

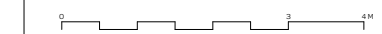
notes:

- General notes:**
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Party Wall Act 1996:
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- KEY**
- black lines proposed
 - green lines to be demolished



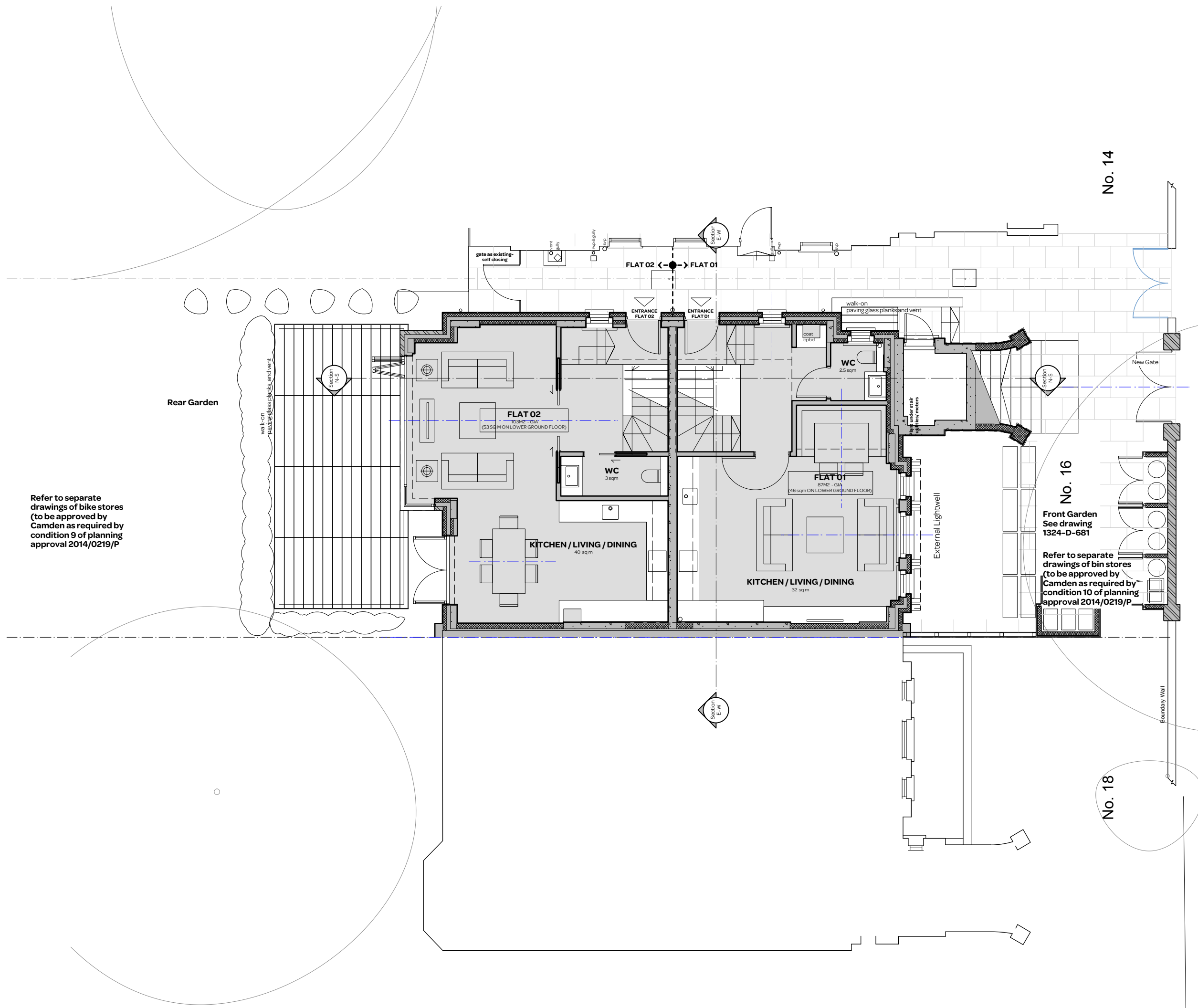
revision:	
* Planning application	09.12.13
A Non Material Amendment	03.07.14
B Reissued for NM Amendment	24.10.14



SQUARE FEET ARCHITECTS

A : 8a Baynes Mews, London NW3 5BH
 T : 0207 431 4500
 E : studio@squarefeetarchitects.co.uk
 W : www.squarefeetarchitects.co.uk

drawing title:	
PROPOSED BASEMENT FLOOR PLAN	
client: Reedminster Ltd.	
project: 16 Greville Road, NW6 5JA	
date: December 2013	scale: 1:100 @ A3
drawing number: 1324-L-021	revision: B



Refer to separate drawings of bike stores (to be approved by Camden as required by condition 9 of planning approval 2014/0219/P

Front Garden See drawing 1324-D-681

Refer to separate drawings of bin stores (to be approved by Camden as required by condition 10 of planning approval 2014/0219/P

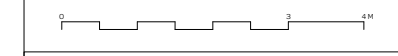
notes:

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KEY
 black lines proposed
 green lines to be demolished



revision:	
* Planning application	09.12.13
A Non Material Amendment	03.07.14
B Reissued for NM Amendment	24.10.14



