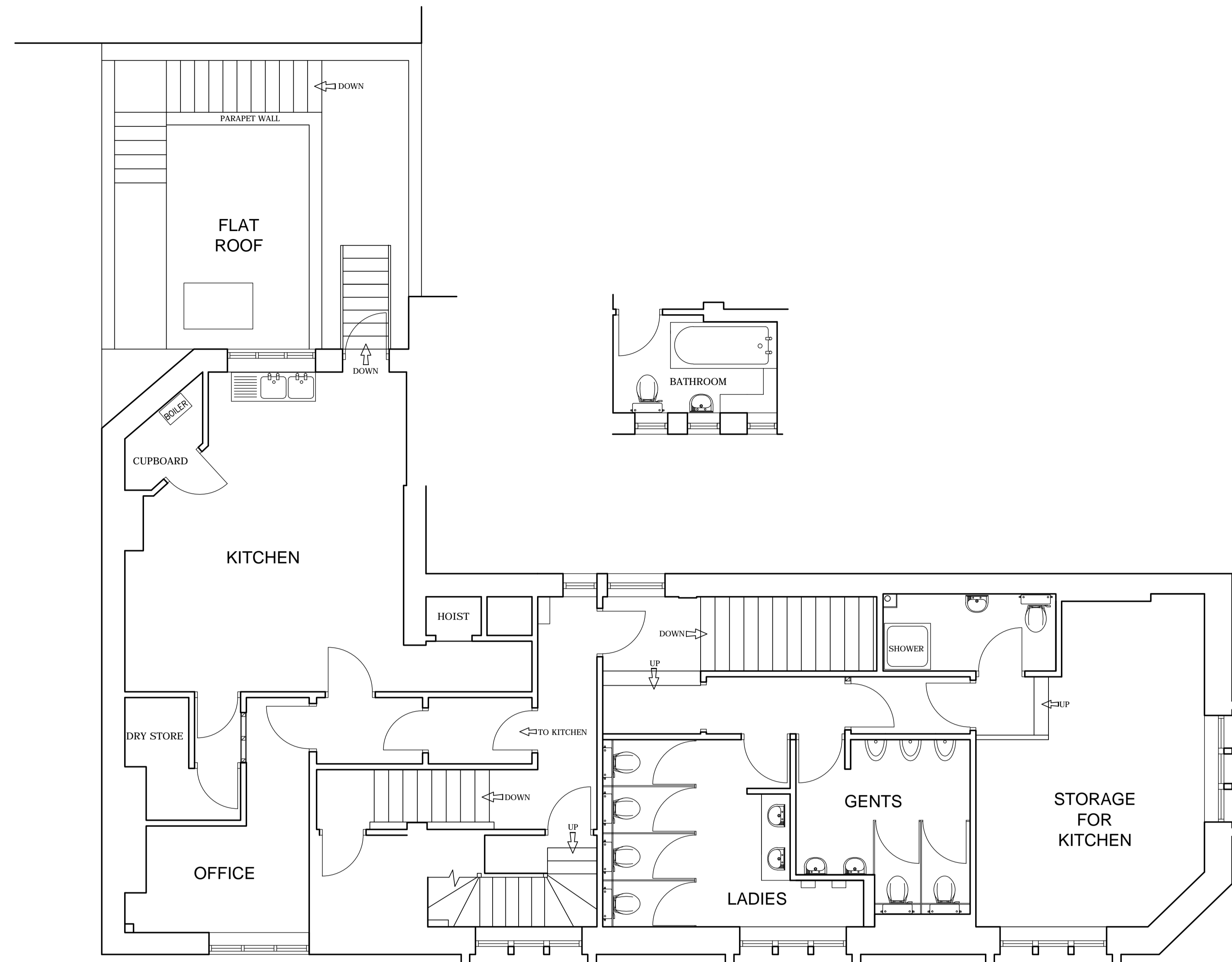


**FUSION BY DESIGN**  
 All design work and information provided on this drawing must under NO circumstances be reproduced in any form without the prior written approval by Fusion by design.  
 NOTE TO ALL CONTRACTORS:-  
 Under NO circumstances must dimensions be scaled from this drawing. All contractors must be responsible for taking and checking all dimensions upon visiting site. All contractors must advise the DESIGNER immediately, in writing, of any discrepancies.  
 This drawing is to be read in conjunction with the bill of quantities / specification and any related drawing. The contractor must ensure that all items detailed on this drawing are included when tendering even if not covered by the specification. The Designer must be advised in writing of all such items. Any discrepancies between drawings and specification must be resolved with the Designer prior to commencing works.  
 All structural work must be carried out in strict accordance with the drawing and calculations provided by the appointed Structural Engineer. All structural work must be inspected at all relevant stages by both the Structural Engineer and Building Inspector, any changes or alterations must have their express written approval. Any costs incurred due to either claims for damages, loss of trade, etc by failing to do so will be the sole liability of the contractor.  
 All works must be carried out in strict accordance with all Local Authority, British & European Standards. If in doubt, it is the responsibility of the contractor to contact all relevant parties.

