

All dimensions shall be verified on site before proceeding with the work.
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Party Wall Act 1996:
Note: If the project progresses onto site without the involvement of Square Feet Architects the Client involvement of Square Feet Architects the Client must seek advice prior to commencement of the planned works as detailed on the drawings to establish whether the works fall within the scope of the Act which required adjoining port yowners to be served with a statutory notice.

C.D.M. Regulations 2007:
These drawings have been produced for the purpose of applying for Planning and Building to purpose of applying for Planning and Building to the steep of the purpose of applying for Planning and Building to steep the purpose of the purpose of the steep of the purpose of the steep of the purpose o

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Planning application 09.12.13

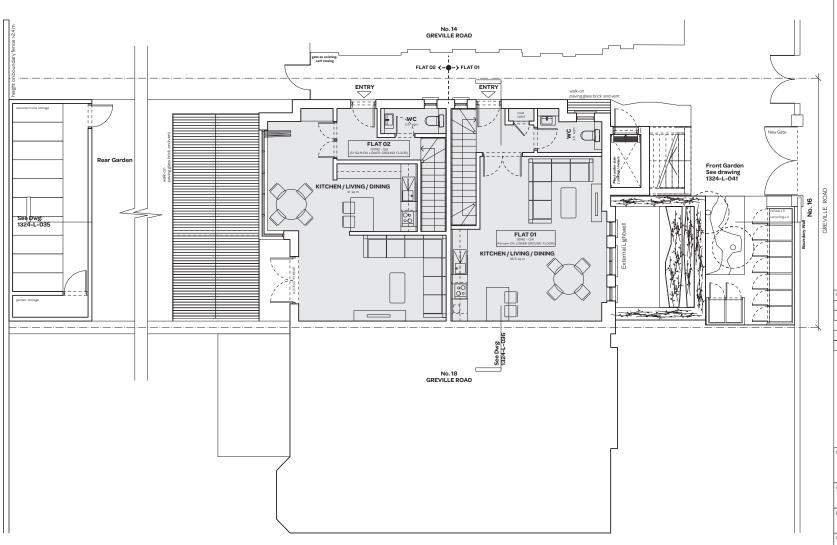
SQUARE FEET ARCHITECTS

- A: 8a Baynes Mews, London NW3 5BH
- T: 0207 431 4500
- E : studio@squarefeetarchitects.co.uk
  W: www.squarefeetarchitects.co.uk

# PROPOSED BASEMENT FLOOR

Reedminster Ltd.

date:	scale:
December 2013	1:100 @ A3
drawing number:	revision:
1324-L-021	*



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black lines proposed

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09.12.13

SQUARE FEET ARCHITECTS

- A: 8a Baynes Mews, London NW3 5BH T: 0207 431 4500

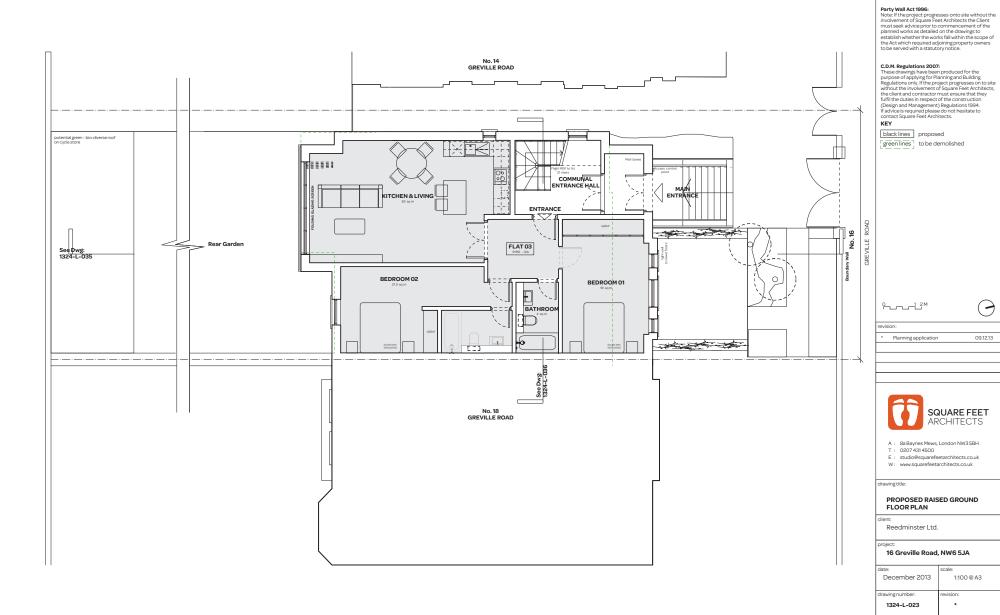
- E : studio@squarefeetarchitects.co.uk W: www.squarefeetarchitects.co.uk

