Mews

**Title** Proposed Front & Rear Mews Elevation

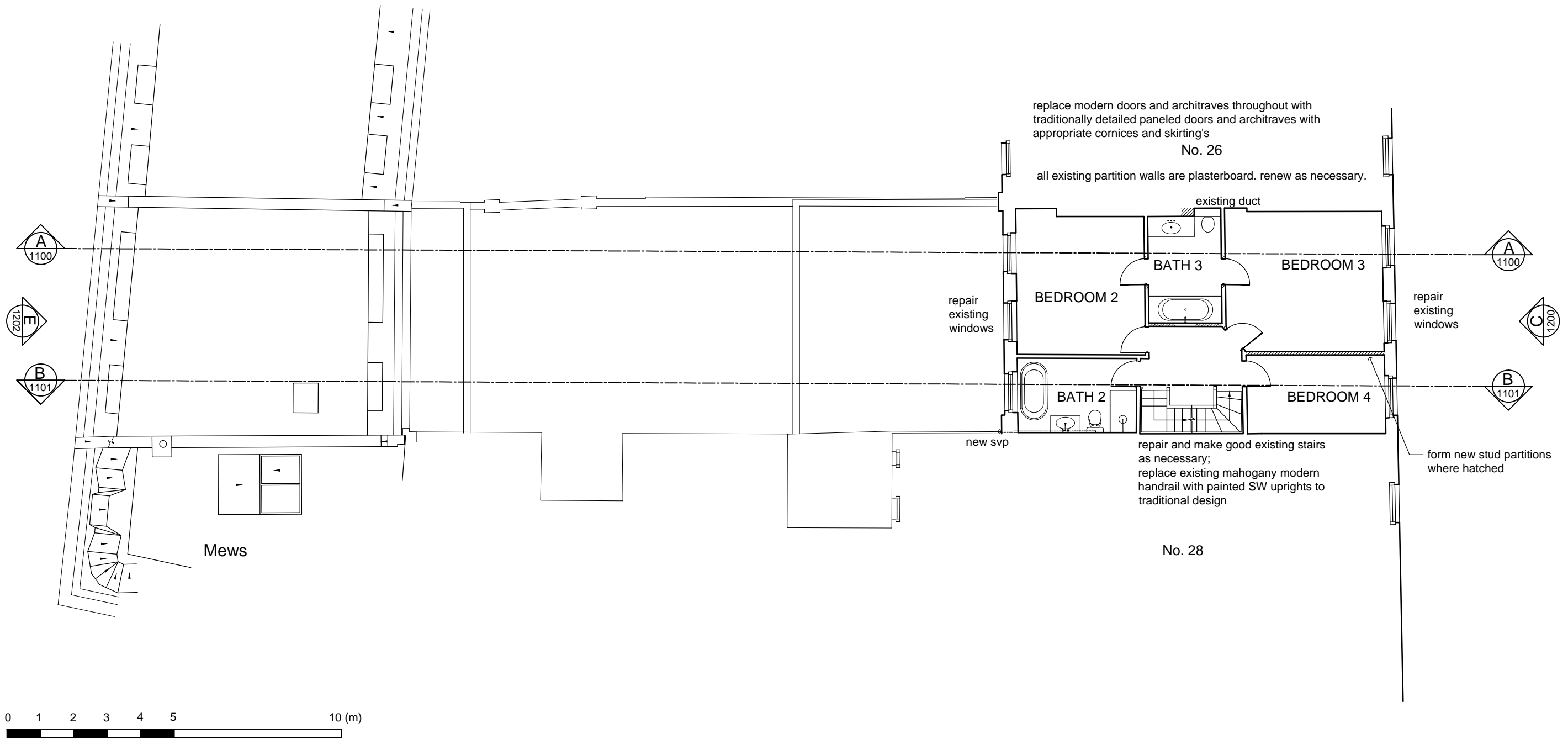
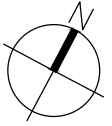
Job	JS27.02	Status	P
No	2202	Rev	C
Scale (A3)	1:	1	2
		5	

**General notes:**

1. Shading indicates new construction.
2. All existing bathroom, kitchen and sanitaryware fittings to be removed.
3. Original joinery to be recorded and set aside for reuse where removal necessary.
4. No original door survived throughout the house. New door details to follow those of DIA drawings.
5. Fireplaces and hearth surrounds to be retained unless noted otherwise. Existing chimney flues to be unblocked and lined.
6. Existing services and drains removed and replaced throughout.
7. Overhaul and repair all windows/shutters and mouldings, including paneled aprons (except where stated as new items).
8. All rooms to be fitted with smoke/heat detectors and sounders at ceiling level with air sampling detection system in fire rooms
9. Repair floor joists as necessary. Consult with Architect and Structural Engineer. Strengthen existing joists where new stone floor finish to be installed.
10. Provide new appropriately detailed and sized cornices of traditional design throughout to replace existing modern cornices.