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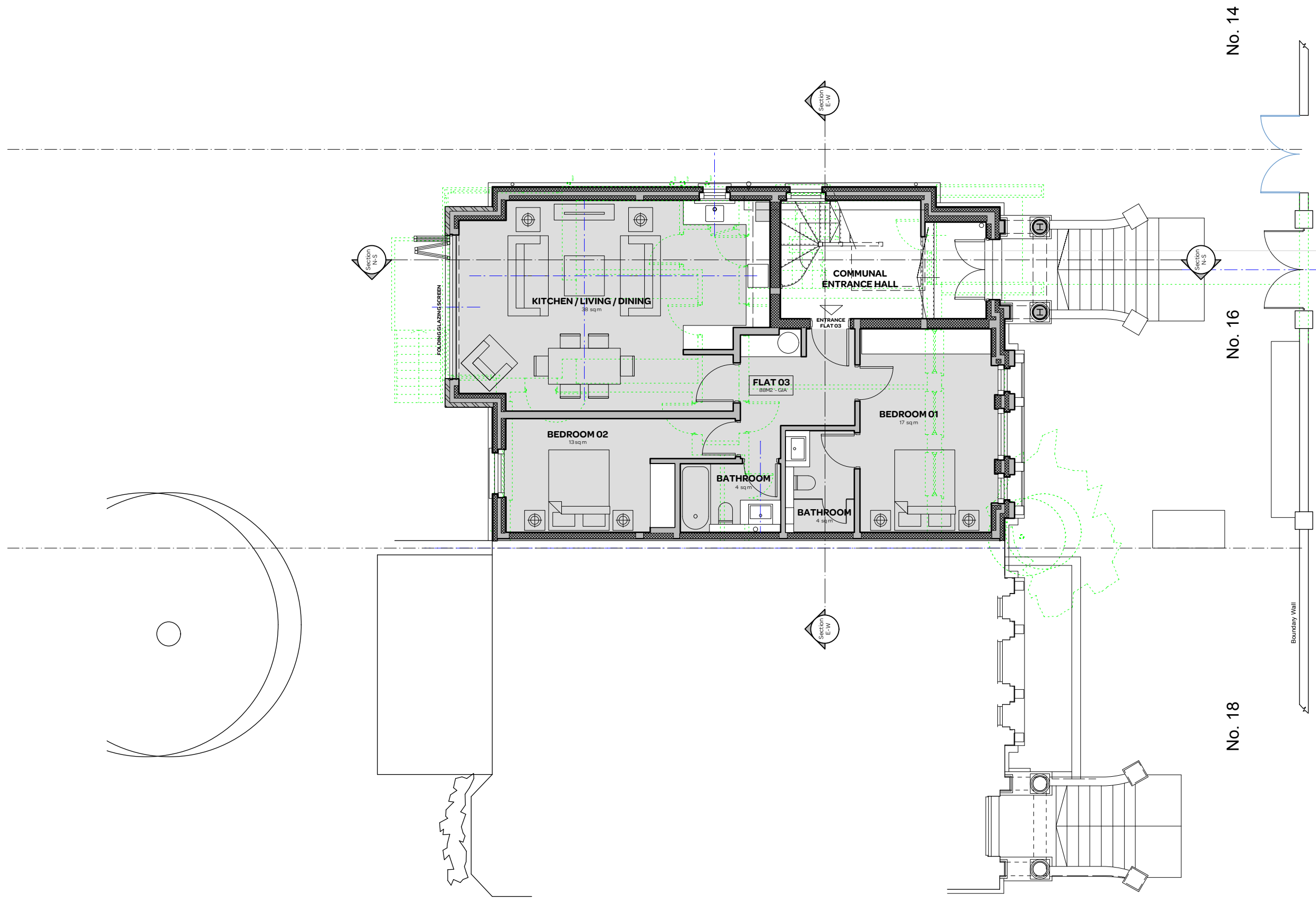
drawing title:
PROPOSED LOWER GROUND FLOOR PLAN

client:
 Reedminster Ltd.

project:
16 Greville Road, NW6 5JA

date: December 2013	scale: 1:100 @ A3
------------------------	----------------------

drawing number: 1324-L-022	revision: B
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notes:

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KEY

black lines proposed
 green lines to be demolished

revision:

* Planning application	09.12.13
A Non Material Amendment	03.07.14
B Reissued for NM Amendment	24.10.14

SQUARE FEET ARCHITECTS

A : 8a Baynes Mews, London NW3 5BH
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 W : www.squarefeetarchitects.co.uk

drawing title:
PROPOSED RAISED GROUND FLOOR PLAN

client:
 Reedminster Ltd.

project:
16 Greville Road, NW6 5JA

date: December 2013	scale: 1:100 @ A3
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drawing number: 1324-L-023	revision: B
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notes:

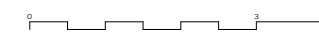
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KEY

black lines proposed
 green lines to be demolished



revision:

* Planning application	09.12.13
A Non Material Amendment	03.07.14
B Reissued for NM Amendment	24.10.14



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drawing title:

PROPOSED FIRST FLOOR PLAN

client:

Reedminster Ltd.

project:

16 Greville Road, NW6 5JA

date:

December 2013

scale:

1:100 @ A3

drawing number:

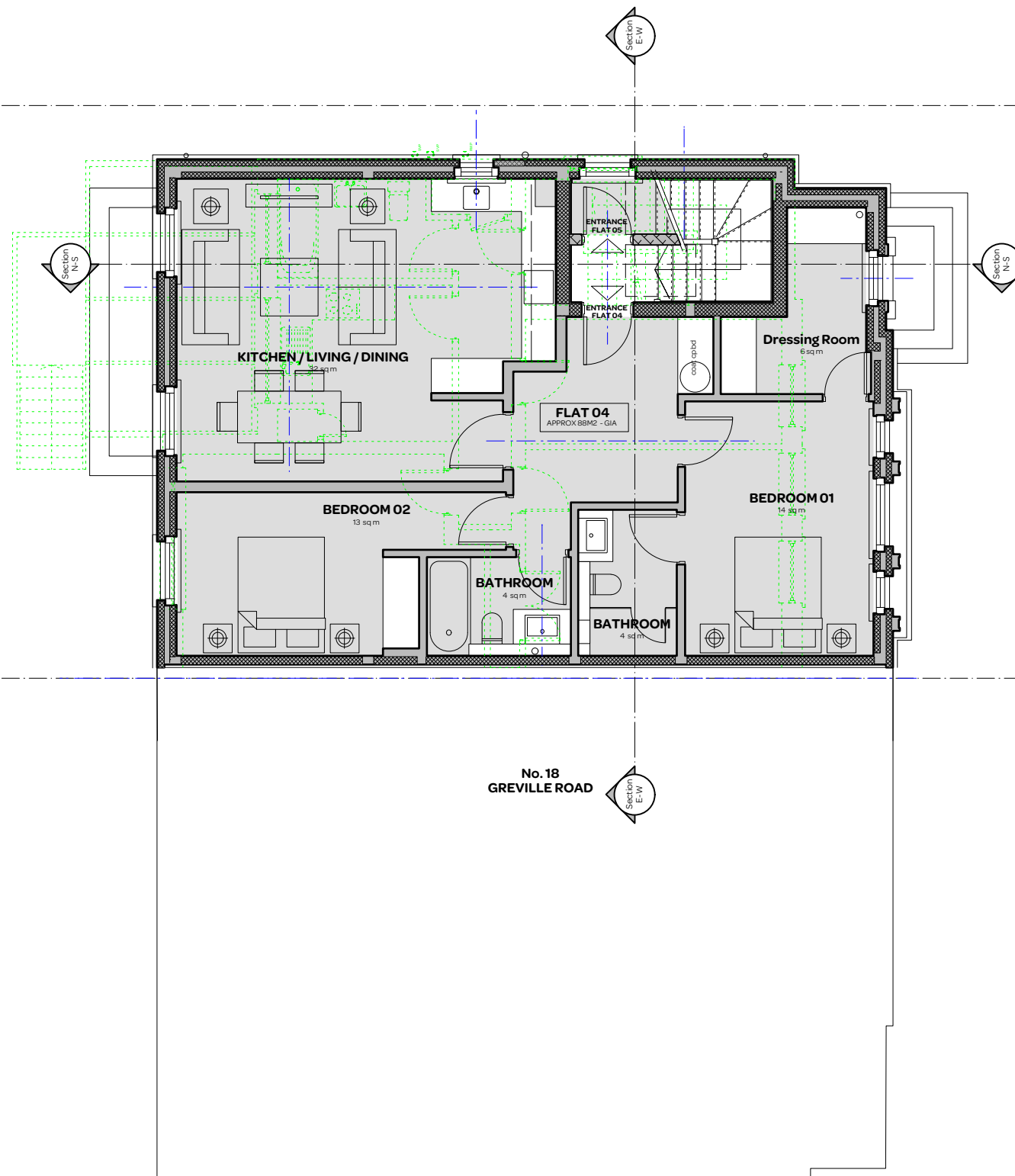
1324-L-024

revision:

B

No. 14
GREVILLE ROAD

No. 18
GREVILLE ROAD



notes:

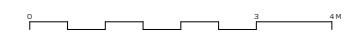
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KEY

- black lines proposed
- green lines to be demolished



revision:

* Planning application	09.12.13
A Non Material Amendment	07.07.14
B Reissued for NM Amendment	24.10.14



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E : studio@squarefeetarchitects.co.uk
W : www.squarefeetarchitects.co.uk

drawing title:

PROPOSED SECOND FLOOR PLAN

client:

Reedminster Ltd.

project:

16 Greville Road, NW6 5JA

date:

December 2013

scale:

1:100 @ A3

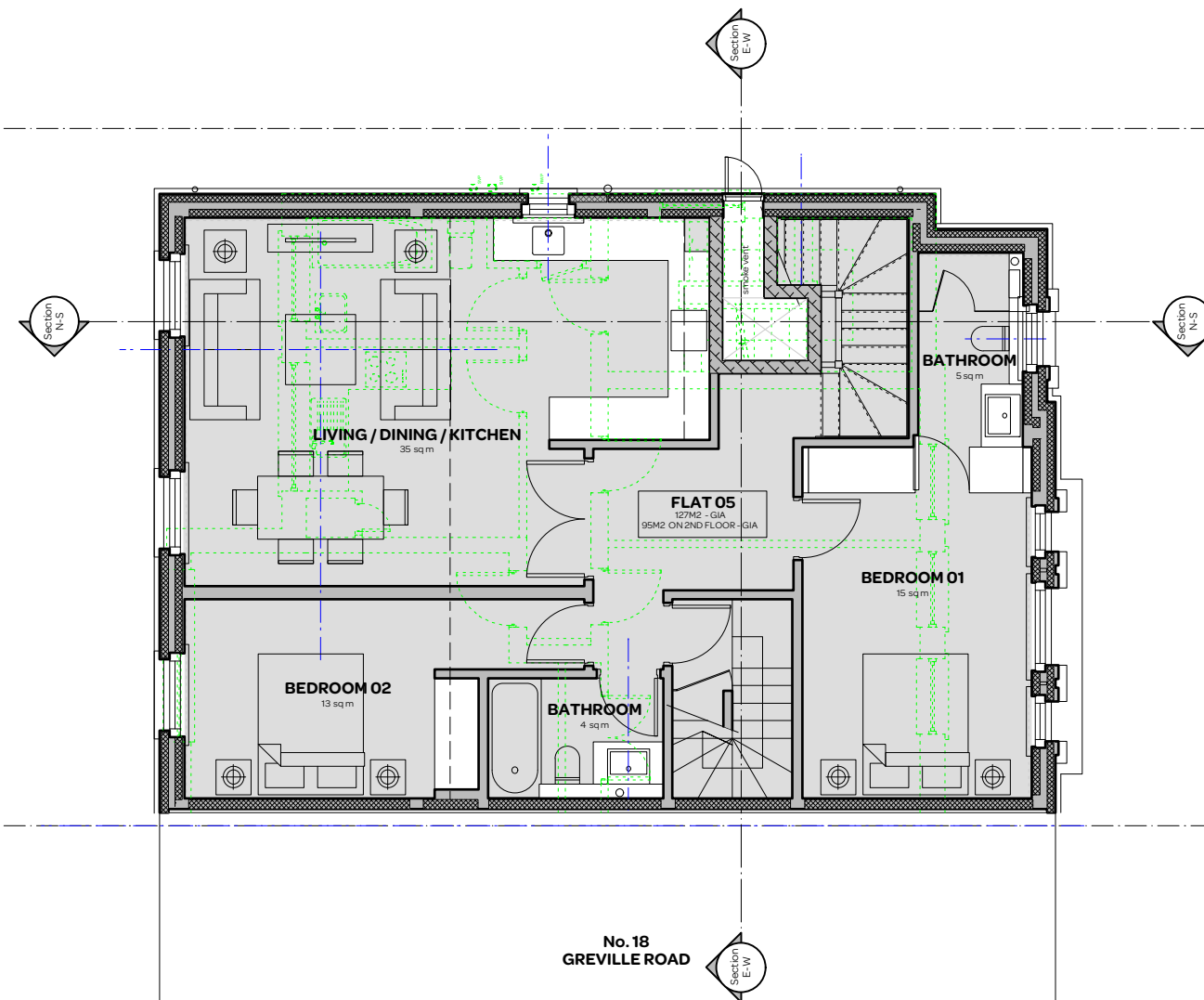
drawing number:

1324-L-025

revision:

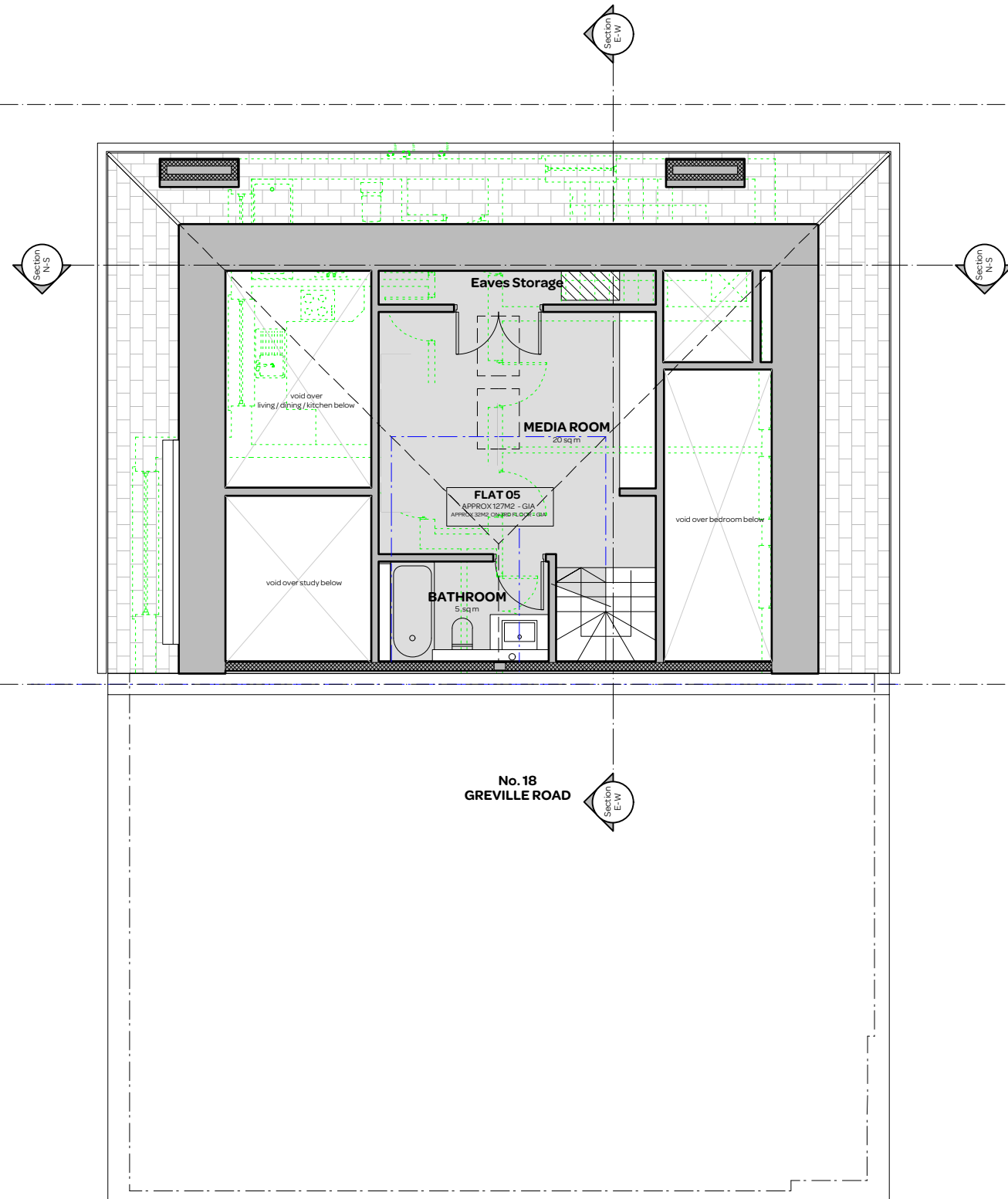
B

No. 14
GREVILLE ROAD



No. 18
GREVILLE ROAD

No. 14
GREVILLE ROAD



No. 18
GREVILLE ROAD

notes:

General notes:

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KEY

- black lines proposed
- green lines to be demolished



revision:

* Planning application	09.12.13
A Non Material Amendment	07.07.14
B Reissued for NM Amendment	24.10.14



SQUARE FEET
ARCHITECTS

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W : www.squarefeetarchitects.co.uk

drawing title:

PROPOSED THIRD FLOOR PLAN

client:

Reedminster Ltd.

project:

16 Greville Road, NW6 5JA

date:

December 2013

scale:

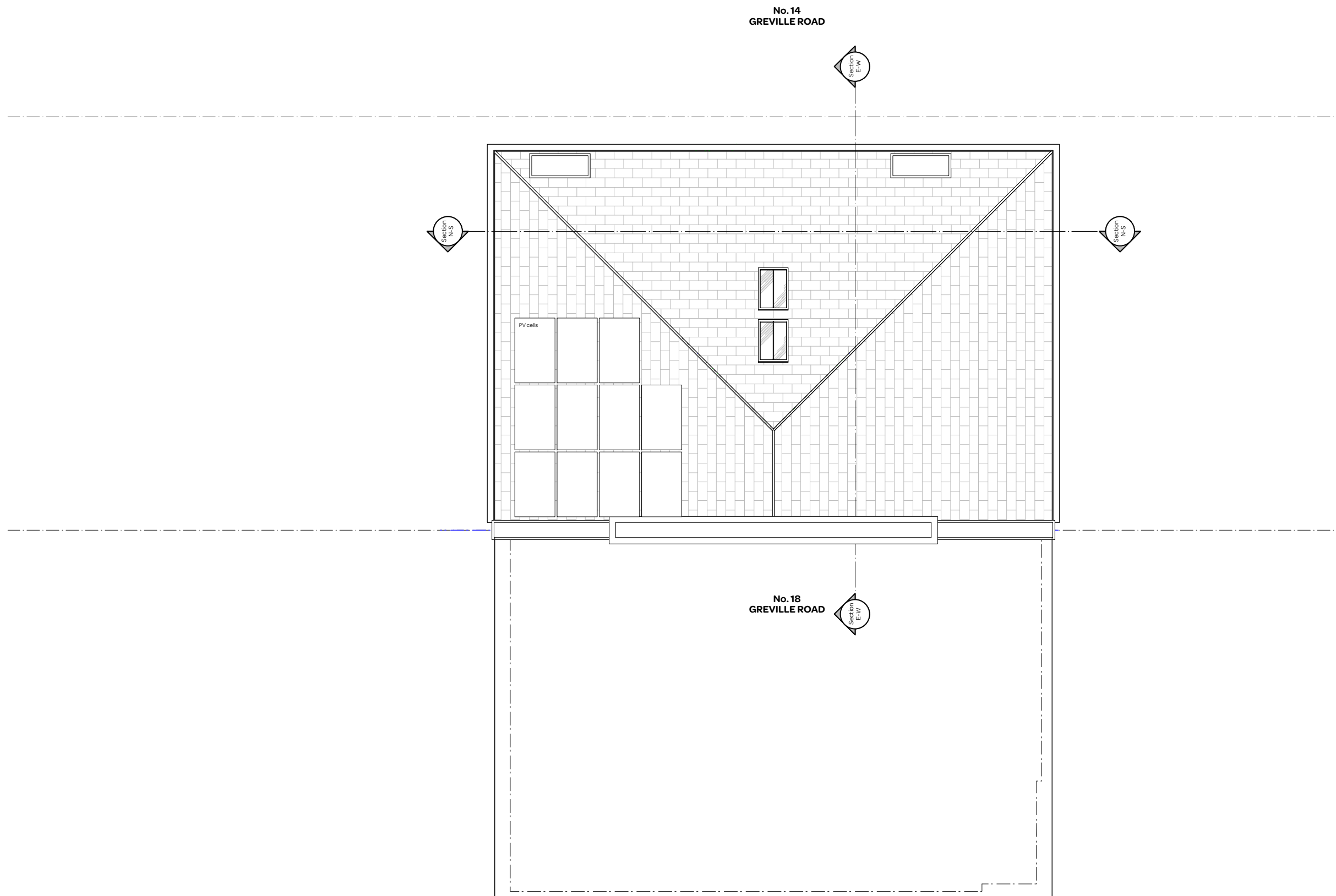
1:100 @ A3

drawing number:

1324-L-026

revision:

B



notes:

- General notes:**
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KEY

black lines proposed
 green lines to be demolished



revision:	
* Planning application	09.12.13
A Non Material Amendment	07.07.14
B Reissued for NM Amendment	24.10.14

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 W : www.squarefeetarchitects.co.uk

drawing title:
PROPOSED ROOF PLAN

client:
 Reedminster Ltd.

project:
16 Greville Road, NW6 5JA

date: December 2013	scale: 1:100 @ A3
------------------------	----------------------

drawing number: 1324-L-027	revision: B
--------------------------------------	-----------------------



notes:

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revision:

* Planning application	09.12.13
A Non Material Amendment	07.07.14
B Reissued for NM Amendment	24.10.14



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 T : 0207 431 4500
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drawing title:
PROPOSED FRONT ELEVATION

client:
 Reedminster Ltd.