drawing title:

## PROPOSED LOWER GROUND FLOOR PLAN

Reedminster Ltd.

date:	scale:
December 2013	1:100 @ A3
drawing number:	revision:
1324-L-022	*



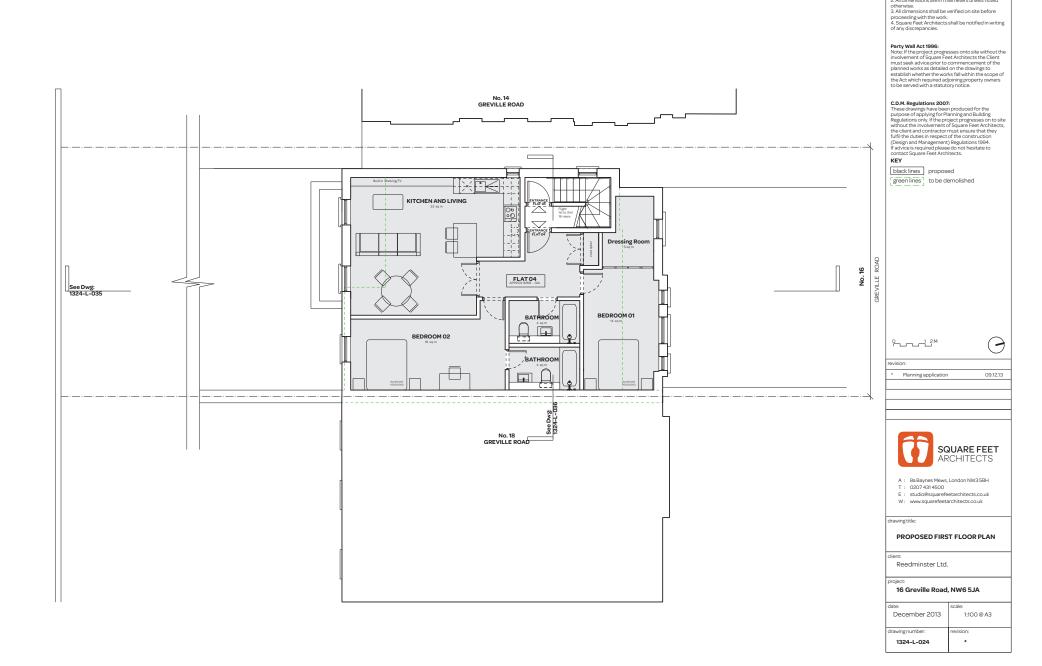
General notes:

