



SCALE BAR ~ Meters

WINDOWS & EXTERIOR DOORS

Grey aluminium frames with thermal break. All to be provided with suitable multi point locking devices complying to insurance industry standards. Easy-clean hinges to be stainless steel types or equal approved with a full opening device where necessary for emergency escape purposes. Glazing to comply with safety glass rules, be double glazed with low-e, anti-glare & Argon fill all incorporated to achieve required U values. Provide the Maximum gap to sealed units possible for frame material selected. Obscured glass to be selected by client from samples to be provided by contractor. Draught stripping to be the best quality fitted into grooves/rebates as applicable. Obtain Clients written Approval for all details, window/door configuration etc prior to placing any orders. Max 'U' value of 1.8 for all windows & external doors.

GLAZING ~ SAFETY

Any glass in a window within 800mm of floor level or 1500 if in a door or within 300mm each side of a door to be Laminated to BS 6206 unless pane of glass is less than 250mm wide & under 0.5sqm in area. Any opening part of a window within 800mm of floor level to be provided with a horizontal guarding rail and vertical balustrade below with maximum 99mm apertures.

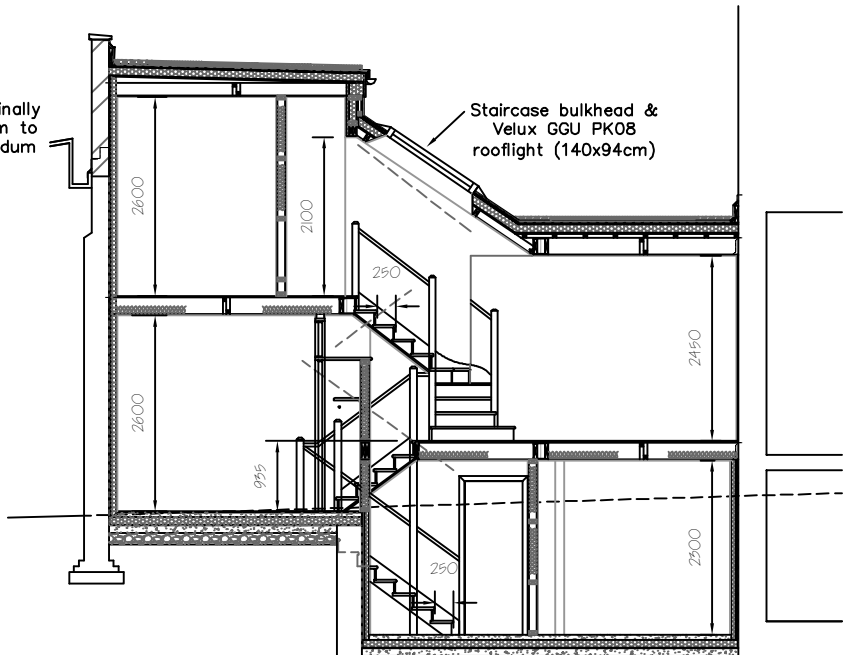
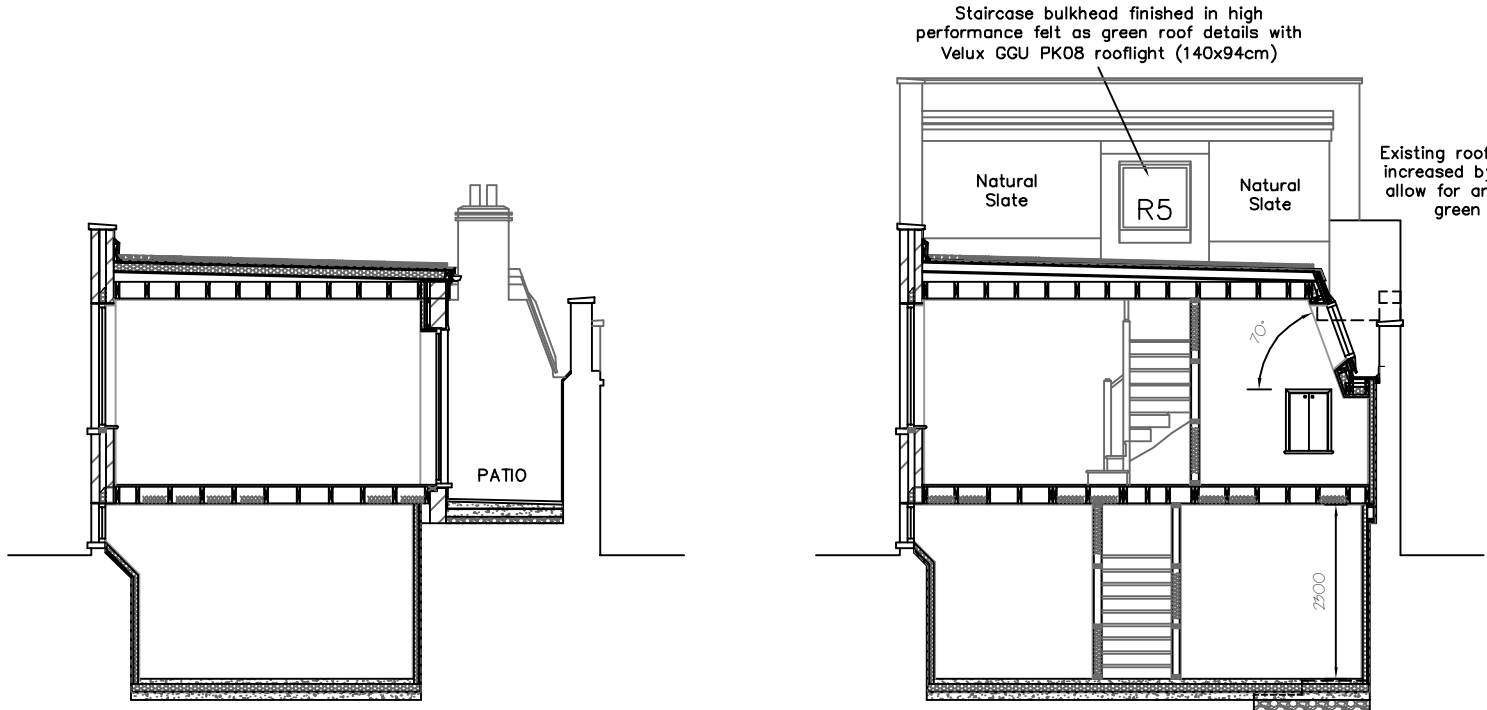
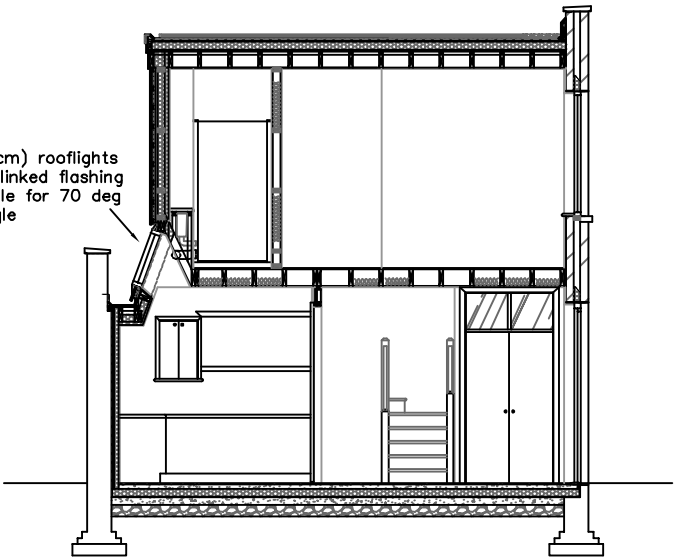
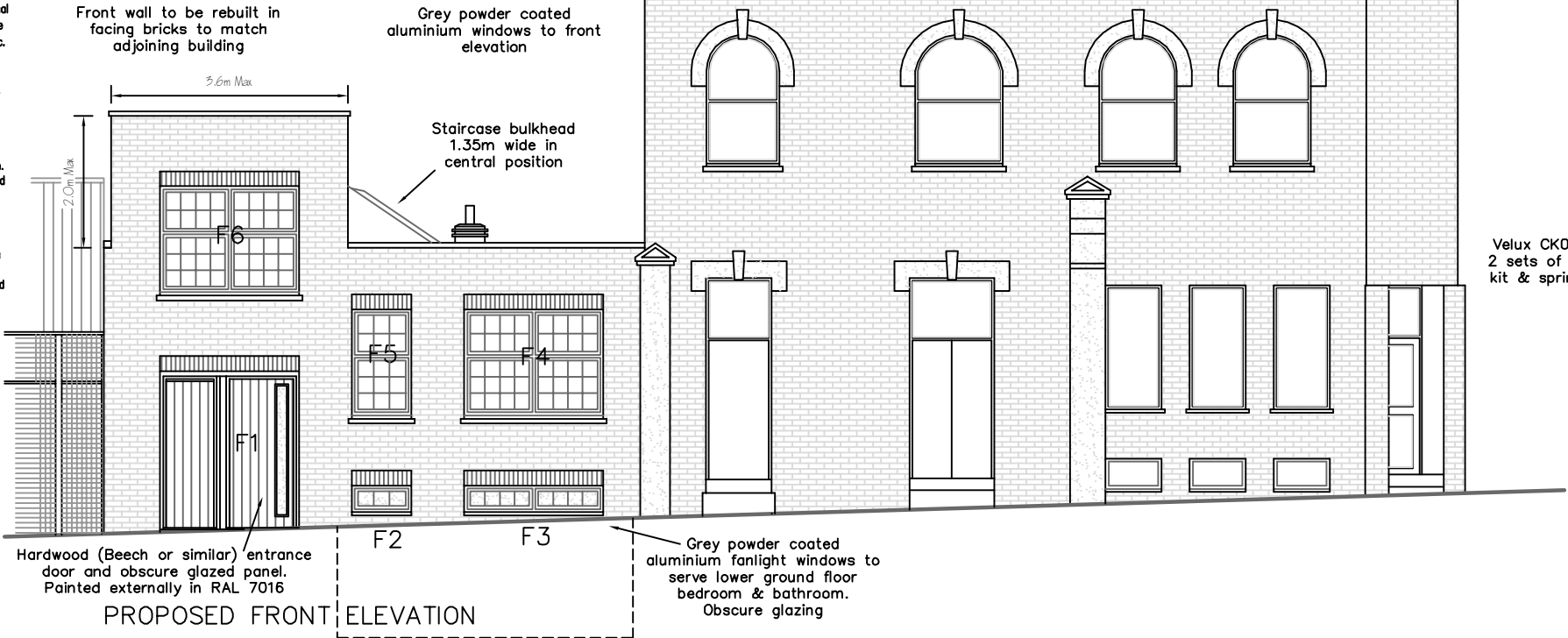
VENTILATION

All habitable rooms to have 1/20th floor area natural ventilation via opening doors or windows to external air with background ventilation of 5000sqmm or 2500sqmm in the case of kitchens, utility rooms, bath or shower rooms. In addition kitchens to have at least a 30L/sec cooker hood ducted to external air or a separate 60L/sec full extract fan. Mechanical Extraction also to be provided as follows: Utility Rooms-30L/sec, Bath & Shower Rooms-15L/sec. Separate WC's to have either a window giving 1/20th floor area & 2500sqmm trickle vent or 6L/sec extract fan. All extract fans to be linked to light switch & with 15 Min overrun unless room has an opening window. A 3 bedroom property of <81sqm requires 50,000sqmm background ventilation ideally 50% on opposing wall facade's. Slimline Mk3 4000sqmm trickle vents provide EQA of 2500sqmm therefore an equivalent of 20 vents are needed. Every window on the front elevation and the front door will provide 9 & rooflight PK08 over stairs will give 4,800sqmm = 27,910sqmm. At the rear 4no Slimline Mk3 can be provided in the patio door frame head and 1no in the bathroom window & the 6no rooflights CK02 each provide 2,800sqmm = 28,550sqmm. Total = 56,460sqmm

EMERGENCY ESCAPE

All habitable rooms to have emergency exits of at least a window having a clear opening area of 0.33sqm & Min 450mm high or wide. The bottom of which should be within 1100mm of floor level. If safety guarding is provided to a window the clear opening area must be measured above the guarding.

Approved additional storey now under construction to 65 Hemstal Road NW6 2AE



~ NOTES ~

All Work to Clients & Local Authority Approval & All Relevant BS's to be complied with. Work Only to Written Dimensions unless directed to scale by Design Team. Report Discrepancy's and Obtain Permission Prior to Proceeding. Contractor Shall be Responsible to Rectify Any Variations carried out without Prior Approval. Any Disturbance to be Made Good to Match Existing or as Directed. Architraves, Cornices, Doors & Skirtings etc to be agreed with client. Services to be provided as Required.

FOUNDATIONS

Mass filled strip footings to dimensions shown using 1:2:4 mix (20N/sqmm) concrete. Sulphate resisting cement where applicable. Foundations to be taken down into virgin ground to at least the depth of Extg or Min 600mm below any tree roots encountered in the excavations whichever is the deeper but do not undermine any adjacent foundations without express permission. 100mm thick Claymester is to be provided to the inside face of all external foundations & to one face of internal foundations that are deeper than 1.5m (Refer to Detail). If at all uncertain consult Local Authority Inspector on site at the earliest opportunity. All foundations must be inspected and approved prior to the placing of any concrete.