project:
16 Greville Road, NW6 5JA

date: December 2013
 scale: 1:100 @ A3

drawing number: **1324-L-028**
 revision: **B**



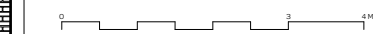
PROPOSED REAR ELEVATION

notes:

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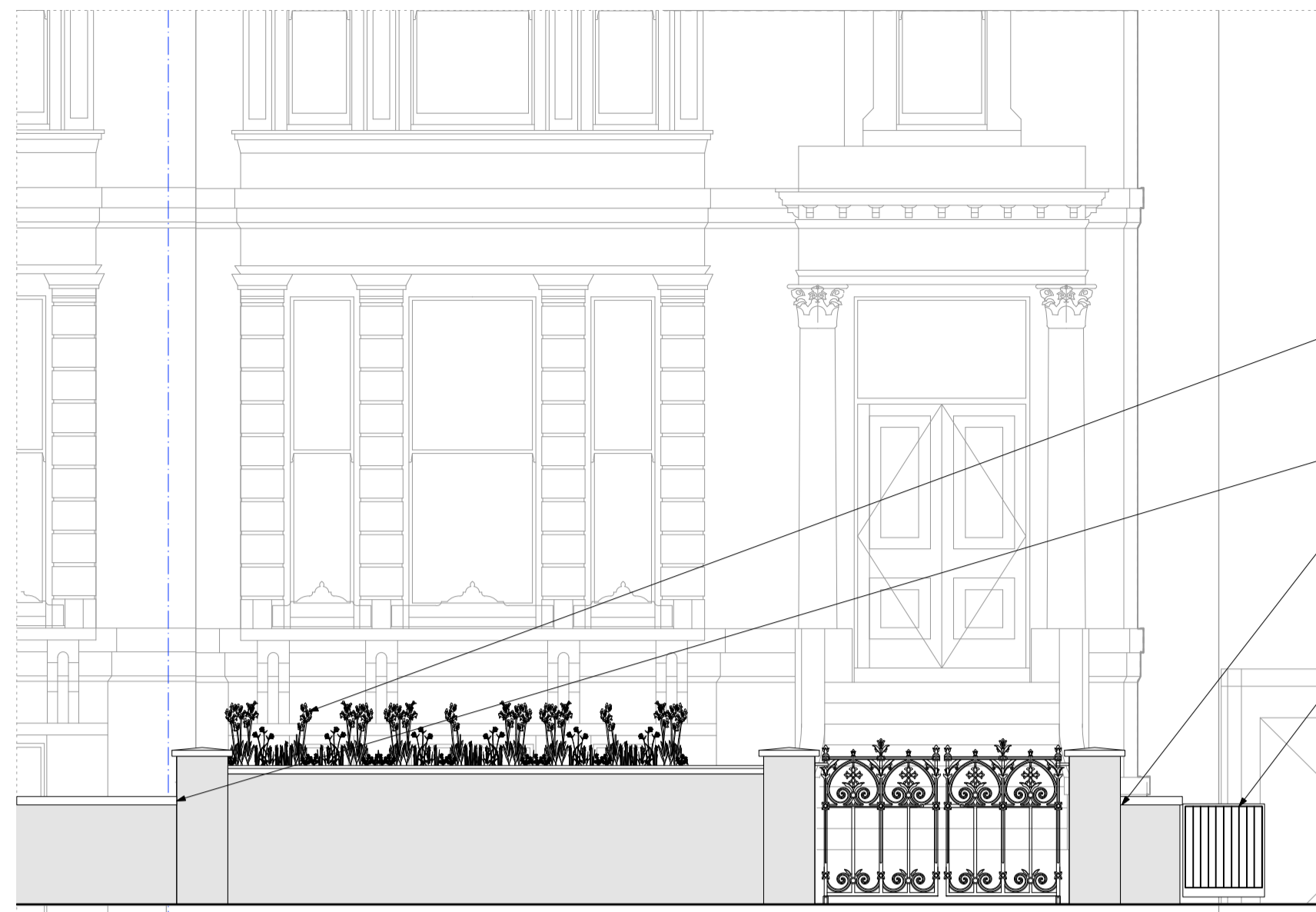
revision:	
* Planning application	09.12.13
A Non Material Amendment	07.07.14
B Reissued for NM Amendment	24.10.14



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A : 8a Baynes Mews, London NW3 5BH
 T : 0207 431 4500
 E : studio@squarefeetarchitects.co.uk
 W : www.squarefeetarchitects.co.uk

drawing title: PROPOSED REAR ELEVATION	
client: Reedminster Ltd.	
project: 16 Greville Road, NW6 5JA	
date: December 2013	scale: 1:100 @ A3
drawing number: 1324-L-030	revision: B



Front Elevation
1:50 @ A1

Jesmonite coping stones from Stevensons of Norwich. To be painted finished in white masonry paint.

New piers in reclaimed yellow London stock brickwork to match existing wall.

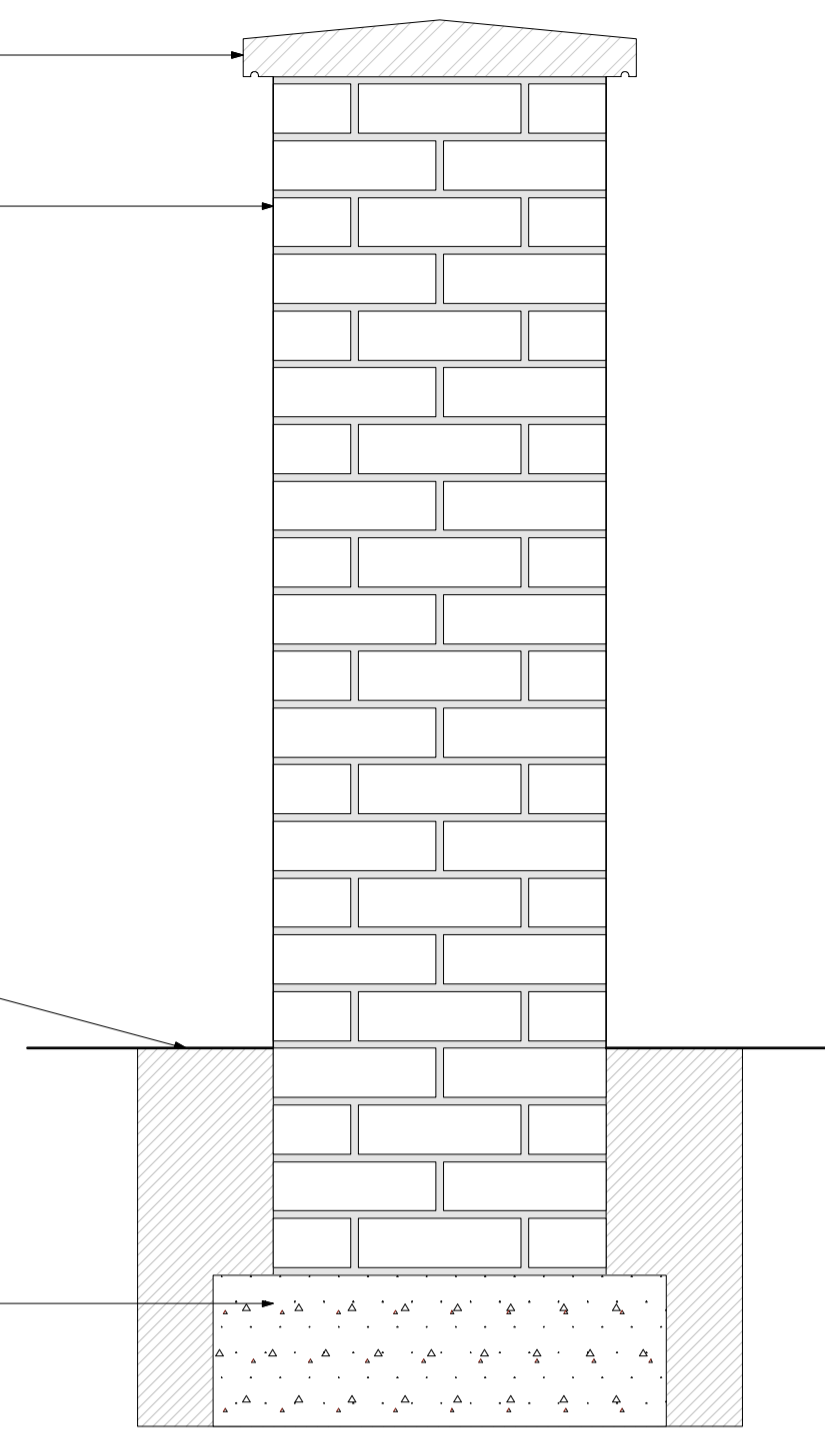
Green roof over new bin store visible behind wall. Refer to separate details of bin store (as required by condition 10 of planning permission 2014/0219/P)