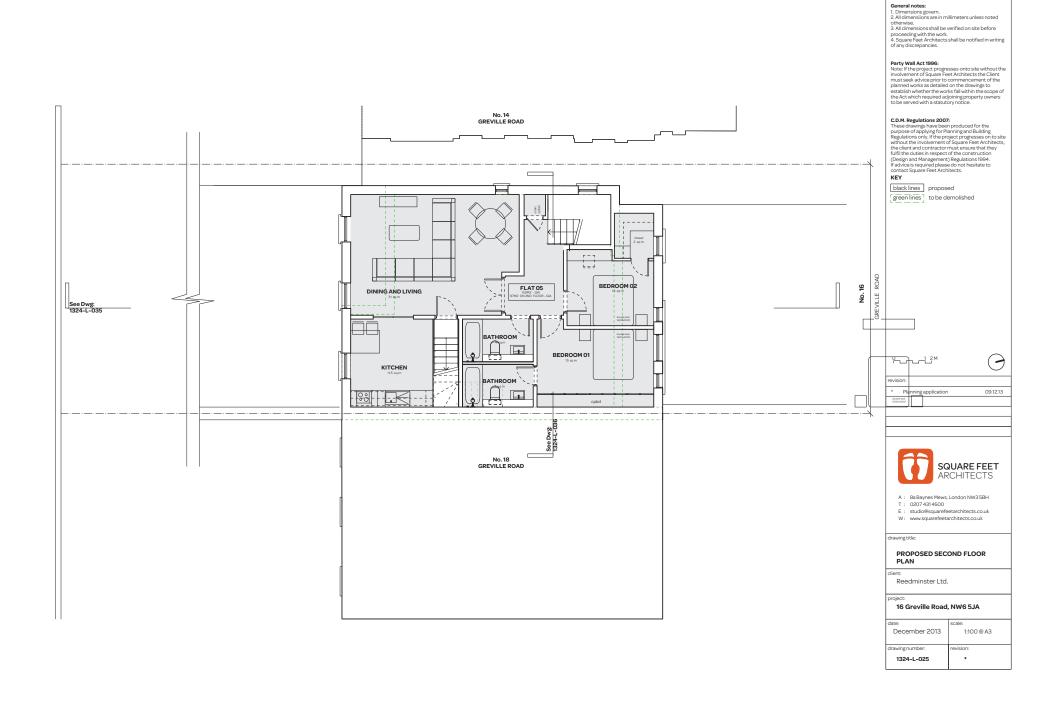
1. Dimensions govern.

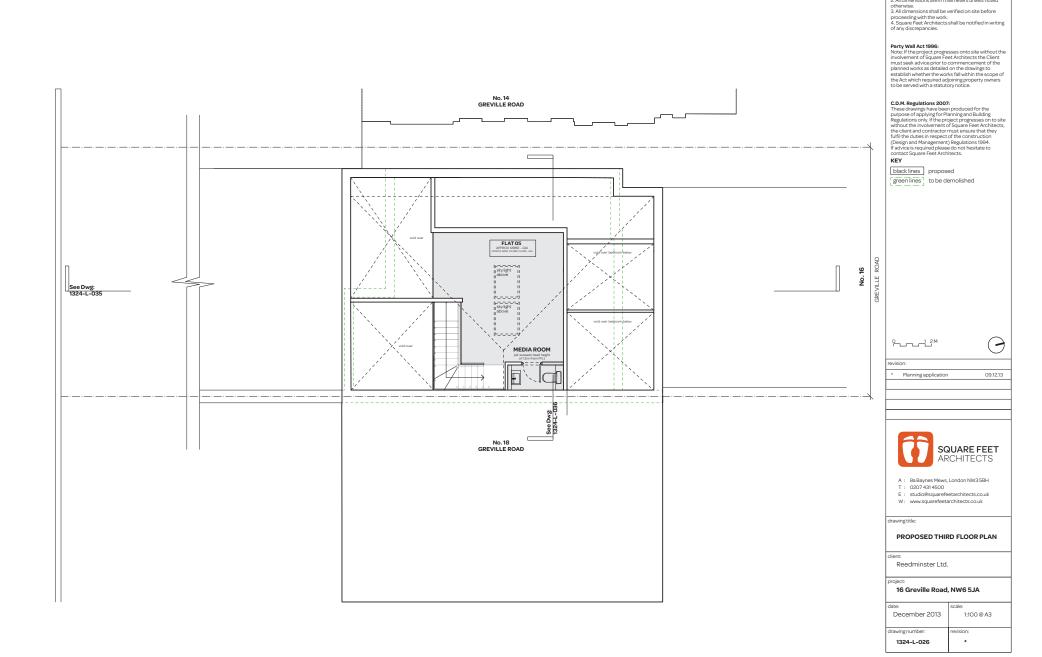
2. All dimensions are in millimeters unless noted All dimensions shall be verified on site before proceeding with the work.
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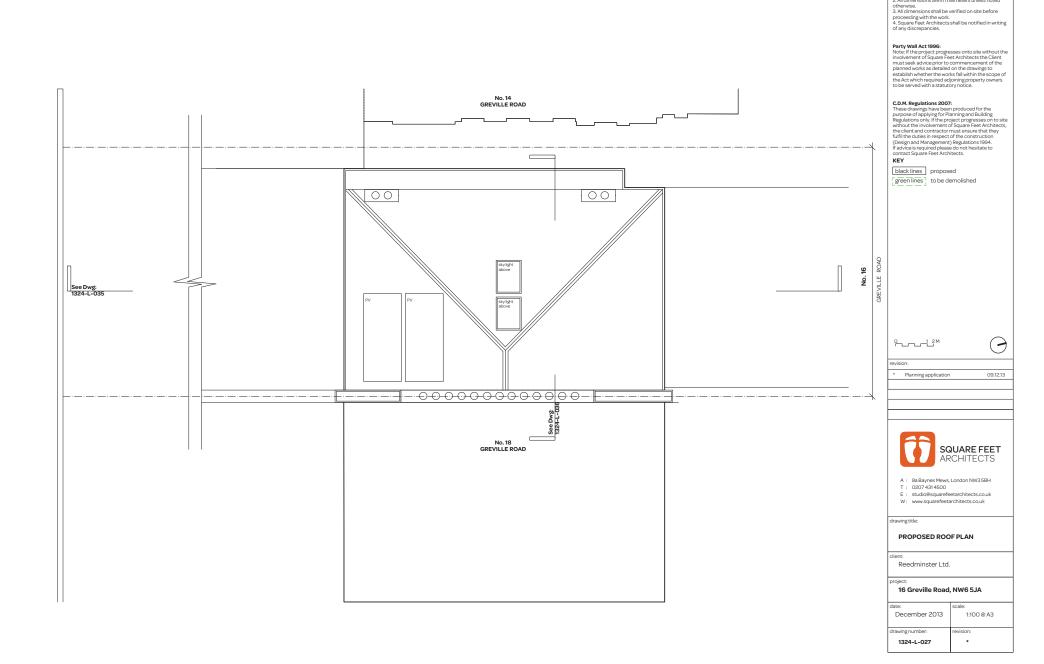
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09.12.13