FOOTING WALLS

All to be built in common fletton bricks or 7N/sqmm dense concrete blocks in 1:3 cement sand mortar up to DPC level. Sulphate resisting cement only where necessary. All walls to be built on centre of foundations unless otherwise stated. Cavity's to be filled with lean mix concrete to 300 below lowest DPC level. Refer to sub-floor ventilation note as applicable.

PROPOSED SECTION D~D

REV J - Windows set back into reveals by 100mm 06/11/2014
REV I - Window references added 08/07/2014
REV H - Updated to GA for construction purposes 12/03/2014
REV G - Window design to front elevation revised 20/01/2014
REV F - Updated for resubmission of TP App 31/10/2013
REV E - Elevational treatment further revised 07/10/2013
REV D - Scheme redesigned post preapp discussion 30/08/2013
REV C - Scheme redesigned for preapp discussion 08/08/2013
REV B - Gabled roof to extension reinstated 31/07/2013
REV A - Gabled roof to extension replaced with flat roof. Glazing simplified & clarified 23/07/2013
Section C-C added through rear courtyard

REVISIONS DATE

Architectural Design & Planning
32 Grange Road
Plymouth PL7 2HY
t: 01752 341696
m: 07973136876

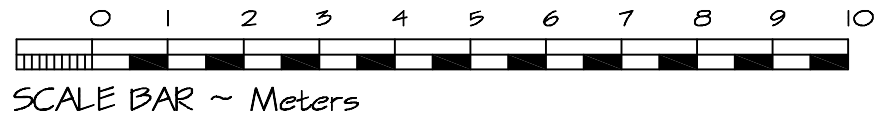
THE DESIGN WORKS
TITLE
PROPOSED FRONT ELEVATION & SECTIONS

ADDRESS
120 KINGS GATE ROAD
LONDON NW6 2AE

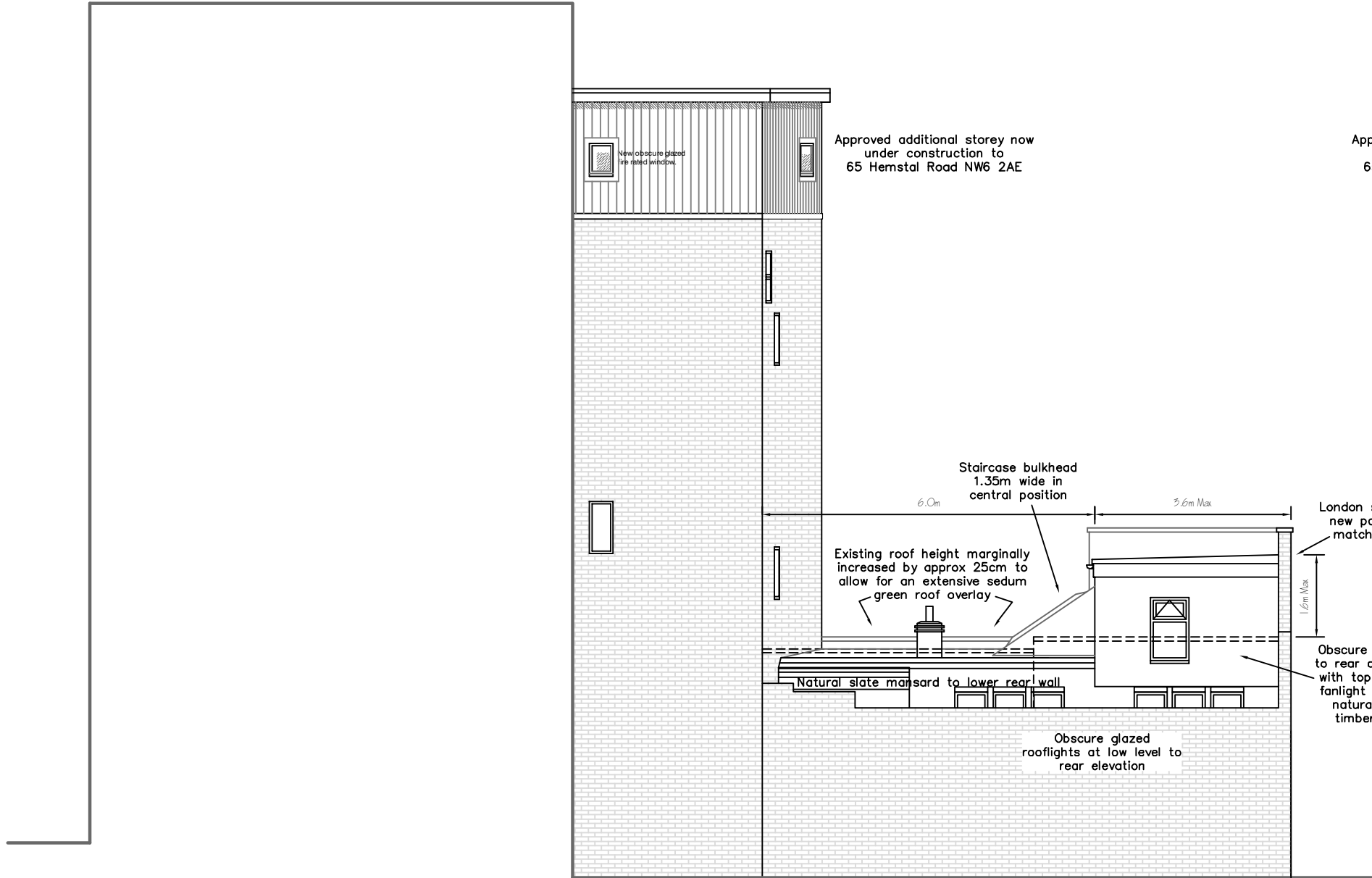
CLIENT
COBSTAR

SCALE
A3 1:100 & 1:50 A1 DATE
MAY 2013

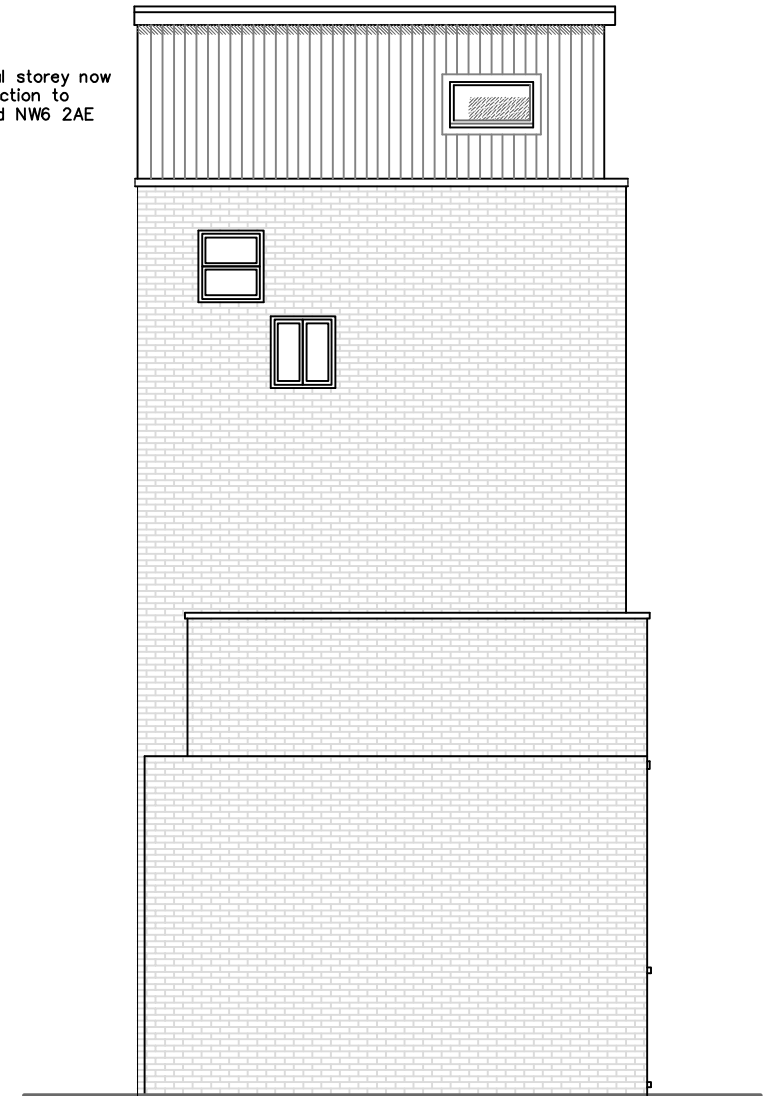
DRAWING No. 130518/04 REV. J



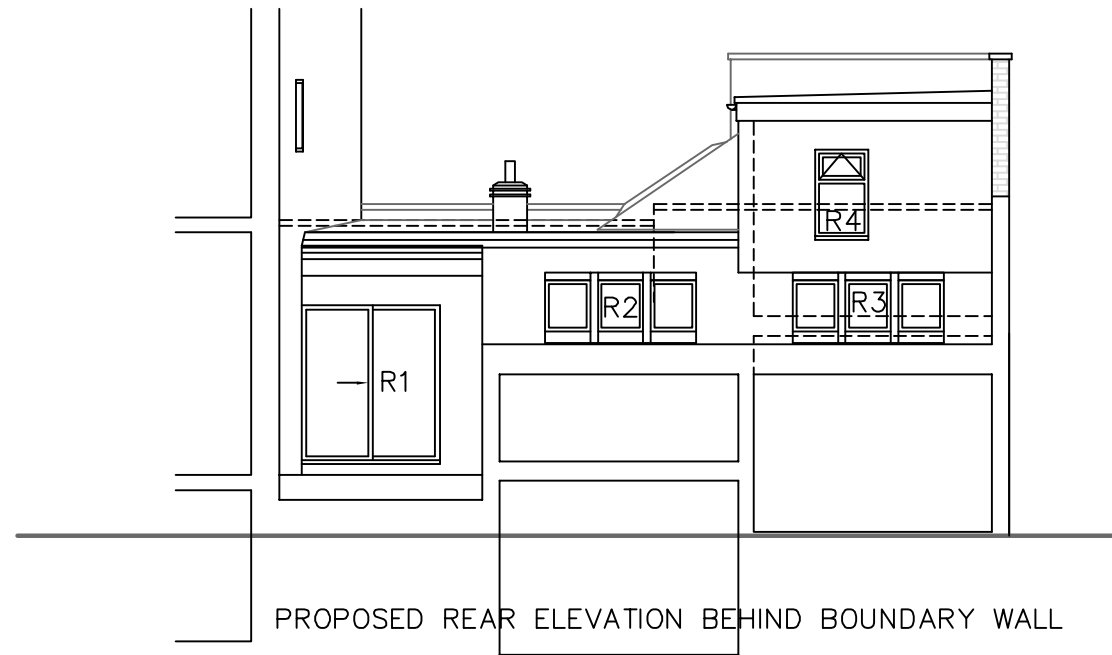
~ NOTES ~



PROPOSED REAR ELEVATION



PROPOSED SIDE ELEVATION



PROPOSED REAR ELEVATION BEHIND BOUNDARY WALL

REV H - Window references added	08/07/2014
REV G - Updated to GA for construction purposes	12/03/2014
REV F - Additional rear elevation behind bound'y wall	28/11/2013
REV E - Updated for resubmission of TP App	31/10/2013
REV D - Scheme redesigned post preapp discussion	30/08/2013
REV C - Scheme redesigned for preapp discussion	08/08/2013
REV B - Gabled roof to extension reinstated	31/07/2013
REV A - Gabled roof to extension replaced with flat roof. Glazing simplified & clarified	23/07/2013
Section C-C added through rear courtyard	

REVISIONS

Architectural Design & Planning
32 Grange Road
Plymouth PL7 2HY
t: 01752 341696
m: 07973136876