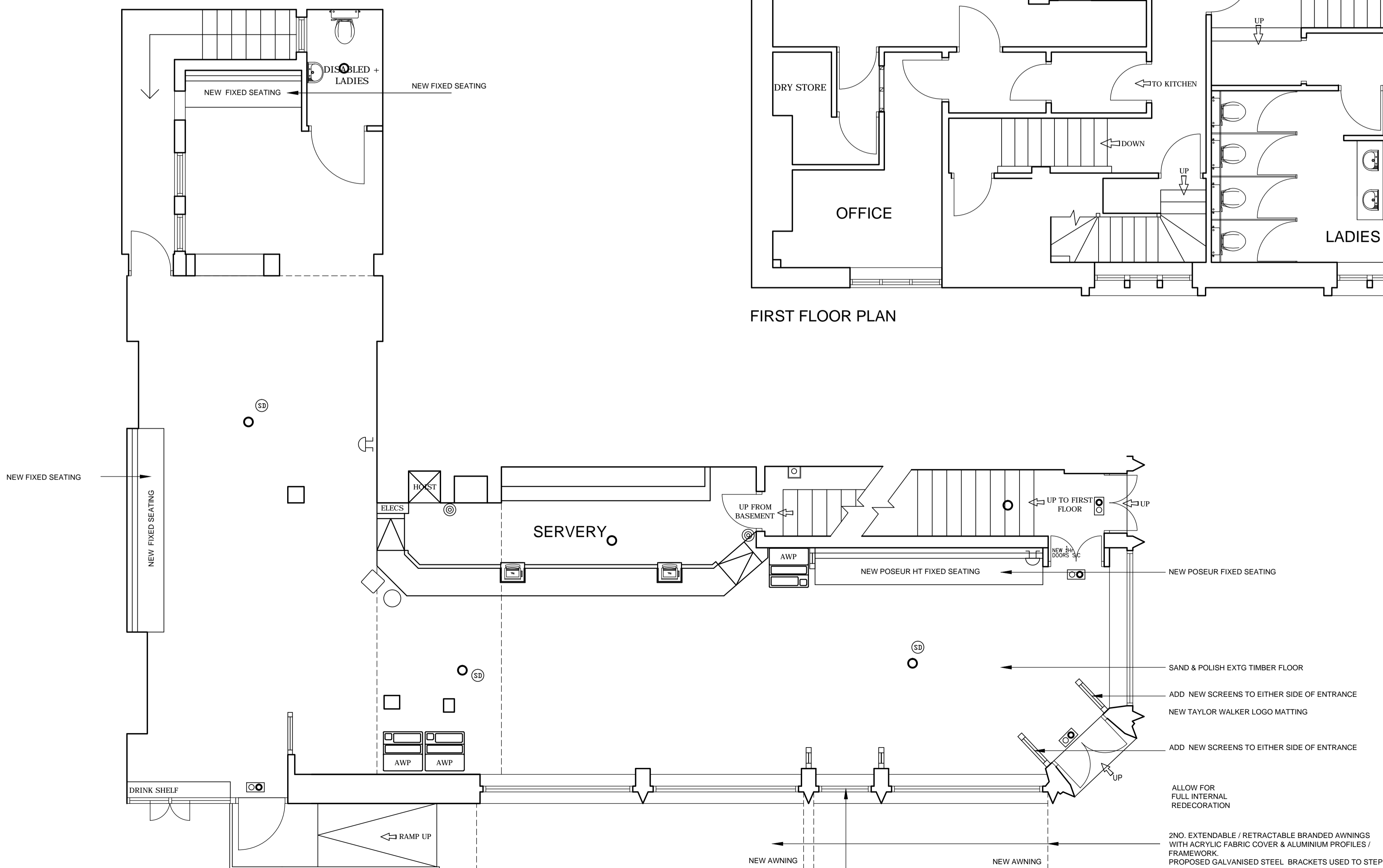
DESCRIPTION	EXISTING	PROPOSED
GF EDA (incl Dis-W.C. lobbies excl bar servery)	115 SQ. M	- SQ. M
<b>INTERNAL COVERS</b>		
GF INTERNAL TOTAL	87	88

**GRADE II LISTED BUILDING  
 BLOOMSBURY  
 CONSERVATION AREA**

**LOW TOURIST**



FIRST FLOOR PLAN



GROUND FLOOR PLAN

REVISION B: DRAWING UPDATED FOR PLANNING APPLICATION 29-09-14  
 REVISION A: ALTERATIONS MADE AT REVIEW MEETING 10-03-2014  
 OMIT: 1NO BUTCHER BLOCK & 1NO STOOL 06-03-2014  
 ADD: 2NO AWNINGS

Revision



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Client  
**SPIRIT PUB Co.**

Job Title  
**THE RISING SUN,  
 48 TOTTENHAM COURT ROAD  
 BLOOMSBURY, W1T 2ED**

Drawing Title  
**PROPOSED FLOOR PLANS**

Scale <b>1:50@A1</b>	Drawing No <b>3006-02</b>	Revision <b>B</b>
Date <b>FEB 13</b>		
Drawn By		

- SAND & POLISH EXTG TIMBER FLOOR
- ADD NEW SCREENS TO EITHER SIDE OF ENTRANCE
- NEW TAYLOR WALKER LOGO MATTING
- ADD NEW SCREENS TO EITHER SIDE OF ENTRANCE
- ALLOW FOR FULL INTERNAL REDECORATION
- 2NO. EXTENDABLE / RETRACTABLE BRANDED AWNINGS WITH ACRYLIC FABRIC COVER & ALUMINIUM PROFILES / FRAMEWORK. PROPOSED GALVANISED STEEL BRACKETS USED TO STEP OVER THE DECORATIVE WINDOW HEAD MOULDING. NEW AWNINGS SUBJECT TO A SEPARATE ADVERTISEMENT APPLICATION BY OTHERS.
- ADD NEW VINYL TO WINDOWS TO MATCH OTHERS ELSEWHERE