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Planning application 09.12.13



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drawing title:

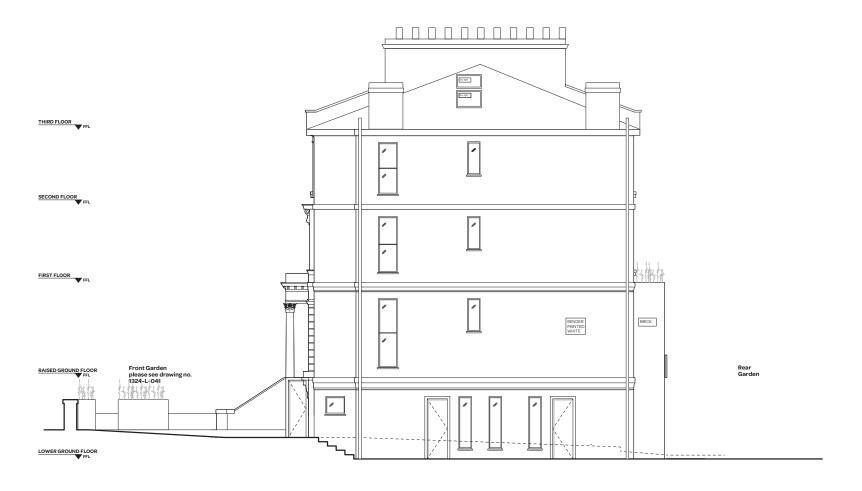
### PROPOSED FRONT ELEVATION

Reedminster Ltd.