THE DESIGN WORKS

TITLE
PROPOSED REAR & SIDE ELEVATIONS

ADDRESS
120 KINGS_GATE ROAD
LONDON NW6 2AE

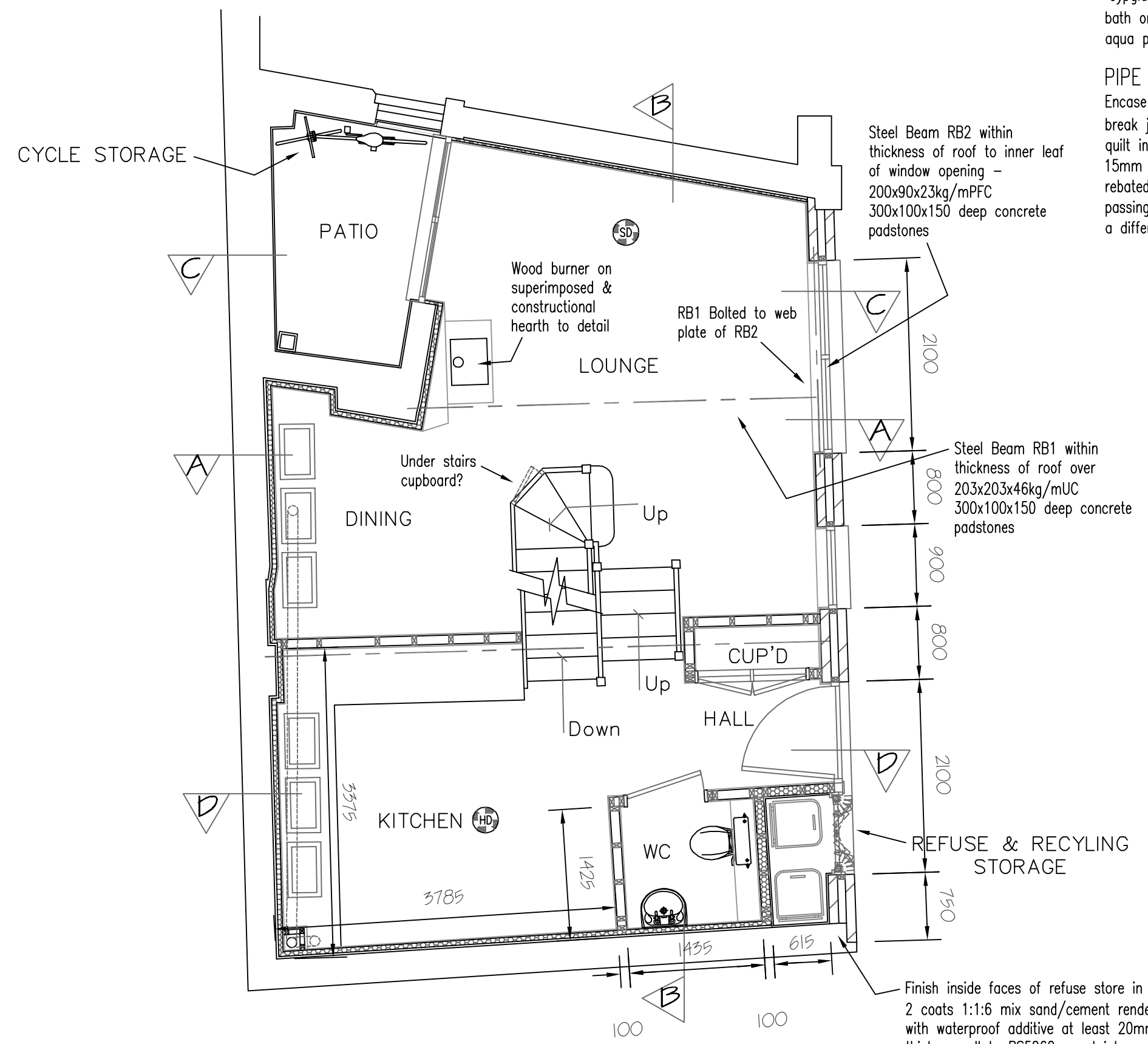
CLIENT
COBSTAR

SCALE
A3 1:100 & 1:50 A1 DATE MAY 2013

DRAWING No. 130518/05 REV. H



SCALE BAR ~ Meters



PROPOSED GROUND FLOOR PLAN

PARTITIONS ~ TIMBER STUD

100x50mm SW studs @ 400c/c. Noggins @ 800c/c. 100x50 base and top plates. Double up joists below partitions unless otherwise specified. 12.5mm plasterboard & 2.5mm skim coat of plaster finish both sides with 80mm 'Gypglas' 1000 sound insulation quilt infill throughout. All studwork within a bath or shower room (or other wet area) to be lined out on wet side with aqua panel or equal approved water resistant cement based board

PIPE & VENT DUCTWORK

Encase all ducts and stack pipes etc in 2 layers 15mm plasterboard fixed to break joint & with plaster skim finish. 80mm 'Gypglas' 1000 sound absorbent quilt infill around pipes etc. 50x50 SW framework. Access panels in 2 layers 15mm Masterboard or similar fire retardent material screw fixed into 25mm rebated frame. Low level to stacks. Intumescent fire collars to all pipes passing through compartment floors into another part of the building used by a different occupant.

Rev D - Bin store door revised to open outwards	06/11/2014
Two pairs of doors each side of opening	
Rev C - Bin store door revised to bi-fold (4no)	05/11/2014
Rev B - Staircase to top floor revised again	09/09/2014
Rev A - Staircase to top floor revised	22/08/2014
REVISIONS	DATE

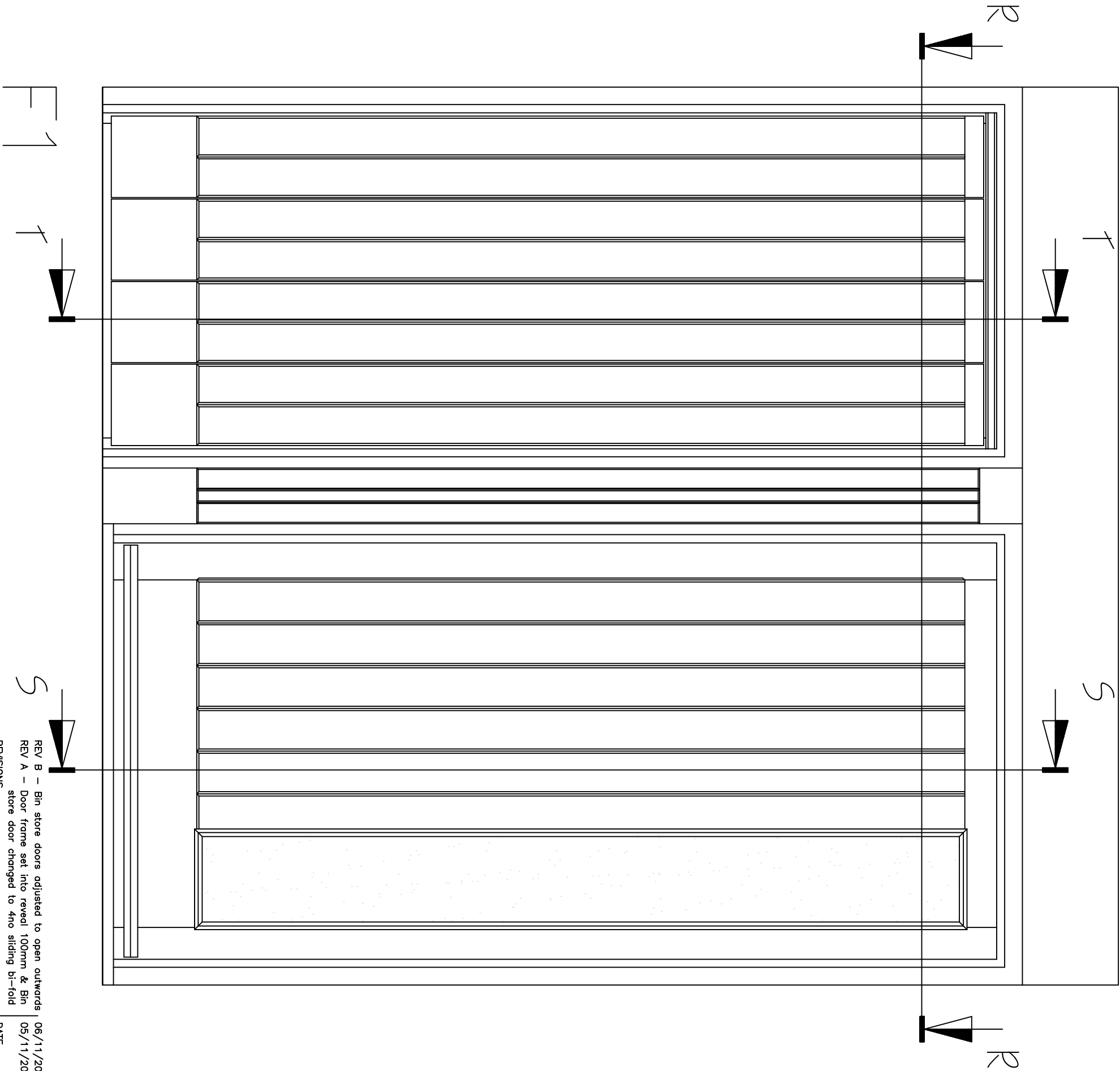
Architectural
Design & Planning

32 Grange Road
Plymouth PL7 2HY

t: 01752 341696
m: 07973136876

THE DESIGN
WORKS

TITLE PROPOSED GROUND FLOOR PLAN	
ADDRESS 120 KINGSGATE ROAD LONDON NW6 2AE	
CLIENT COBSTAR	
SCALE A3 1:50	DATE MARCH 2014
DRAWING No. 130518/CN/02	REV. D



Hardwood front entrance door and frame. Vertical glazed panel to door. Vertically boarded door with T & G Vee joints as indicated.

Sliding folding Bi-Fold hardwood doors to bin store set behind hardwood frame as continuation of entrance door. All powder coated in grey to match windows Ral 7016 (Satin)

REV B - Bin store doors adjusted to open outwards
REV A - Door frame set into reveal 100mm & Bin store door changed to 4no sliding bi-fold

06/11/2014
05/11/2014

REVISIONS

DATE

**Architectural
Design & Planning**
32 Grange Road
Plymouth PL7 2HY
t: 01752 341696
m: 07973136876

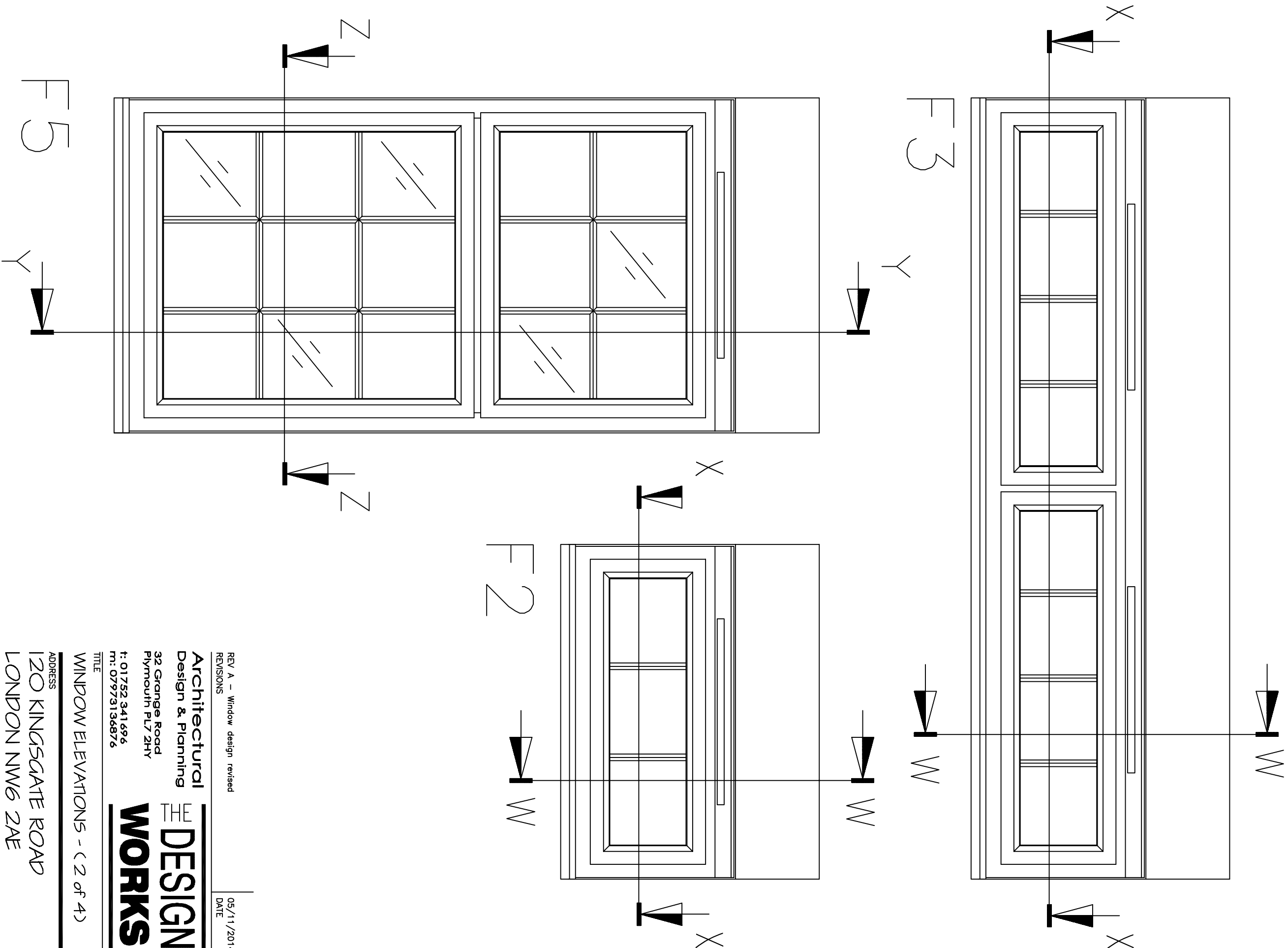
**DESIGN
WORKS**

TITLE
WINDOW ELEVATIONS - (1 of 4)

ADDRESS
120 KINGSGATE ROAD
LONDON NW6 2AE

CLIENT
CORSTAR

SCALE
1:10
A3
DATE
AUGUST 2014
DRAWING No. 130518/PC/01
REV. B



REV A - Window design revised

05/11/2014

REVISIONS

DATE

Architectural
Design & Planning

32 Grange Road
Plymouth PL7 2HY

t: 01752 341 696
m: 07973136876

THE
**DESIGN
WORKS**

TITLE

WINDOW ELEVATIONS - (2 of 4)