**Notes on Lower Ground Floor:**

- Internal doors: S/F new traditionally detailed painted SW door and architraves throughout except where indicated otherwise.



No.	NOTES (STATUS: F. FEASIBILITY S. SKETCH DESIGN P. PLANNING B. BUILDING CONTROL D. DESIGN DEV / PRELIM M. MEASUREMENT T. TENDER C. CONSTRUCTION R. RECORD)	Rev	Date	Dwn	Auth	REVISIONS
1	For construction use only if status 'C' and checked against current revision					
2	All dimensions to be checked on site by contractor					
3	Do not scale from this drawing					
4	Unless otherwise indicated all dimensions are in millimetres	C	17/02/2014	JXA	ACS	Re-submission of planning issue
		B	10/01/2014	JXA	ACS	Amendments to ground floor mews roof
		A	29/08/2013	JXA	ACS	Adding Notes and alterations to layout
		-	30/07/2013	JXA	ACS	Initial Issue

**DONALD INSALL ASSOCIATES LIMITED**

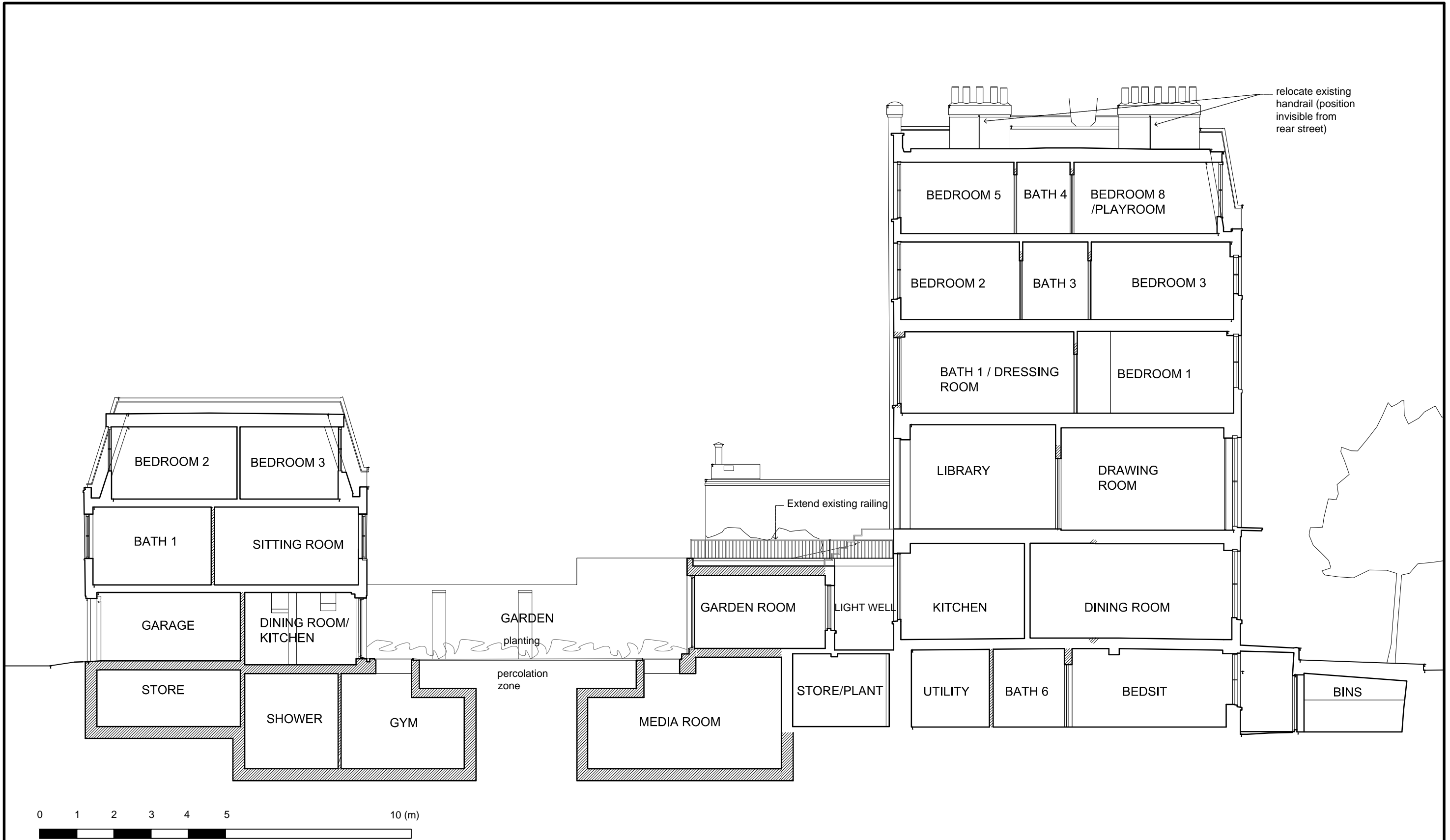
CHARTERED ARCHITECTS  
PLANNING CONSULTANTS