16 Greville Road, NW6 5JA

scale:
1:100 @ A3

drawing number: 1324-L-028



BASEMENT

General notes:

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2. All dimensions are in millimeters unless noted

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## KEY

black lines proposed

Planning application 09.12.13



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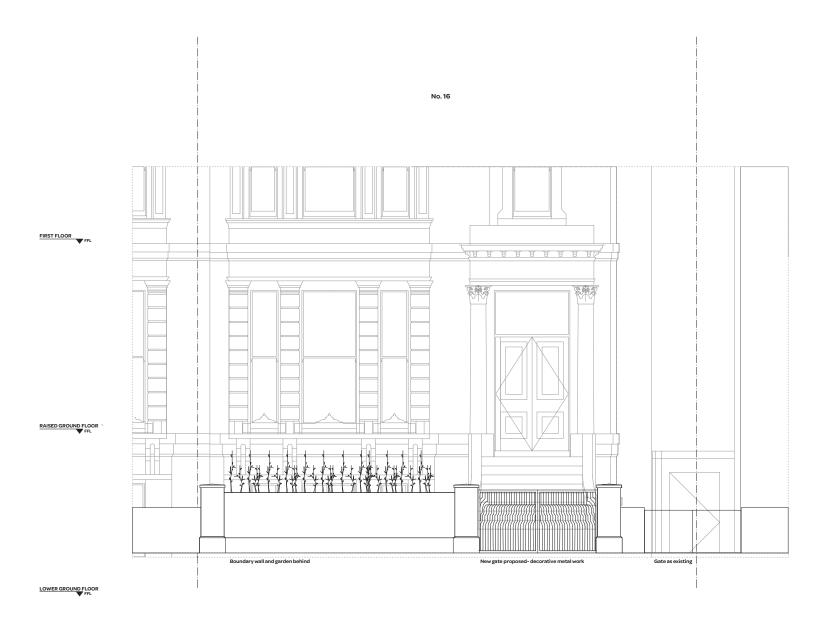
drawing title:

## PROPOSED SIDE ELEVATION

Reedminster Ltd.

date:	scale:
December 2013	1:100 @ A3
drawing number:	revision:
1324-L-029	





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## KEY

black lines proposed



Planning application 09.12.13

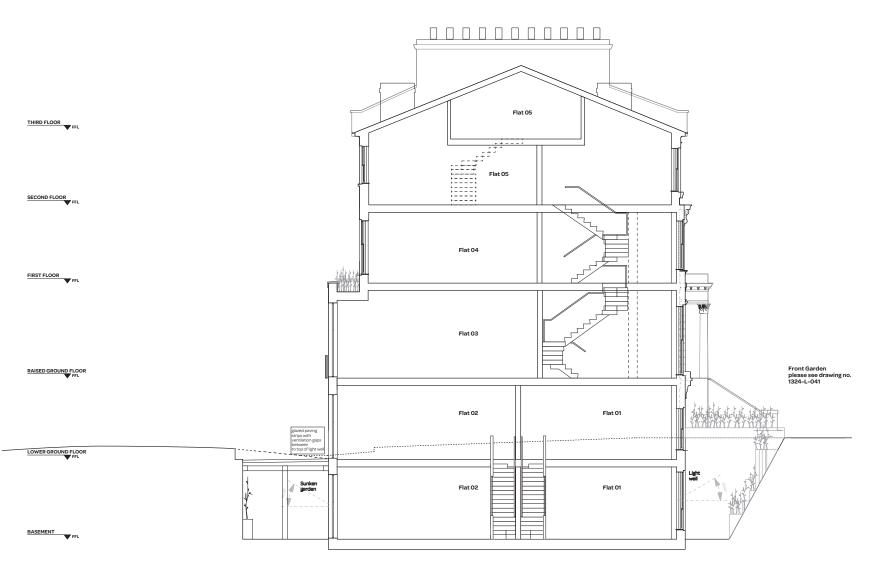


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drawing title:

# PROPOSED FRONT -BOUNDARY TREATMENT

Reedminster Ltd.