ADDRESS

120 KINGSGATE ROAD
LONDON NW6 2AE

CLIENT

COBSTAR

SCALE

1:10

A3

DATE

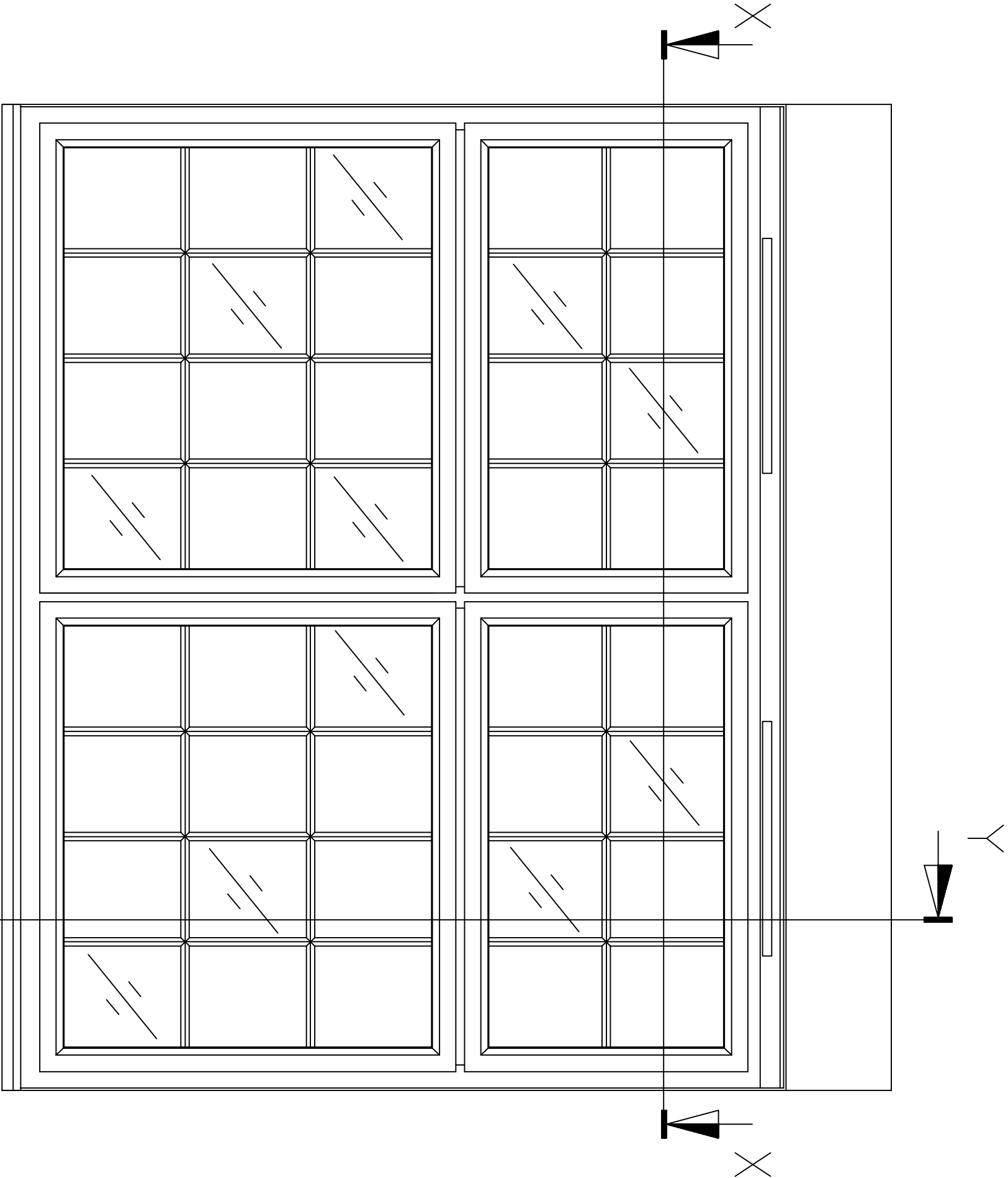
AUGUST 2014

DRAWING No.

130518/PC/02

REV.

A



F4 / F6

SPECIFICATION

1. ALUMINIUM WINDOW SYSTEM:- COMAR 5pi OPEN OUT CASEMENTS & DIRECT FIXED
2. ALUMINIUM FINISH:-
PPC RAL 7016 (GREY) SATIN
4. CLEAR GLAZING :- 24mm DG UNIT WITH 16mm ARGON FILLED CAVITY
SGG SWISS SPACER "V" - GREY
18mm GEORGIAN BARS - PPC RAL 7016 (GREY) SATIN
INTERNAL:- 4mm TOUGHENED SOFT COAT CLEAR GLASS
EXTERNAL:- 4mm TOUGHENED CLEAR GLASS
3. OBSCURE GLAZING :- 24mm DG UNIT WITH 16mm ARGON FILLED CAVITY
SGG SWISS SPACER "V" - GREY
18mm GEORGIAN BARS - PPC RAL 7016 (GREY) SATIN
INTERNAL:- 4mm TOUGHENED SOFT COAT OBSCURE GLASS - PATTERN TBC
EXTERNAL:- 4mm TOUGHENED CLEAR GLASS
4. GLAZING GASKET:-E.P.D.M.
5. CILL:- SUB CILL CARRIER WITH 110mm CILL NOSINGS
6. VENT:- DUCOPLUS 45 GLAZED-IN TRICKLE VENT

	DIM X	DIM Y	FIXED	SASH	OPENING	SASH	GLAZING
F2	900	450	NONE		TOP HUNG		OBSCURE
F3	2100	450	NONE		TOP HUNG x2		OBSCURE
F4	2100	1650	BOTTOM		TOP HUNG x2		CLEAR
F5	900	1650	BOTTOM		TOP HUNG		CLEAR
F6	2100	1650	BOTTOM		TOP HUNG x2		CLEAR
R1	1830	2100	LEFT HAND		SLIDING RH		CLEAR
R4	700	1200	BOTTOM		TOP HUNG		OBSCURE

REV A - Window design revised
REVISIONS

05/11/2014
DATE

**Architectural
Design & Planning**
32 Grange Road
Plymouth PL7 2HY
t: 01752 341696
m: 07973136876

**DESIGN
WORKS**

TITLE
WINDOW ELEVATIONS - (3 of 4)

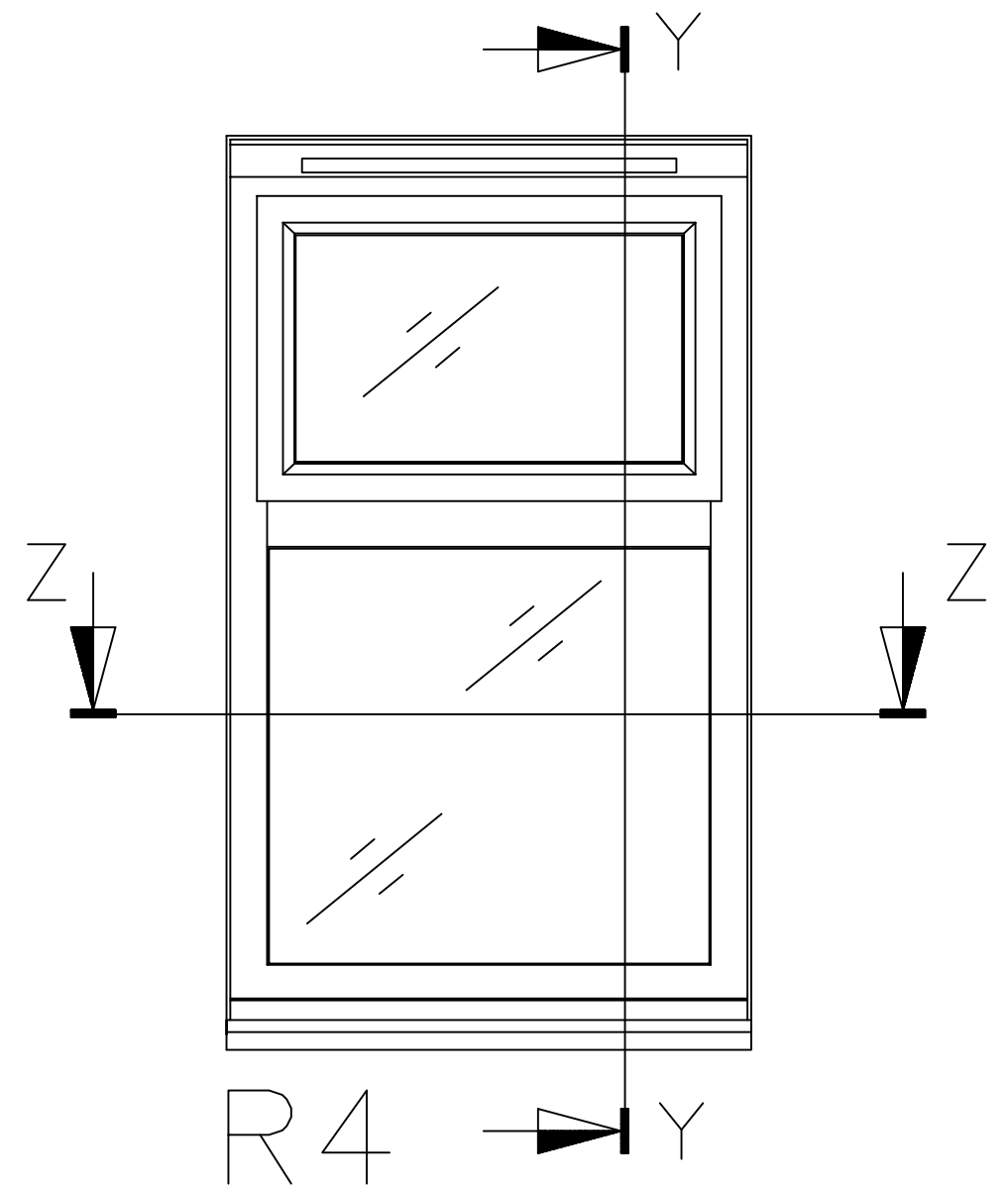
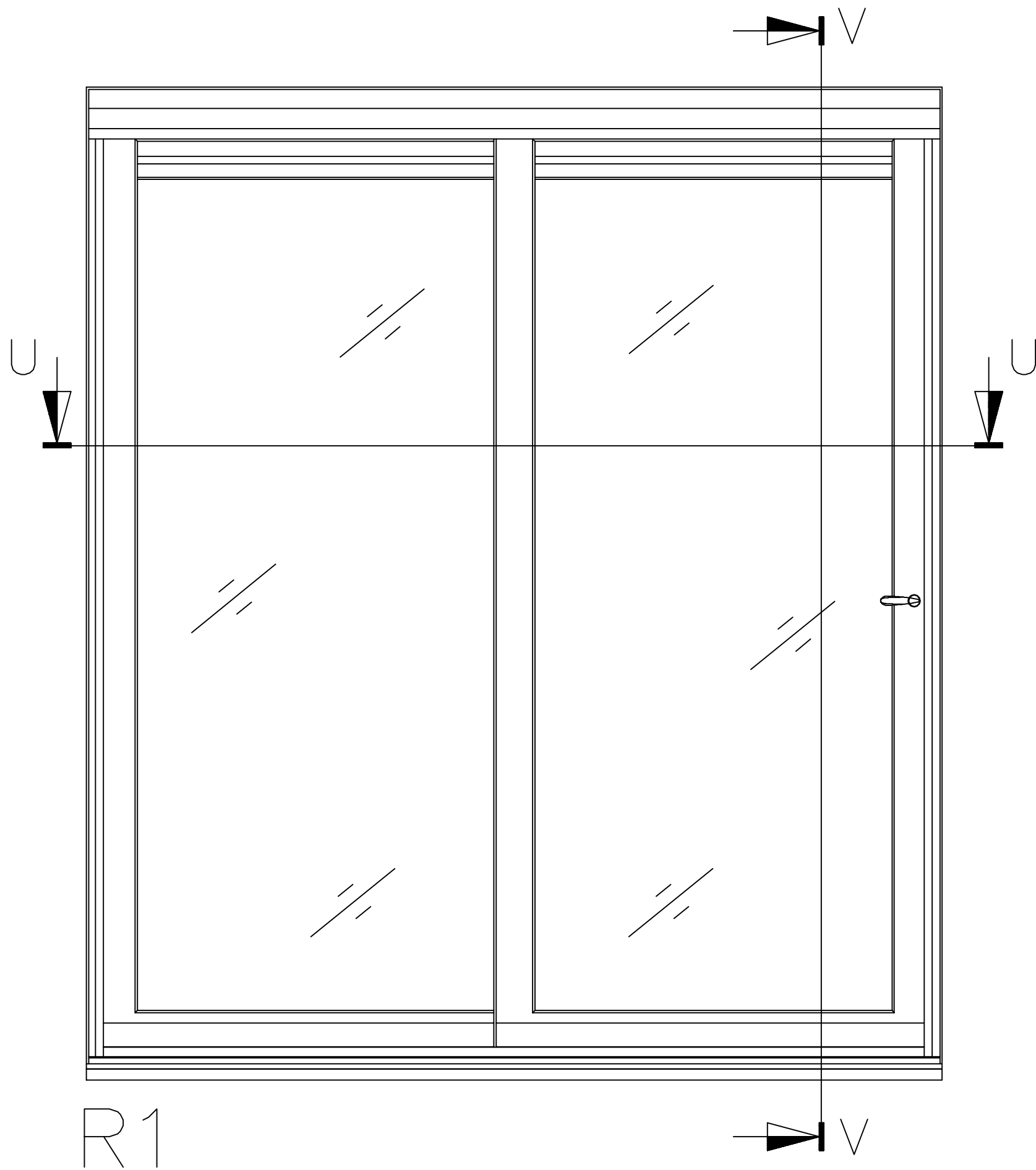
ADDRESS