Existing brickwork wall and concrete coping to be cut back to suit position of new brick piers. New brickwork to be toothed into old.

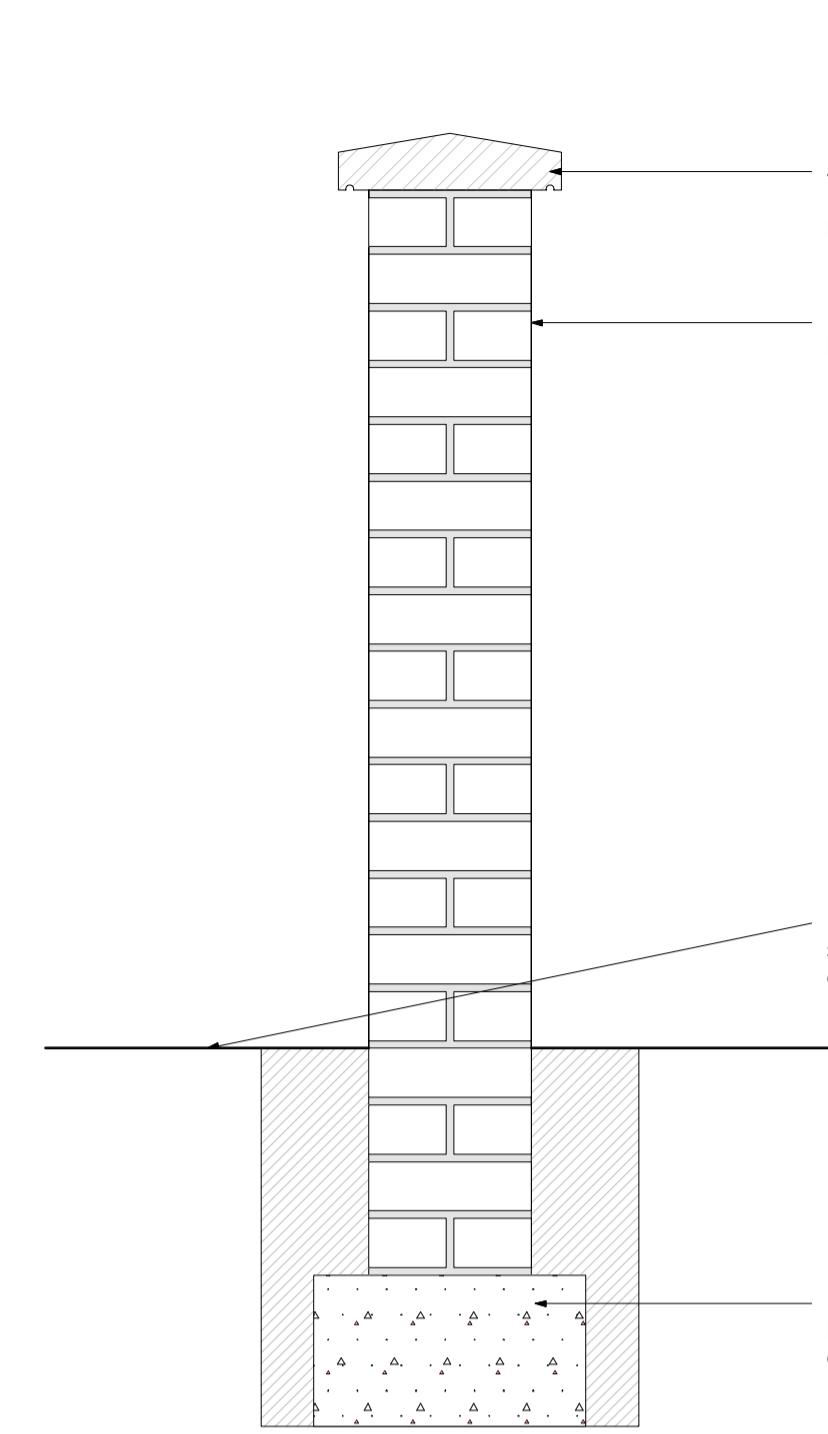
Retain existing gate to neighbouring property.

Make good / reinstate existing pavement surface (concrete paviors) following construction of new wall & piers.

New concrete footings as required. Details to be confirmed on site following removal of existing wall.



Section A



Section B

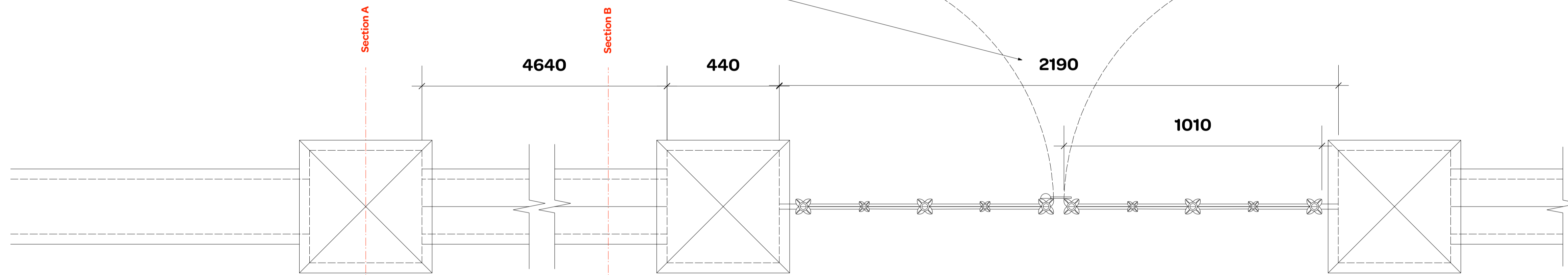
Jesmonite coping stones from Stevensons of Norwich. To be painted finished in white masonry paint.