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KEY

black lines proposed

revision

Planning application 09.12.13

SQUARE FEET ARCHITECTS

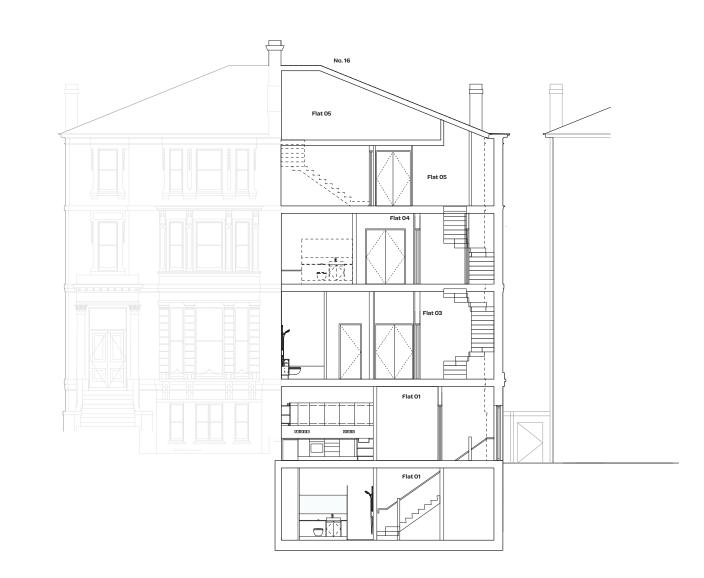
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drawing title:

## PROPOSED N-S SECTION

Reedminster Ltd.

date:	scale:
December 2013	1:100 @ A3
drawing number:	revision:
1324-L-033	*



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KEY

black lines proposed

revision:

Planning application 09.12.13

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drawing title:

## PROPOSED E-W SECTION

Reedminster Ltd.

16 Greville Road, NW6 5JA

1324-L-034	*
drawing number:	revision:
December 2013	1:100 @ A3
date:	scale:

LOWER GROUND FLOOR

RAISED GROUND FLOOR

THIRD FLOOR FFL

SECOND FLOOR FFL

FIRST FLOOR FFL

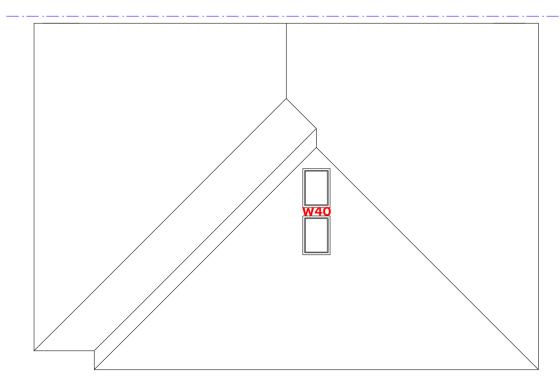
BASEMENT FFL

D01, D02, D10, D11 Lower Ground Floor W01, W02, W03, W04, W05 D20, D30, D33, D34, D41

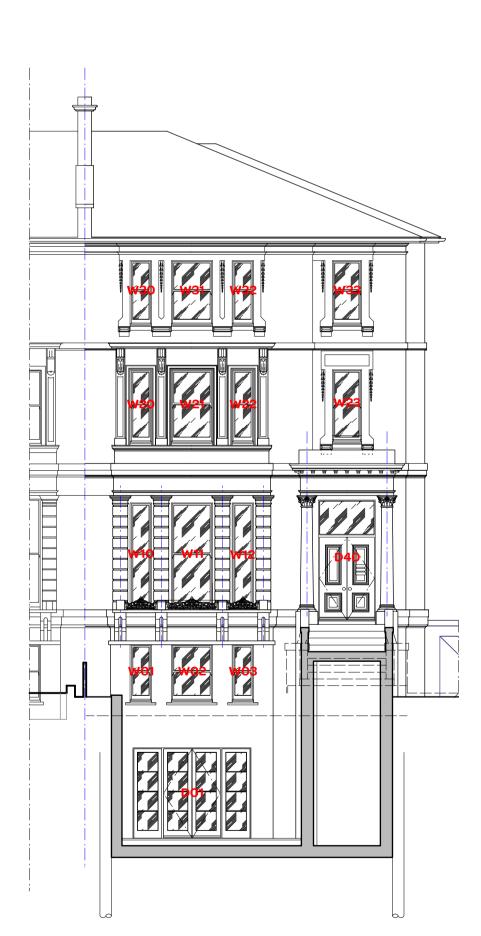
Raised Ground Floor W10, W11, W12, W13, W14, W15, W16