12 Devonshire Street London W1G 7AB Tel: 020 7245 9888 Email: london@insall-architects.co.uk

Job 27 John Street & 21 John's Mews

Title Proposed Third Floor Plan

Job	JS27.02	Status	P	
No	2004	Rev	C	
Scale (A3)	1:	1	2	5

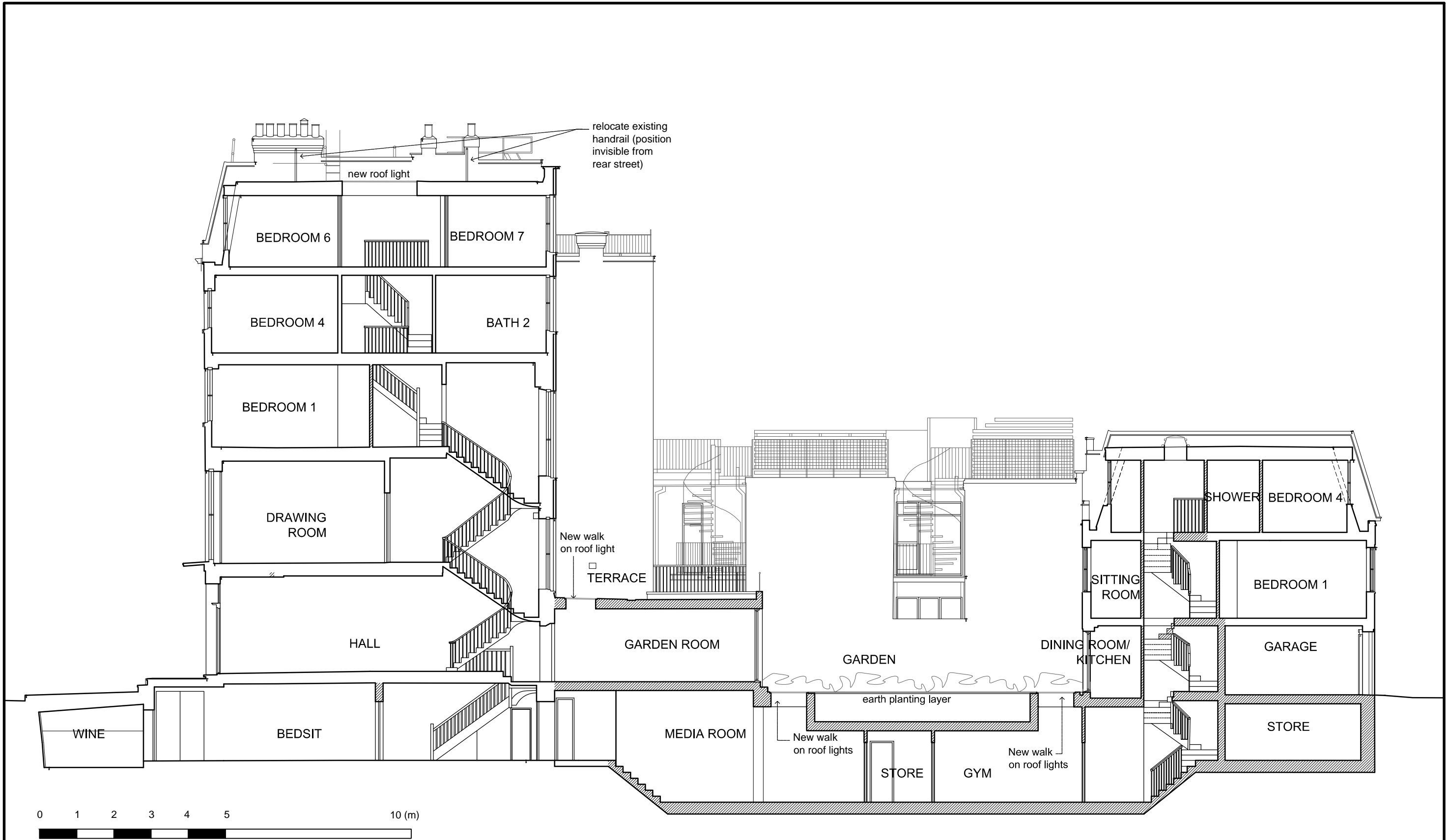


No.	NOTES (STATUS: F. FEASIBILITY S. SKETCH DESIGN P. PLANNING B. BUILDING CONTROL D. DESIGN DEV / PRELIM M. MEASUREMENT T. TENDER C. CONSTRUCTION R. RECORD)	Rev	Date	Dwn	Auth	REVISIONS
1	For construction use only if status 'C' and checked against current revision	F	24/03/2014	TJB	ACS	Lower ground floor level lowered by height of one step
2	All dimensions to be checked on site by contractor	E	10/03/2014	SZP	ACS	Ground floor Mews rear wall aligned with Mews walls above.
3	Do not scale from this drawing	D	17/02/2014	JXA	ACS	Re-submission of planning issue
4	Unless otherwise indicated all dimensions are in millimetres	C	10/01/2014	JXA	ACS	Reinstatement of existing light well, reduction in size of Mews extension
		B	05/09/2013	JXA	ACS	Planning Issue and alterations to ceiling heights
		A	29/08/2013	JXA	ACS	Adding Notes and alterations to ceiling heights, room sizes etc.
		-	01/08/2013	AXT	ACS	Initial Issue
G	25/06/14 TJB ACS Car stacker converted to garage and store					

**DONALD INSALL ASSOCIATES LIMITED**  
 12 Devonshire Street London W1G 7AB Tel: 020 7245 9888 Email: london@insall-architects.co.uk  