120 KINGSGATE ROAD
LONDON NW6 2AE

CLIENT
COBSTAR

SCALE 1:10 © A3 DATE AUGUST 2014

DRAWING No. 130518/PC/03 REV. A



REV A - Window design revised
REVISIONS

05/11/2014
DATE

**Architectural
Design & Planning**

32 Grange Road
Plymouth PL7 2HY

t: 01752 341696
m: 07973136876

**THE DESIGN
WORKS**

TITLE

WINDOW ELEVATIONS - (4 of 4)

ADDRESS

120 KINGSGATE ROAD
LONDON NW6 2AE

CLIENT

COBSTAR

SCALE

1:10

© A3

DATE

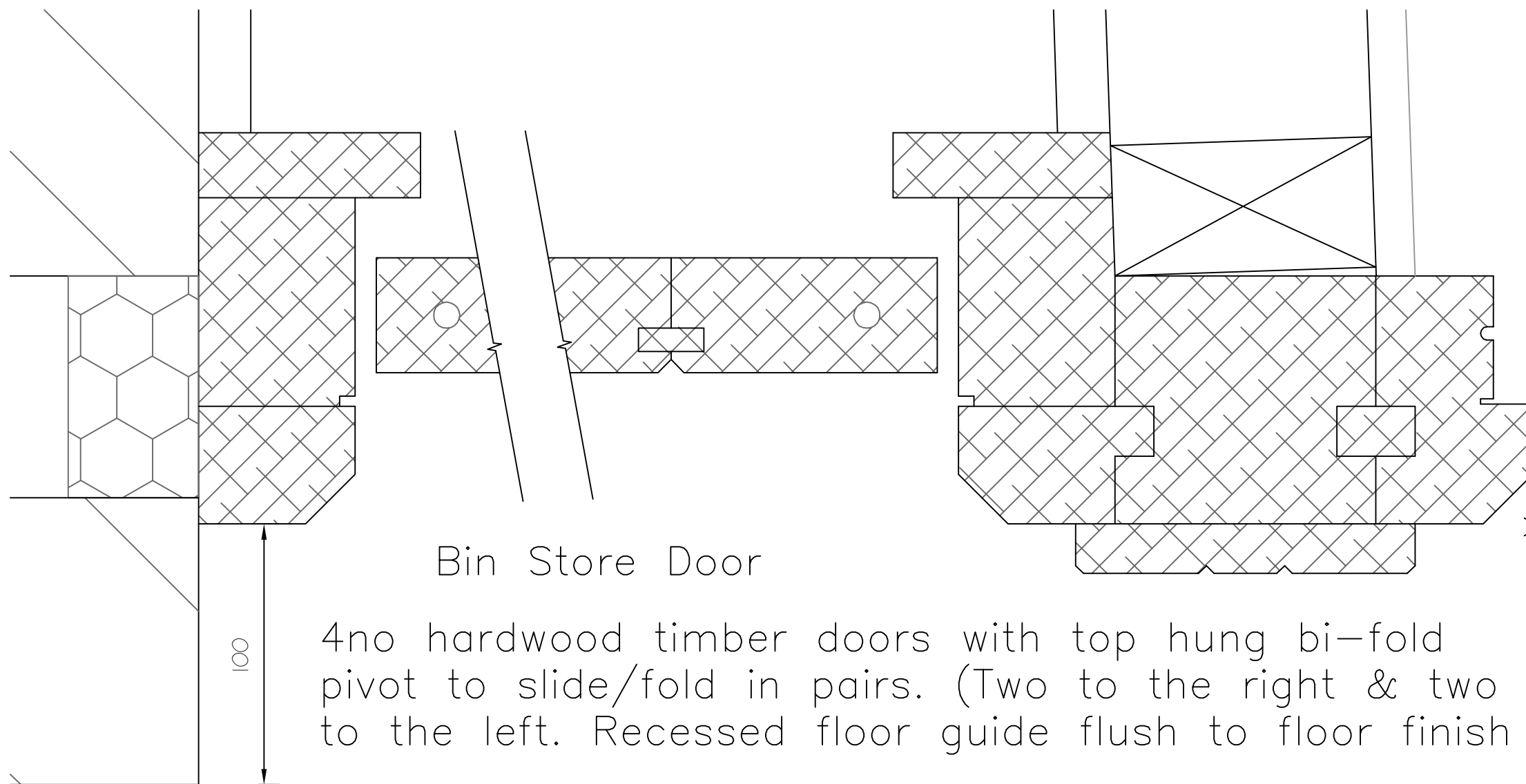
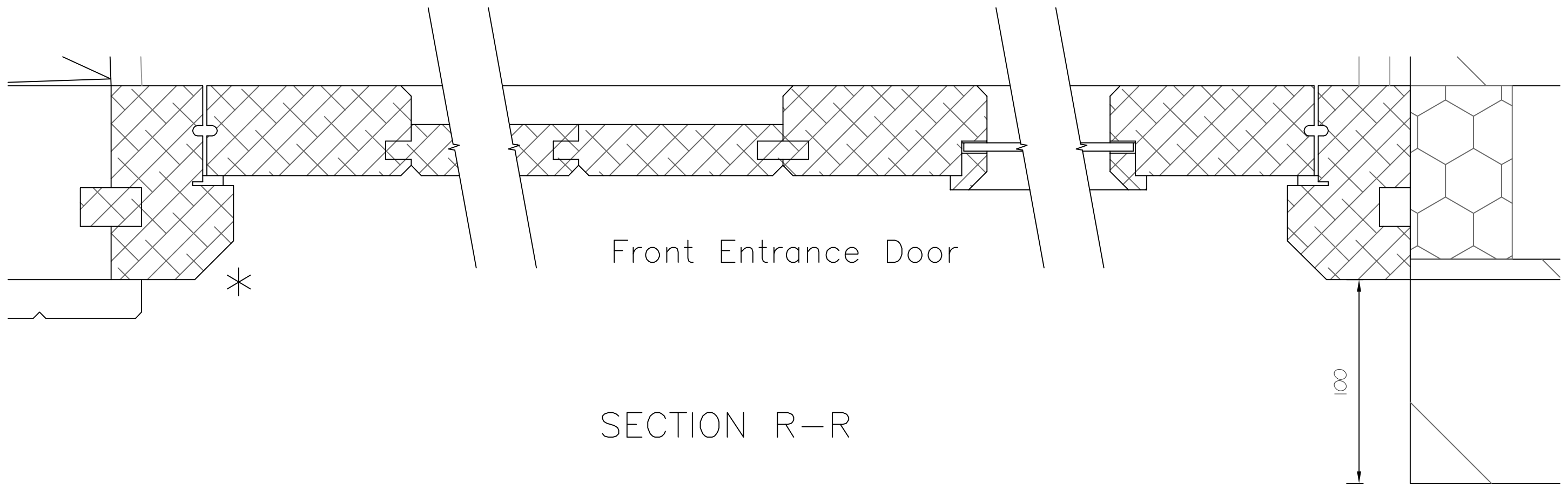
AUGUST 2014

DRAWING No.

130518/PC/04

REV.

A



4no hardwood timber doors with top hung bi-fold pivot to slide/fold in pairs. (Two to the right & two to the left. Recessed floor guide flush to floor finish

REV B - Bin store doors adjusted to open outwards 06/11/2014
 REV A - Door frame set into reveal 100mm & Bin 05/11/2014
 store door changed to 4no sliding bi-fold
 REVISIONS DATE

**Architectural
 Design & Planning**

32 Grange Road
 Plymouth PL7 2HY

t: 01752 341696
 m: 07973136876

**THE DESIGN
 WORKS**

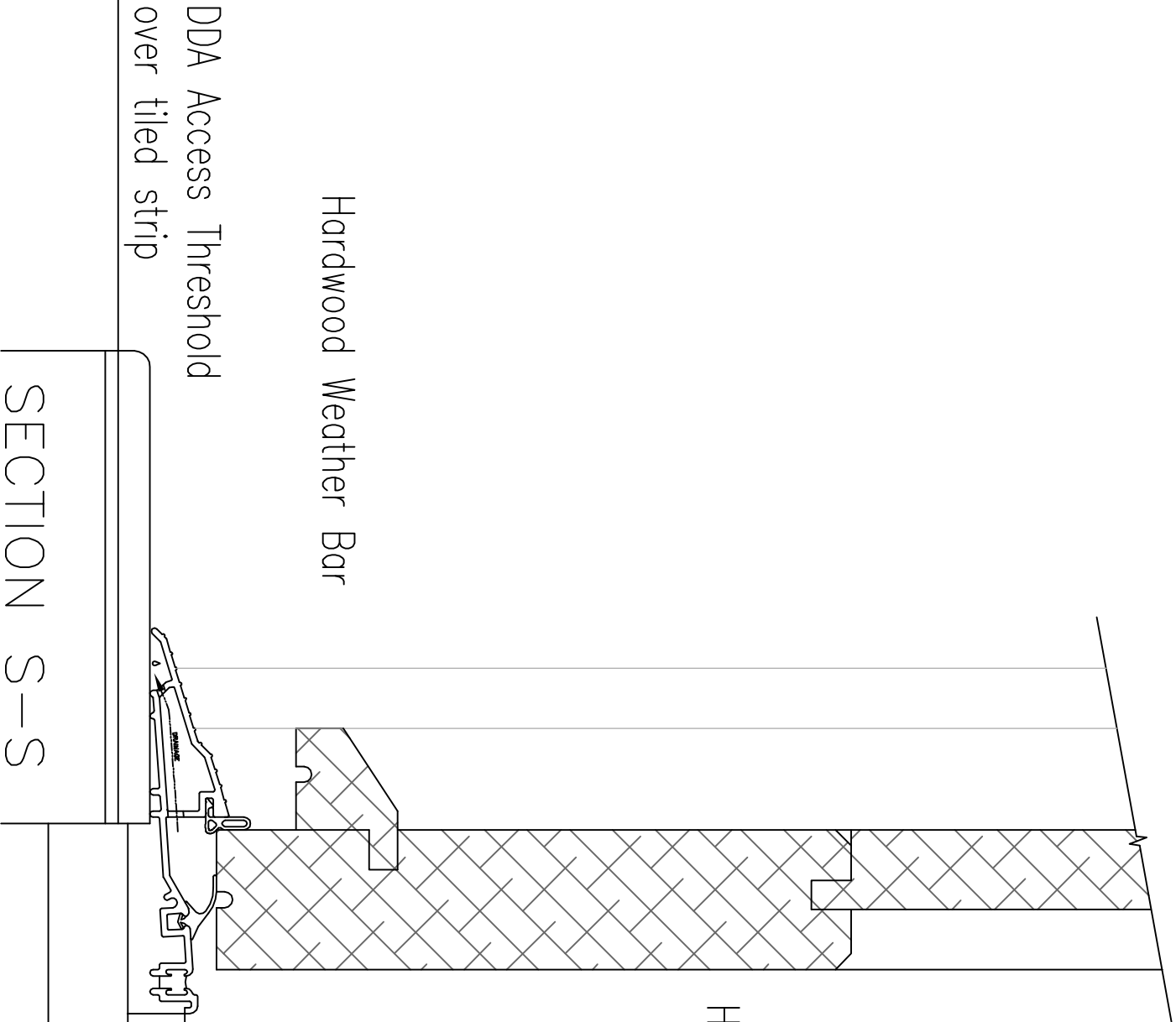
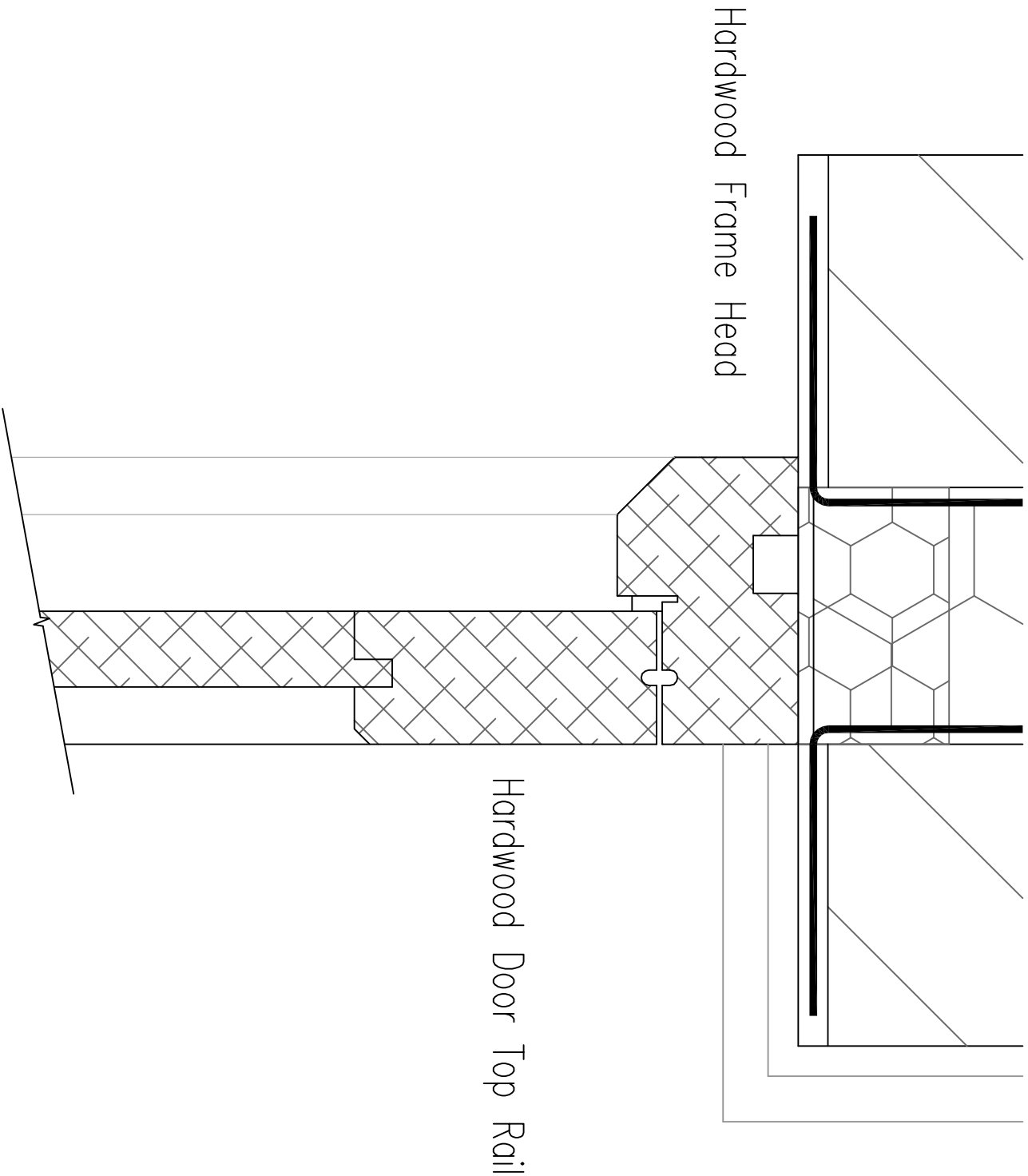
TITLE
 WINDOW DETAILS - (1 of 8)