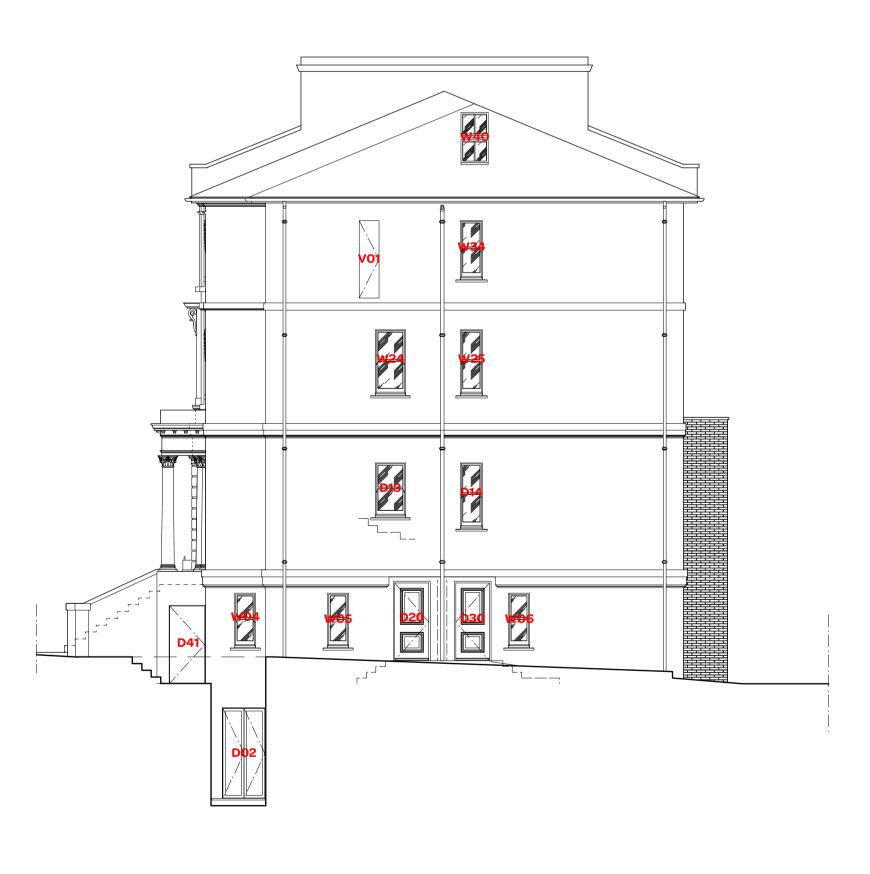
W20, W21, W22, W23, W24, W25, W26, W27, W28 **First Floor Second Floor** W30, W31, W32, W33, W34, W35, W36, W37

