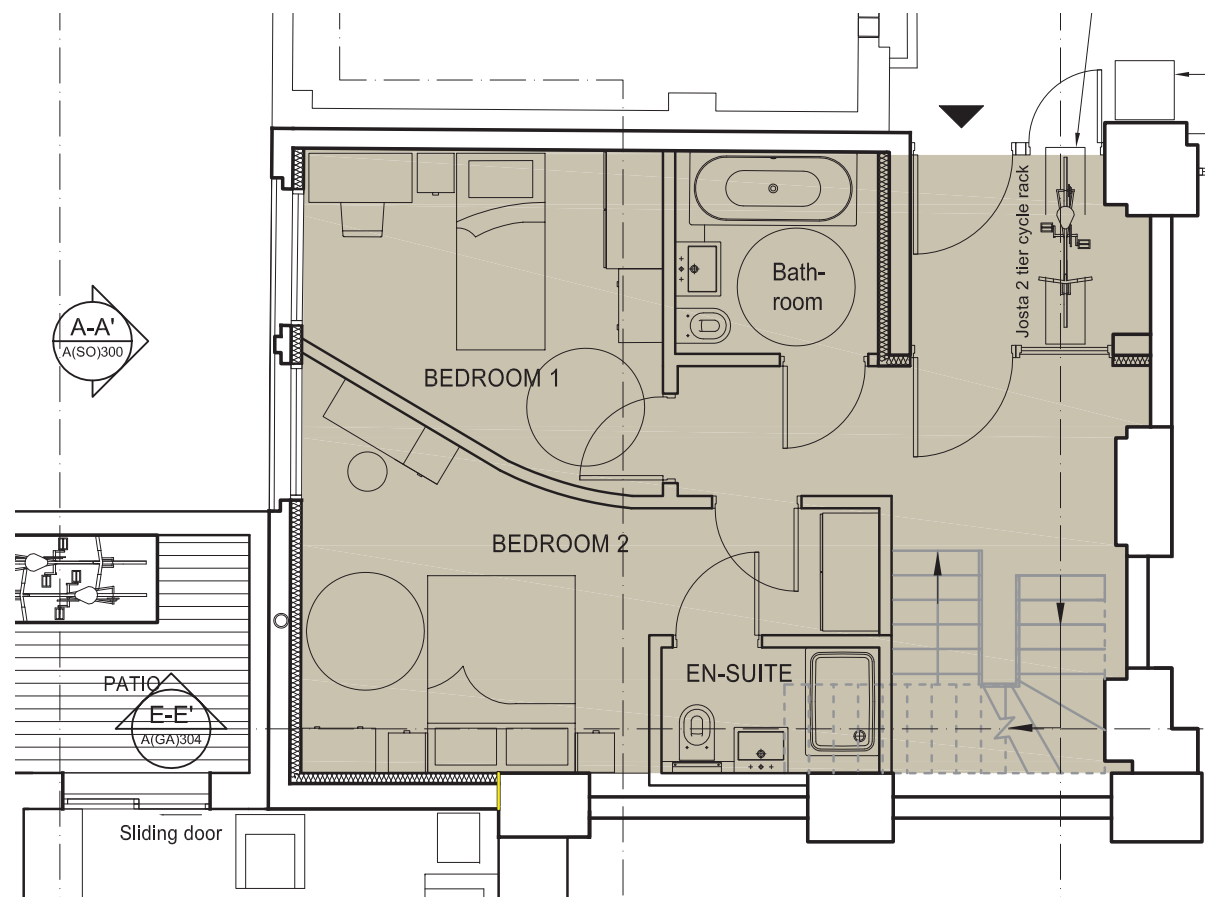


Proposed Basement Plan



Proposed Ground Floor Plan

Project Details & Proposed Layouts

The proposed development is sited in a vacant area bounded by the rear of No.10, the side of 10a Belmont Street and the side of 21 Ferdinand Street. It is a small development that occupies an otherwise underused area of land. Immediately adjacent to the north of the site is an unkempt corner of green space that forms part of the Mead Close housing estate.

The dwelling contains four bedrooms on ground floor and first floor, with the main living, dining and kitchen functions on the second floor with access to an external north facing terrace. The proposed basement floor is to house the family cinema room.

Basement Floor:

The structural foundation solution based on engineers design for the adjoining properties at 10A , 10-12 Belmont Street will result in adding a basement to the approved 3 storey house at 21A Ferdinand Street.