ADDRESS
 120 KINGS GATE ROAD
 LONDON NW6 2AE

CLIENT
 COBSTAR

SCALE Half Full Size © A3 DATE AUGUST 2014

DRAWING No. 130518/PC/05 REV. B



Hardwood Door Bottom Rail

Hardwood Door Top Rail

REV A – Door frame set into reveal 100mm

REVISIONS

05/11/2014

DATE

Architectural
Design & Planning

32 Grange Road
Plymouth PL7 2HY

t: 01752 341696
m: 07973136876

DESIGN
WORKS

TITLE

WINDOW DETAILS - (2 of 8)

ADDRESS

120 KINGSGATE ROAD
LONDON NW6 2AE

CLIENT

COBSTAR

SCALE

Half Full Size

A3

DATE

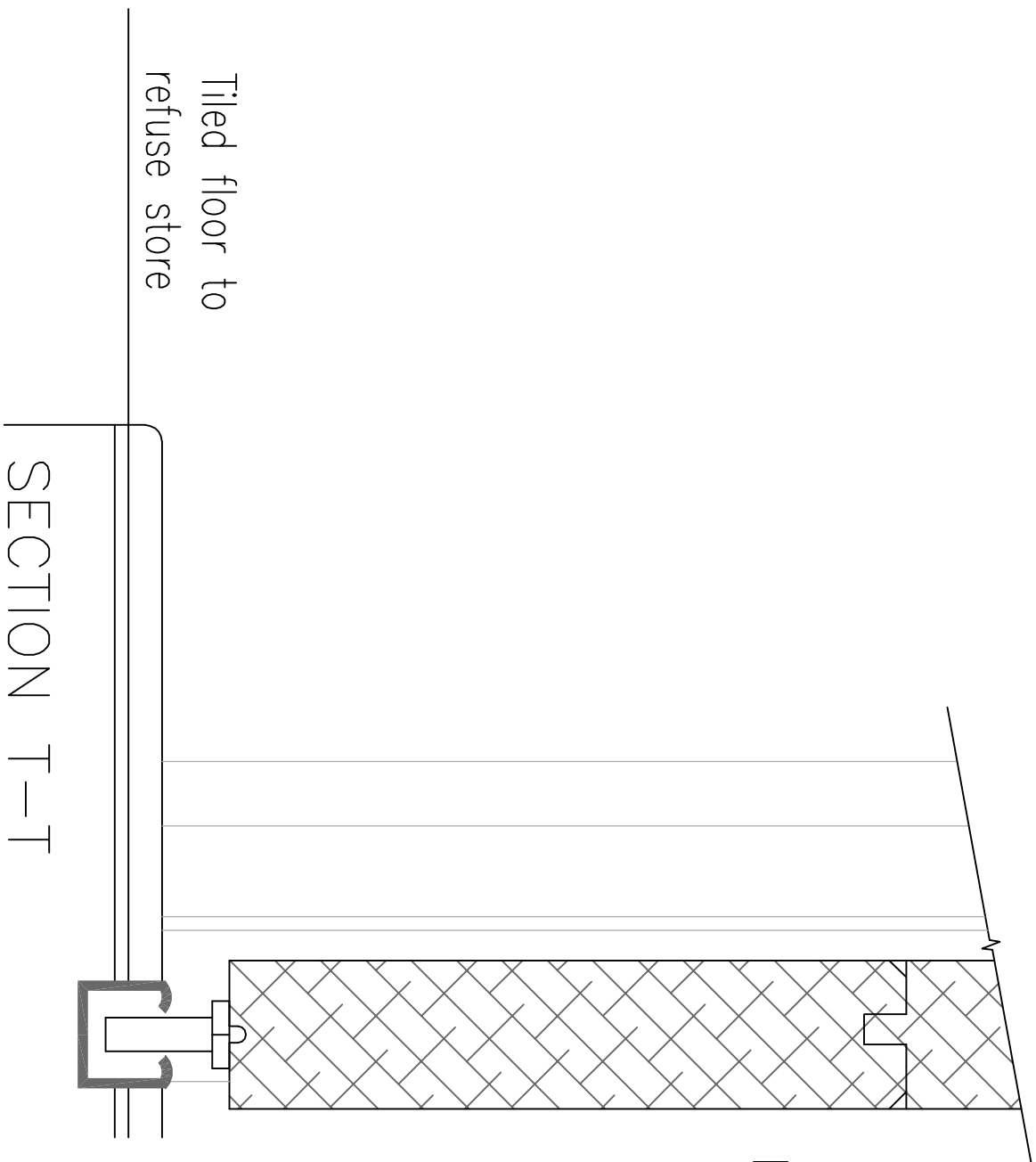
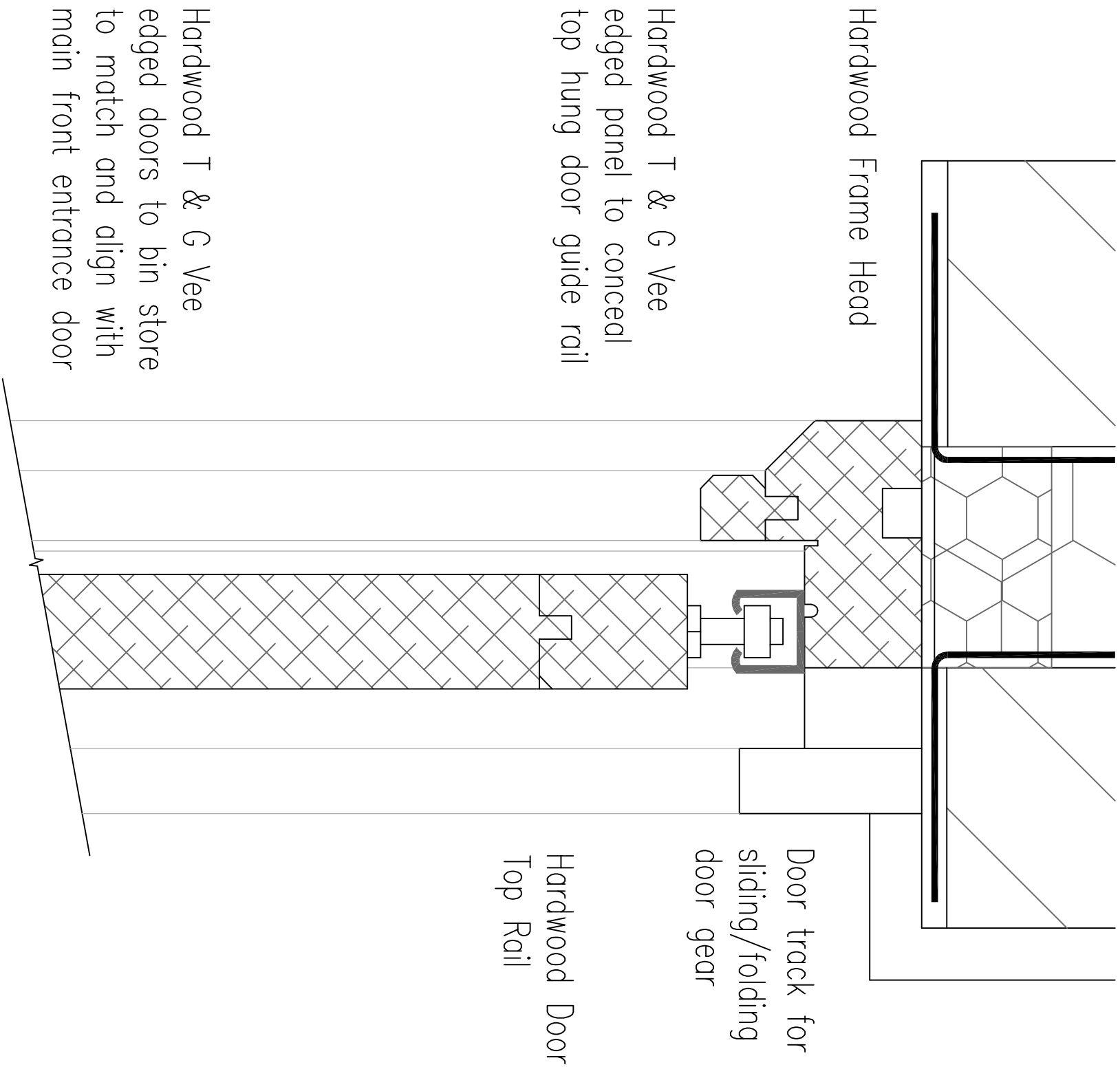
AUGUST 2014

DRAWING No.

130518/PC/06

REV.

A



Hardwood Door Bottom Rail

REV B - Bin store doors adjusted to open outwards, 06/11/2014	
REV A - Door frame set into reveal 100mm & Bin store door changed to 4no sliding bi-fold	05/11/2014
REVISIONS	
DATE	