New wall in reclaimed yellow London stock brickwork to match existing wall.

Make good / reinstate existing pavement surface (concrete paviors) following construction of new wall & piers

New concrete footings as required. Details to be confirmed on site following removal of existing wall.

Dimensions to be checked on site. New gate to be centred on entrance steps and portico of new building.

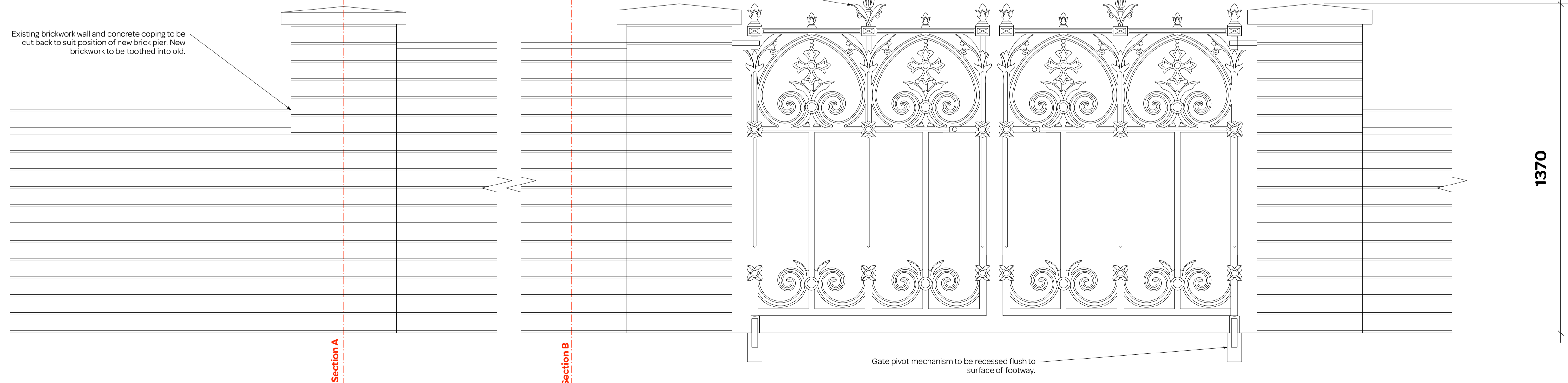


Plan of Boundary Wall
1:10 @ A1

Elevation of Boundary Wall
1:10 @ A1

Decorative ironwork gates to period detail by specialist fabricator The Victorian Emporium. To be painted finished in three coats black exterior gloss.

Proposed new gates



Existing brickwork wall and concrete coping to be cut back to suit position of new brick pier. New brickwork to be toothed into old.

Gate pivot mechanism to be recessed flush to surface of footway.

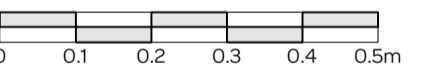
notes:

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TENDER



revision:

A - 02.07.2014 - New wall & pier finish changed to brick.
* - 21.05.2014



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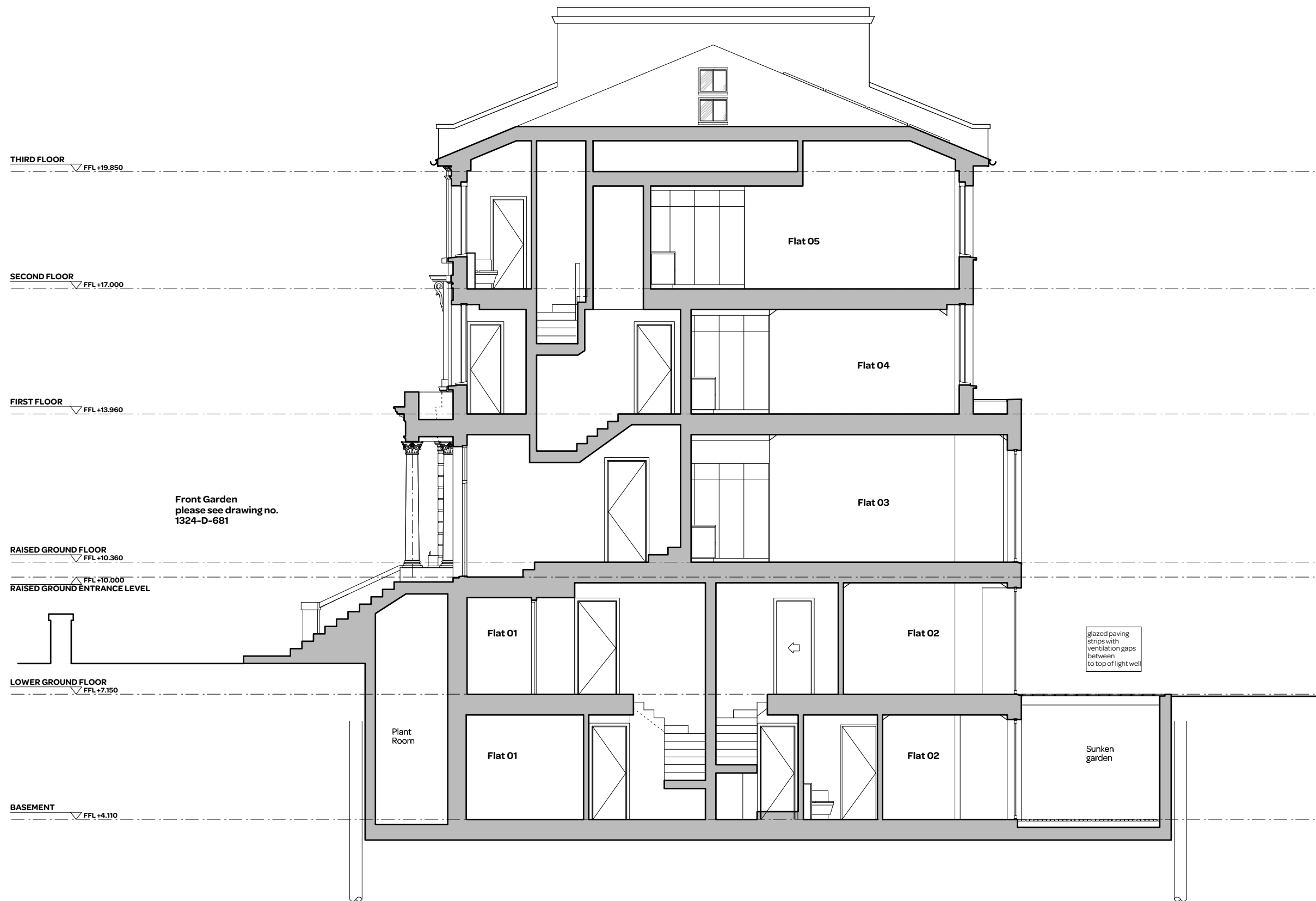
drawing title:
Boundary wall and gate details

client:
Reedminster Ltd.