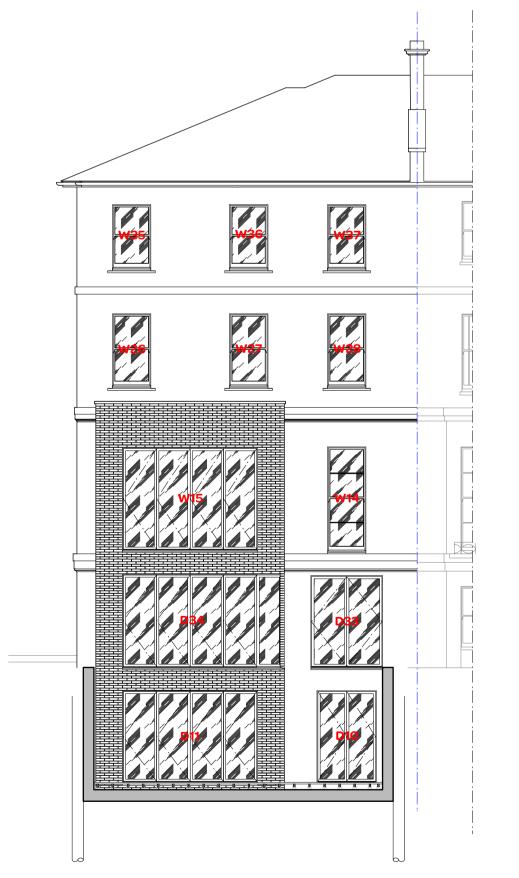
**Third Floor** 



PROPOSED ROOF PLAN REFER TO 1324-L-027







PROPOSED FRONT ELEVATION PROPOSED SIDE ELEVATION PROPOSED REAR ELEVATION REFER TO 1324-L-028 REFER TO 1324-L-029 REFER TO 1324-L-030

General notes:

1. Do not scale drawings. Dimensions govern.

2. All dimensions are in millimeters unless noted 3. All dimensions shall be verified on site before proceeding with the work.

4. Square Feet Architects shall be notified in writing of any discrepancies.

Party Wall Act 1996:
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# C.D.M. Regulations 2007:

C.D.M. Regulations 2007:

These drawings have been produced for the purpose of applying for Planning and Building Regulations only. If the project progresses on to site without the involvement of Square Feet Architects, the client and contractor must ensure that they fulfil the duties in respect of the Construction (Design and Management) Regulations 1994. If advice is required please do not hesitate to contact Square Feet Architects.

# **Tender**

A 19.05.2014 Scale corrected.

\* 08.05.2014 Issued for Planning amendments (DR)



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DRAWING SHOWING KEY OF PROPOSED WINDOWS AND DOORS

Reedminster Ltd.

16 Greville Road, London NW6 5JA

date:	scale:	
March 2014	1:100 @ A1	
drawing number:	revision:	
1324-L-200	А	



Elliot Fidler
Reedminster Ltd
5th Floor
Maybrook House
40 Blackfriars Street
Manchester
M3 2EG

Ref: 130725/C Boydell 22 May 2014

Dear Mr Fidler

# 16 Greville Road, London NW6 5JA

Thank you for instructing us to act as your Consulting Structural Engineers for this proposed redevelopment in accordance with the terms and conditions set out in my letter to Square Feet Architects dated 26<sup>th</sup> February 2014.

As is usual our appointment will be generally in accordance with the latest edition of The Association for Consultancy and Engineering, Conditions of Engagement Agreement 1 Design and schedule of services G(a) for normal services.

I confirm that our appointment includes the necessary allowance to visit the works and monitor that they are being executed in accordance with our drawings and specifications and good engineering practice.

Our design will have been checked and approved by a building control body prior to commencement of the works.

## London

1-5 Offord St London N1 1DH Telephone 020 7700 6666

## Norwich

2 Woolgate Court St Benedicts Street Norwich NR2 4AP Telephone 01603 628 074

## Cambridge

47 – 51 Norfolk Street Cambridge CB1 2LD Telephone 01223 656 058

design@conisbee.co.uk www.conisbee.co.uk

## Directors

Alan Conisbee BA BAI CEng MIStructE Chris Boydell BSc CEng MIStructE MICE Tim Attwood BSc CEng MIStructE Bob Stagg BSc CEng FIStructE MICE Tom Beaven BEng (Hons) CEng MIStructE

## Associates

Allan Dunsmore BEng CEng MIStructE MICE
David Richards BEng (Hons) CEng MIStructE ACGI
Gary Johns
Richard Dobson MEng CEng MIStructE
Paul Hartfree HNC (Civils) MCIHT FGS ACIOB
Terry Girdler BSc (Hons) Eng MSc CEng FICE
MIStructE Conservation accredited engineer (CARE)
Ben Heath BEng CEng MIStructE
Keith Hirst BEng CEng MIStructE

Conisbee is a trading name of Alan Conisbee and Associates Limited Registered in England No. 3958459









I confirm that our project team at Conisbee will be lead our Principal Engineer Helen Hawker who is a Chartered Engineer and Member of the Institution of Structural Engineers.

We look forward to working with you.

Constaphen Boy Sell

Yours sincerely,

Chris Boydell For Conisbee