Architectural
Design & Planning

32 Grange Road
Plymouth PL7 2HY

t: 01752 341696
m: 07973136876

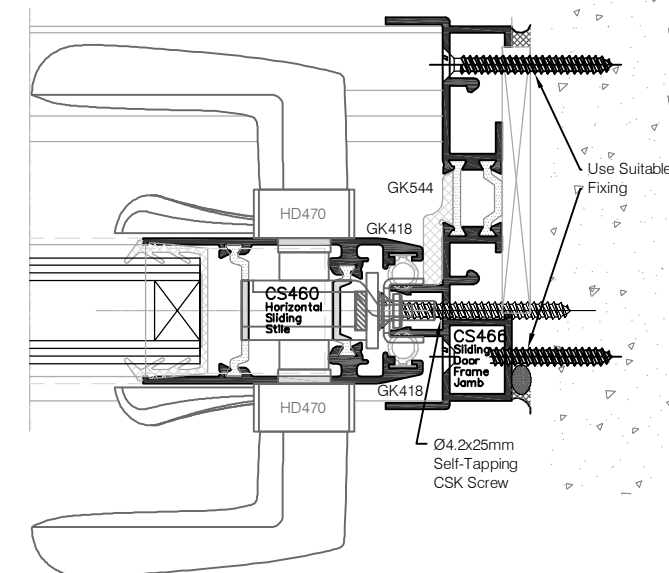
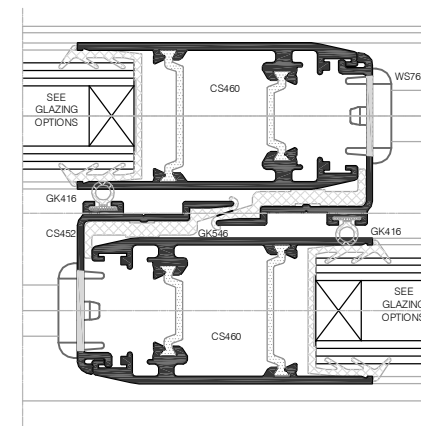
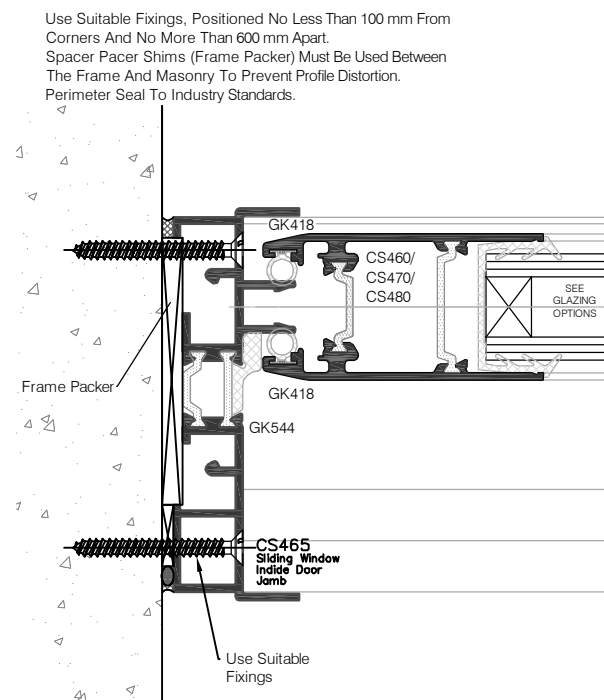
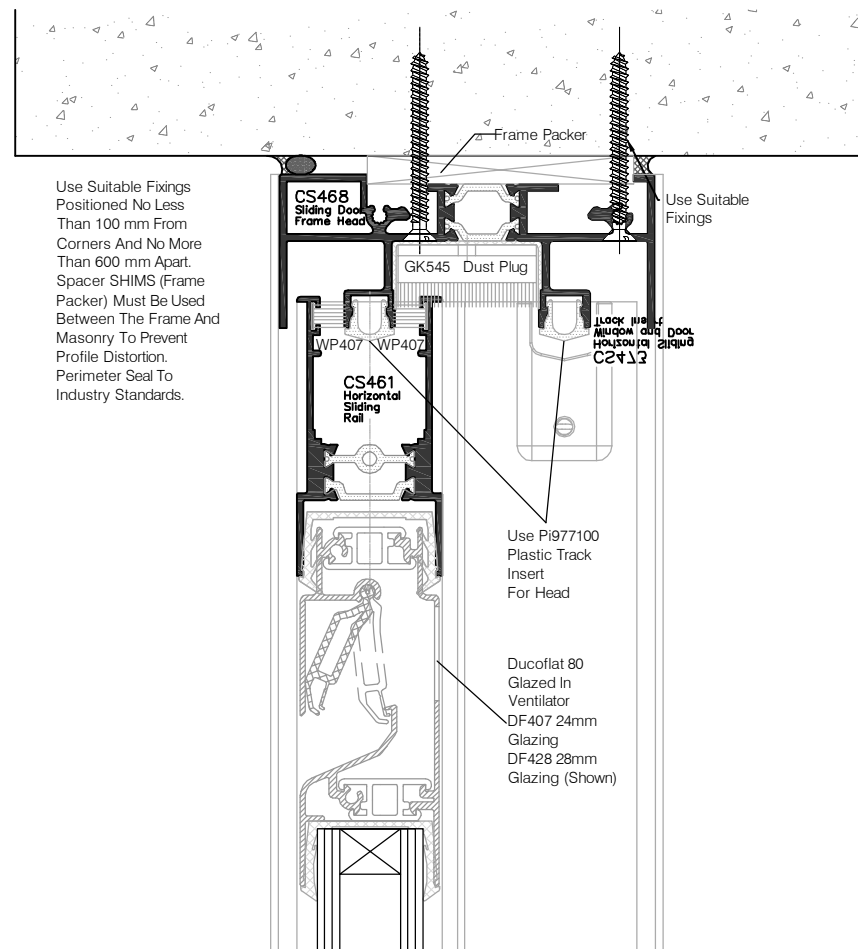
DESIGN
WORKS

TITLE
WINDOW DETAILS - (3 of 8)

ADDRESS
120 KINGSGATE ROAD
LONDON NW6 2AE

CLIENT
COBSTAR

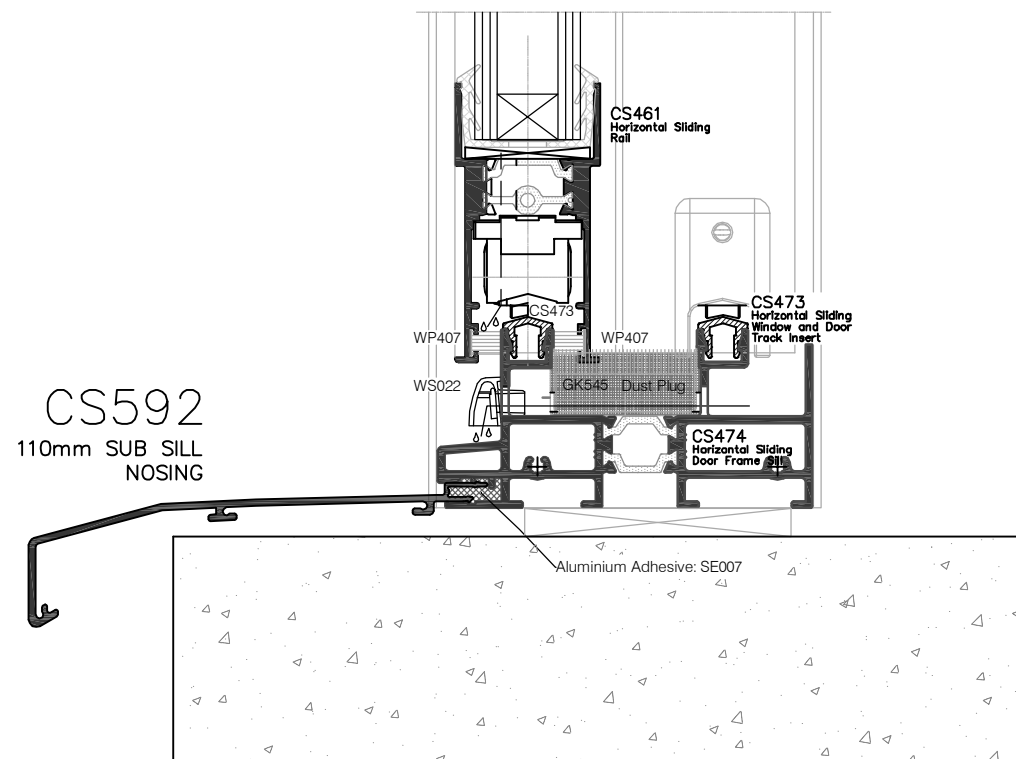
SCALE	© A3	DATE
Half Full Size		AUGUST 2014
DRAWING No.	130518/PC/07	REV. B



Standard Lock Options:(CS460 Only)

LK472XSFL - 3 Point Locking
LK474XSFL - 5 Point Locking

SECTION U—U



SECTION V—V

REVISIONS

DATE

Architectural
Design & Planning

THE DESIGN
WORKS

32 Grange Road
Plymouth PL7 2HY

t: 01752 341696
m: 07973136876

TITLE

WINDOW DETAILS - (4 of 8)

ADDRESS

120 KINGSGATE ROAD
LONDON NW6 2AE

CLIENT

COBSTAR

SCALE

Half Full Size

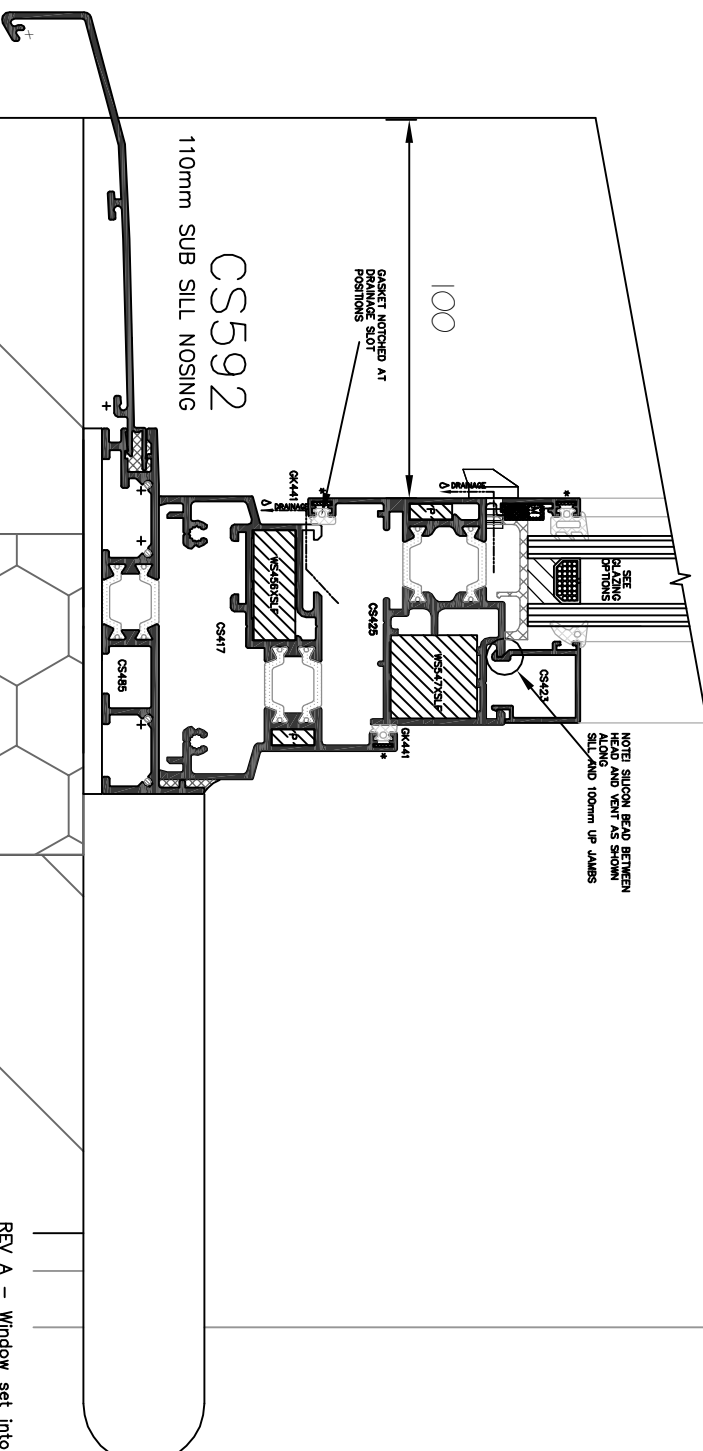
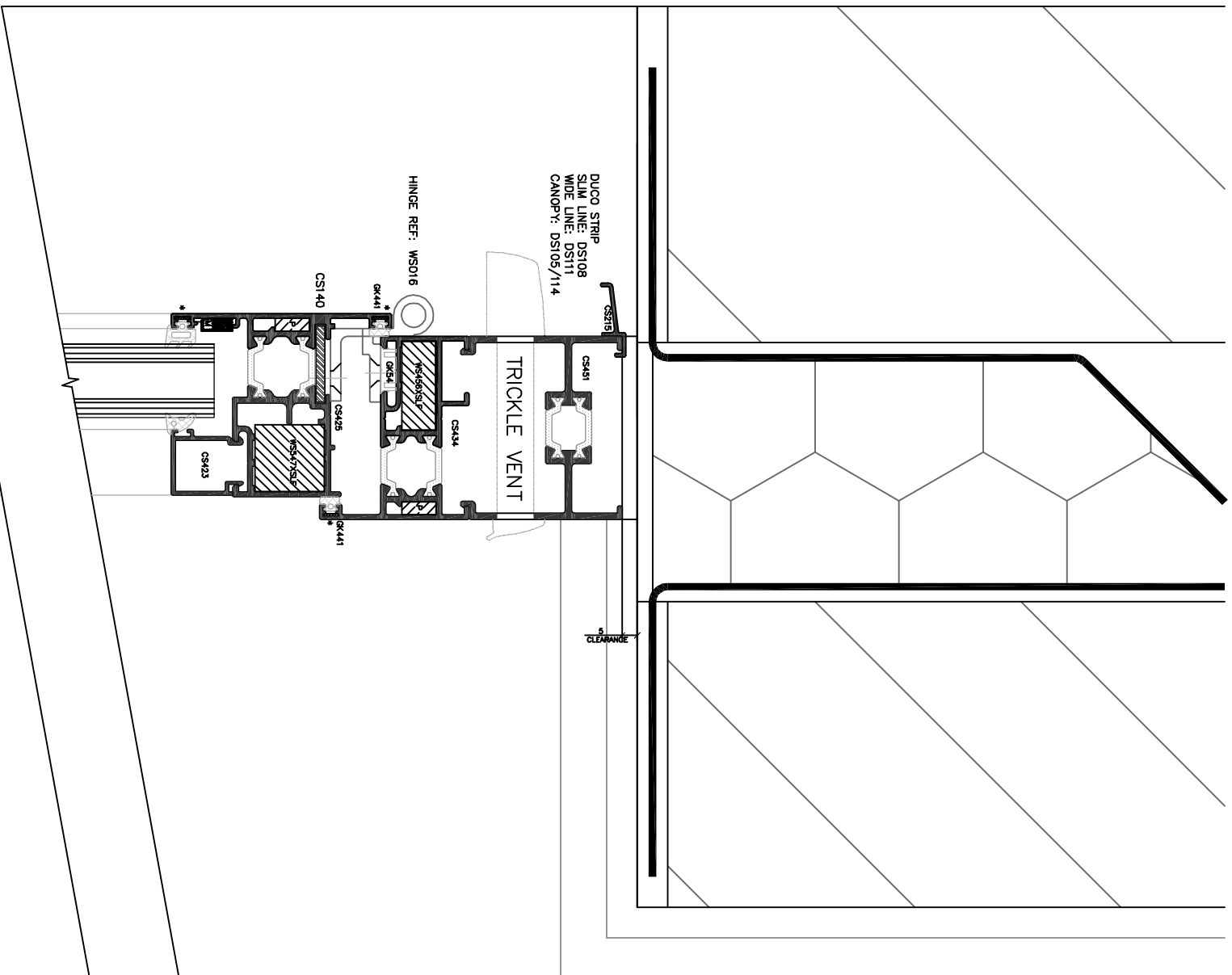
DATE

AUGUST 2014

DRAWING No.