project:
16 Greville Road, London NW6 5JA

date: May 2014 scale: 1:10 @ A1
1:20 @ A3

drawing number: **1324 D 680** revision: **A**



notes:

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revision:

* Planning application	09.12.13
A Non Material Amendment	07.07.14
B Reissued for NM Amendment	24.10.14

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drawing title:
PROPOSED N-S SECTION

client:
 Reedminster Ltd.

project:
16 Greville Road, NW6 5JA

date: December 2013	scale: 1:100 @ A3
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drawing number: 1324-L-033	revision: B
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notes:

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revision:	
* Planning application	09.12.13
A Non Material Amendment	07.07.14
B Reissued for NM Amendment	24.10.14

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A : 8a Baynes Mews, London NW3 5BH
 T : 0207 431 4500
 E : studio@squarefeetarchitects.co.uk
 W : www.squarefeetarchitects.co.uk

drawing title:
PROPOSED E-W SECTION

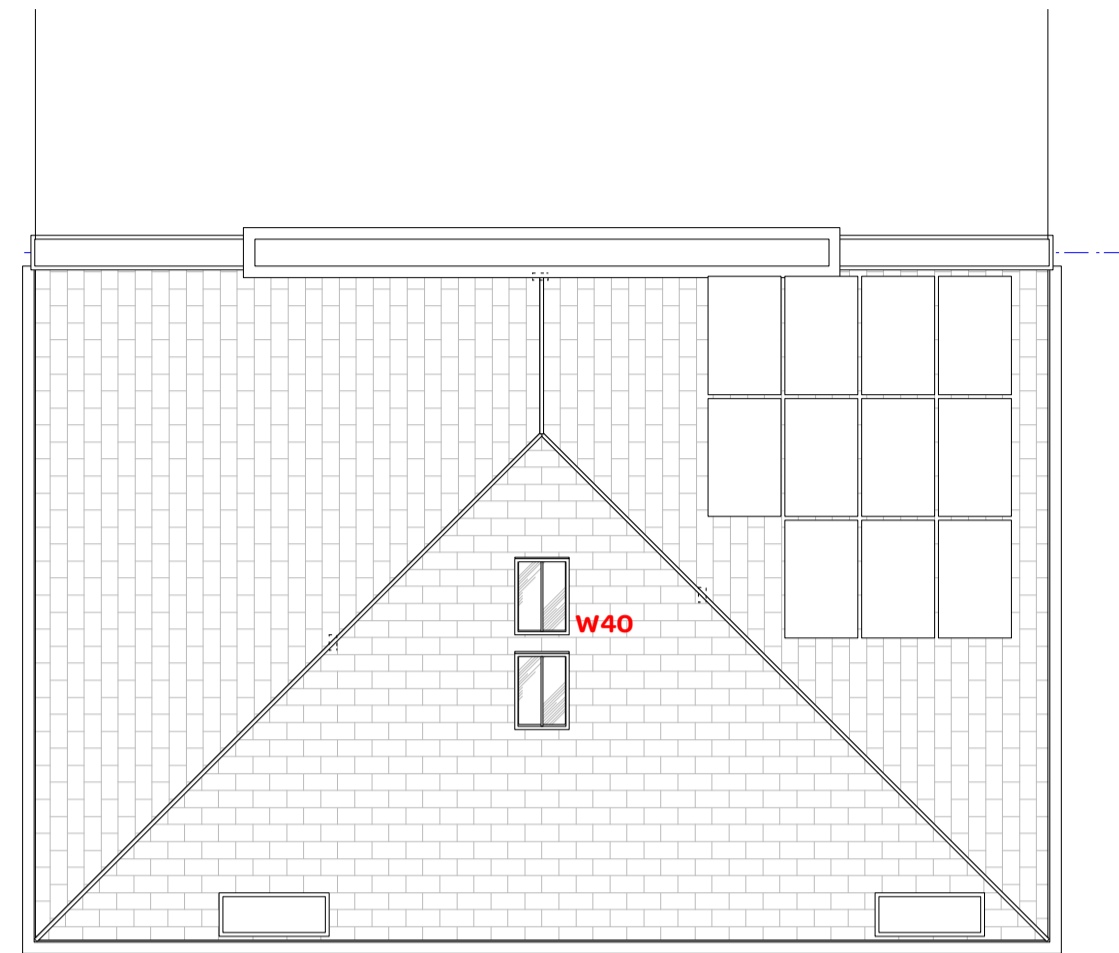
client:
 Reedminster Ltd.

project:
16 Greville Road, NW6 5JA

date: December 2013	scale: 1:100 @ A3
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drawing number: 1324-L-034	revision: B
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- Basement Floor D01, D02, D10, D11
- Lower Ground Floor W01, W02, W03, W04, W05
D20, D30, D33, D34, D41
- Raised Ground Floor W10, W11, W12, W13, W14, W15, W16
D40
- First Floor W20, W21, W22, W23, W24, W25, W26, W27, W28
- Second Floor W30, W31, W32, W33, W34, W35, W36, W37
V01
- Third Floor W40



PROPOSED ROOF PLAN
REFER TO 1324-L-027



PROPOSED FRONT ELEVATION
REFER TO 1324-L-028



PROPOSED SIDE ELEVATION
REFER TO 1324-L-029



PROPOSED REAR ELEVATION
REFER TO 1324-L-030

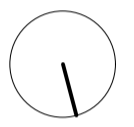
NOTES:

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Tender



revision:

- B 27.10.2014 Scale corrected.
- A 19.05.2014 Scale corrected.
- * 08.05.2014 Issued for Planning amendments (DR)



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drawing title:
DRAWING SHOWING KEY OF PROPOSED WINDOWS AND DOORS

client:
Reedminster Ltd.

project:
16 Greville Road, London NW6 5JA

date: March 2014 scale: 1:100 @ A1

drawing number: 1324-L-050 revision: B

Our ref RTA4014/RT/bag/0001

File ref 1-03

Date 3 November 2014

Richard Tant Associates
Consulting Civil & Structural Engineers

56 Lisson Street
London NW1 5DF

T: 020 7724 1002

F: 020 7224 8883

E: info@richardtantassociates.com

Elliot Fidler
Reedminster Limited
5th Floor, Maybrook House
40 Blackfriars Street
Manchester M3 2EG



Dear Mr Fidler,

**16 Greville Road
Structural Appointment**

Thank you for instructing us to act as your Consulting Structural Engineers for this proposed redevelopment in accordance with the terms and conditions set out in my letter to you dated 29 July 2014.

I confirm our appointment includes the necessary allowance for site visits as they are required.

Our design will be checked and approved by a building control body.

I confirm I will be leading the team and will be assisted by Mike Webster who is a chartered Structural Engineer.

We trust the above is clear and acceptable to you, if you have any questions please contact me to discuss.

Yours sincerely

Richard Tant
BEng(Hons) CEng MStructE