 Job 27 John Street & 21 John's Mews  
 Title Proposed Section A

CHARTERED ARCHITECTS  
 PLANNING CONSULTANTS

Job	JS27.02	Status	P
No	2300	Rev	G
Scale (A3)	1:	1	2
		5	



No.	NOTES (STATUS: F. FEASIBILITY S. SKETCH DESIGN P. PLANNING B. BUILDING CONTROL D. DESIGN DEV / PRELIM M. MEASUREMENT T. TENDER C. CONSTRUCTION R. RECORD)	Rev	Date	Dwn	Auth	REVISIONS
1	For construction use only if status 'C' and checked against current revision	F	24/03/2014	TJB	ACS	Lower ground floor level lowered by height of one step
2	All dimensions to be checked on site by contractor	E	10/03/2014	SZP	ACS	Ground floor Mews rear wall aligned with Mews walls above.
3	Do not scale from this drawing	D	17/02/2014	JXA	ACS	Re-submission of planning issue
4	Unless otherwise indicated all dimensions are in millimetres	C	10/01/2014	JXA	ACS	Amendments in size of Mews extension
		B	05/09/2013	JXA	ACS	Planning Issue and alterations to ceiling heights
		A	29/08/2013	JXA	ACS	Adding Notes and alterations to ceiling heights, room sizes etc.
		-	01/08/2013	AXT	ACS	Initial Issue
G	25/06/14 TJB ACS Car stacker converted to garage and store					

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Job 27 John Street & 21 John's Mews

Title Proposed Section B

Job	JS27.02	Status	P	
No	2301	Rev	G	
Scale (A3)	1:	1	2	5