130518/PC/08

REV.



SECTION W-W

REV A - Window set into reveal 100mm	05/11/2014
REVISIONS	DATE

Architectural Design & Planning

**32 Grange Road
Plymouth PL7 2HY
t: 01752 341696
m: 07973136876**

TITLE
WINDOW DETAILS - (5 of 8)

ADDRESS

120 KINGSGATE ROAD
LONDON NW6 2AE

CLIENT

COBSTAR^T

SCALE

①

ⓐ	A3	DATE
---	----	------

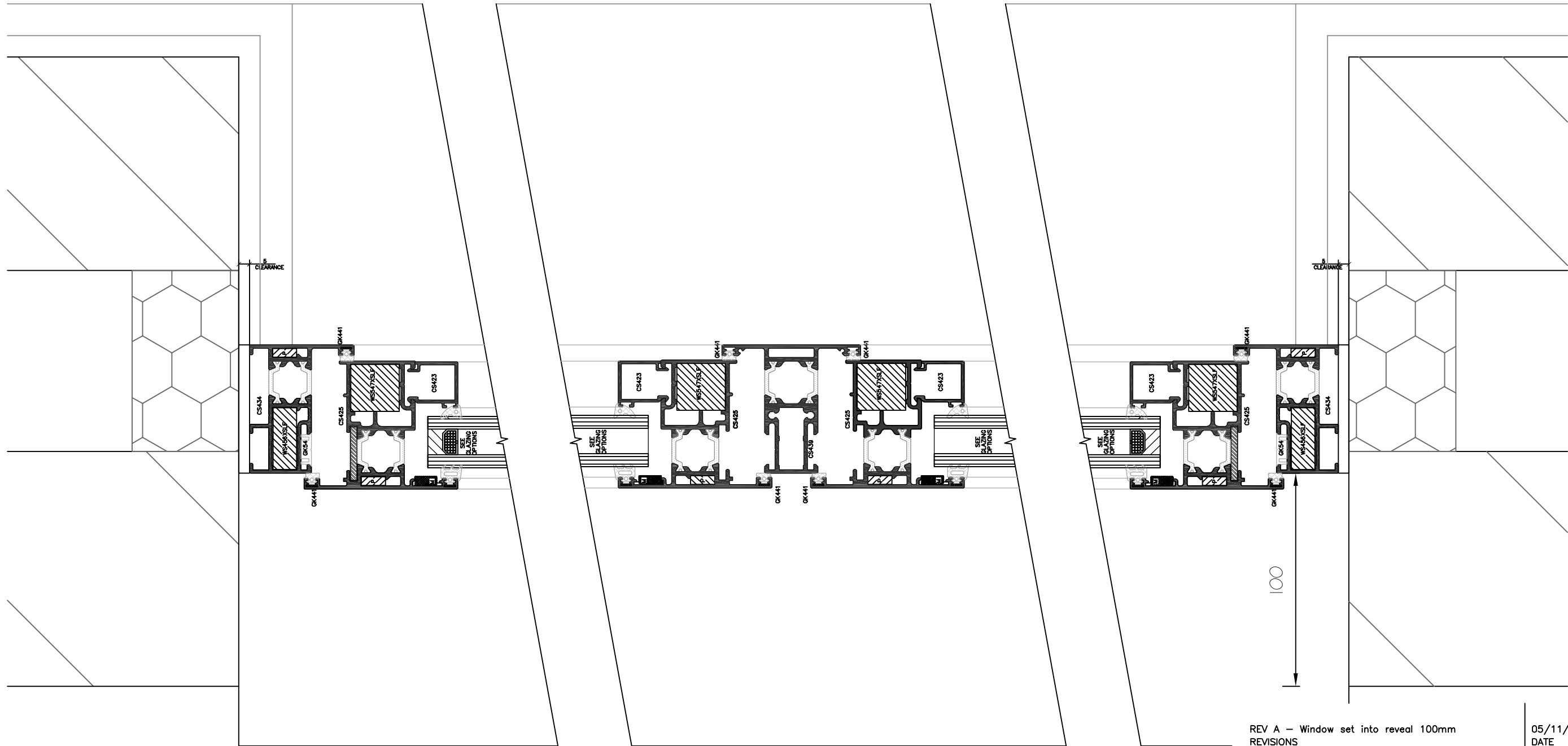
SCALE	DATE
Half Full Size	AUGUST 2014

DRAWING No.

130518/PC/09

REV. A

A



SECTION X-X

REV A - Window set into reveal 100mm
REVISIONS

05/11/2014
DATE

Architectural
Design & Planning

32 Grange Road
Plymouth PL7 2HY

t: 01752 341696
m: 07973136876

THE DESIGN
WORKS

TITLE

WINDOW DETAILS - (6 of 8)

ADDRESS

120 KINGS_GATE ROAD
LONDON NW6 2AE

CLIENT

COBSTAR

SCALE

Half Full Size

© A3

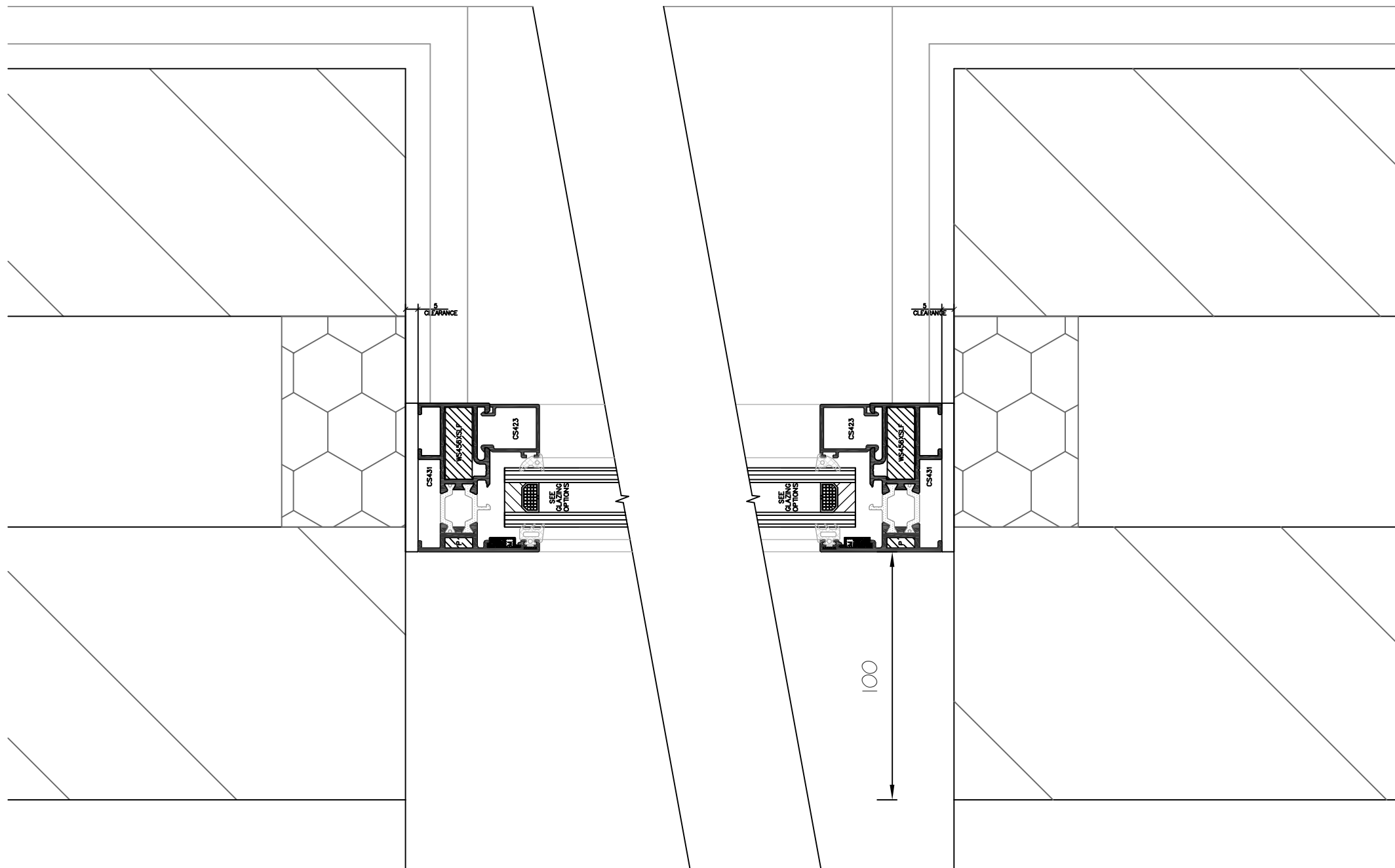
DATE

AUGUST 2014

DRAWING No.

130518/PC/10

REV. A



SECTION Z-Z

REV A – Window set into reveal 100mm
REVISIONS

05/11/2014
DATE

Architectural
Design & Planning

32 Grange Road
Plymouth PL7 2HY

t: 01752 341696
m: 07973136876

THE DESIGN
WORKS

TITLE

WINDOW DETAILS - (8 of 8)

ADDRESS

120 KINGSGATE ROAD
LONDON NW6 2AE

CLIENT

COBSTAR

SCALE

Half Full Size

© A3

DATE

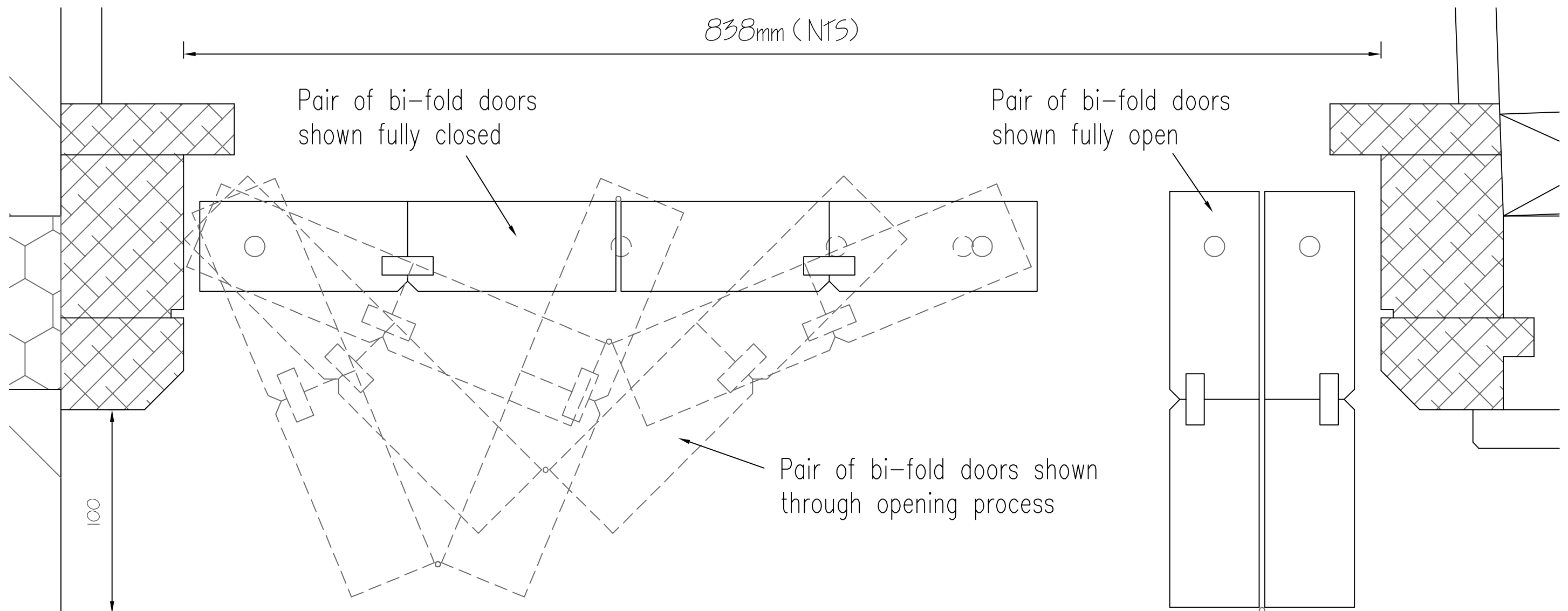
AUGUST 2014

DRAWING No.

130518/PC/12

REV.

A



Line of site boundary i.e. Back edge of footpath

Two pairs of bi-fold doors to bin store – All timber framed in hardwood painted in RAL 7016. Vertical Vee Joints to match front entrance door adjacent with top and bottom rail lines running through level

Opening width between frames 838mm which allowing for 8–9mm clearance at either side and 2–3mm between door leafs for hinges etc will allow for door leafs of 203 – 204mm. Pivot point of door usually around 27mm in from edge of door (204–27=177mm) therefore center line of track and guide for doors to be set back a minimum of 180mm from face of building brickwork to ensure that the doors when open do not encroach over the public footpath

REVISIONS

DATE

**Architectural
Design & Planning**

32 Grange Road
Plymouth PL7 2HY

t: 01752 341696
m: 07973136876

TITLE

BIN STORE DOOR DETAIL PLAN VIEW

ADDRESS

120 KINGSGATE ROAD
LONDON NW6 2AE

CLIENT

COBSTAR

SCALE

Half Full Size

© A3

DATE

NOV'BER 2014

DRAWING No.

130518/PC/13

REV.

**THE DESIGN
WORKS**