Ground Floor:

The proposed residential entrance is accessed from the service yard, similar to adjoining properties. The ground floor will accommodate two bedrooms, a single and a double bedroom, as well as a bathroom, with access to the proposed basement via extended stairs and relocating store into the basement. One double bedroom includes ensuite facilities and the bathroom is large enough to be converted to become an accessible bathroom should the need arise. The recessed entrance houses the cycle store which is accessed from the front entrance area via a separate secure gate access. To maximise the space, a Josta 2-tier cycle stand will be used to provide parking for two bicycles. An area adjacent to the entrance will be reserved for a suitable sized rubbish bin as well as area for recycling.

Circulation:

The dwelling will make use of one stair core which connects through to the top floor.

Service Yard:

The rear service yard is maintained to accommodate for deliveries and servicing to the existing buildings. It will also accommodate for potential disabled parking and visitor parking as per the existing arrangement. This is a car free development, so there is no designated parking space for the dwelling.

Project Details & Layouts - First and Second Floor

First Floor:

The first floor of the development contains a twin bedroom and main bedroom with ensuite and a separate family bathroom. To maximise daylight, both bedrooms have large windows facing north and east respectively. There is a storage cupboard at the stair landing level.

Second Floor:

The second floor contains a large open plan living, dining and kitchen area.

Large sliding doors open onto a north facing external terrace deck

Amenity:

All rooms have large glazed windows allowing for views out and sufficient natural daylight into the interior spaces.

An external balcony on the second floor provides the main amenity area for the dwelling. Juliette balconies are incorporated to all other upper floor windows.

The roof will incorporate a green roof system to provide visual amenity for neighbouring properties as well as enhancing the sustainable attributes of the development.

The additional basement will add further amenity to the family house.

Area schedule:

Basement Floor - 50.2sqm / 540sqft

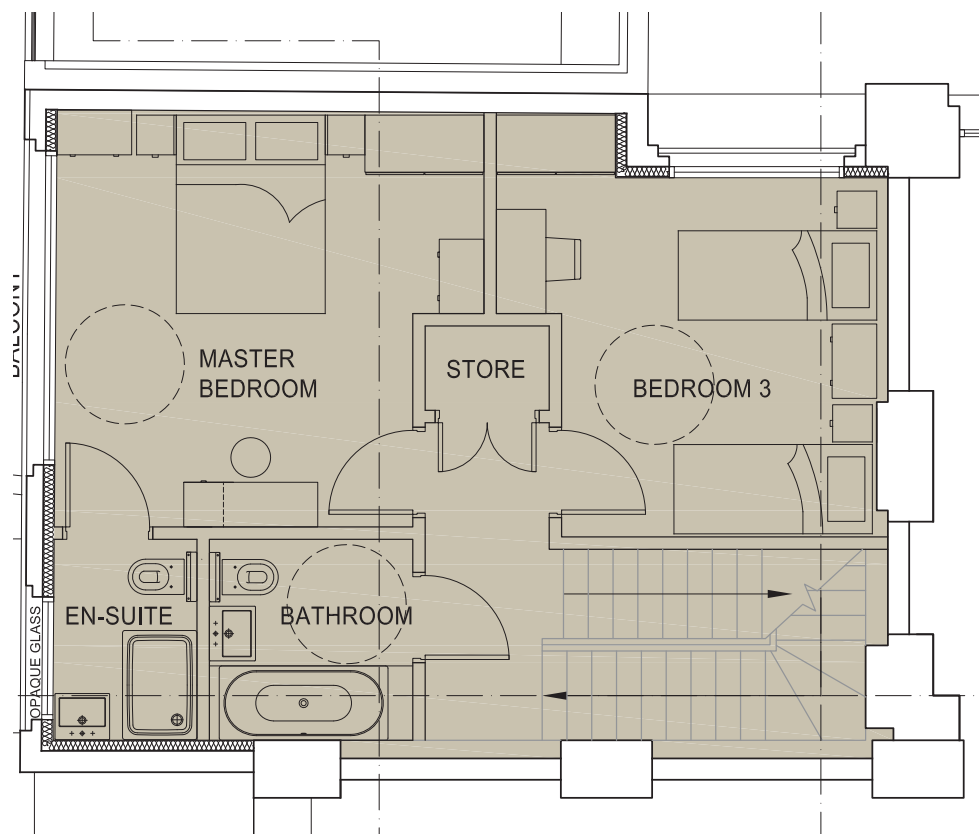
Ground Floor - 47.6sqm / 512sqft

First Floor - 51.0sqm / 549sqft

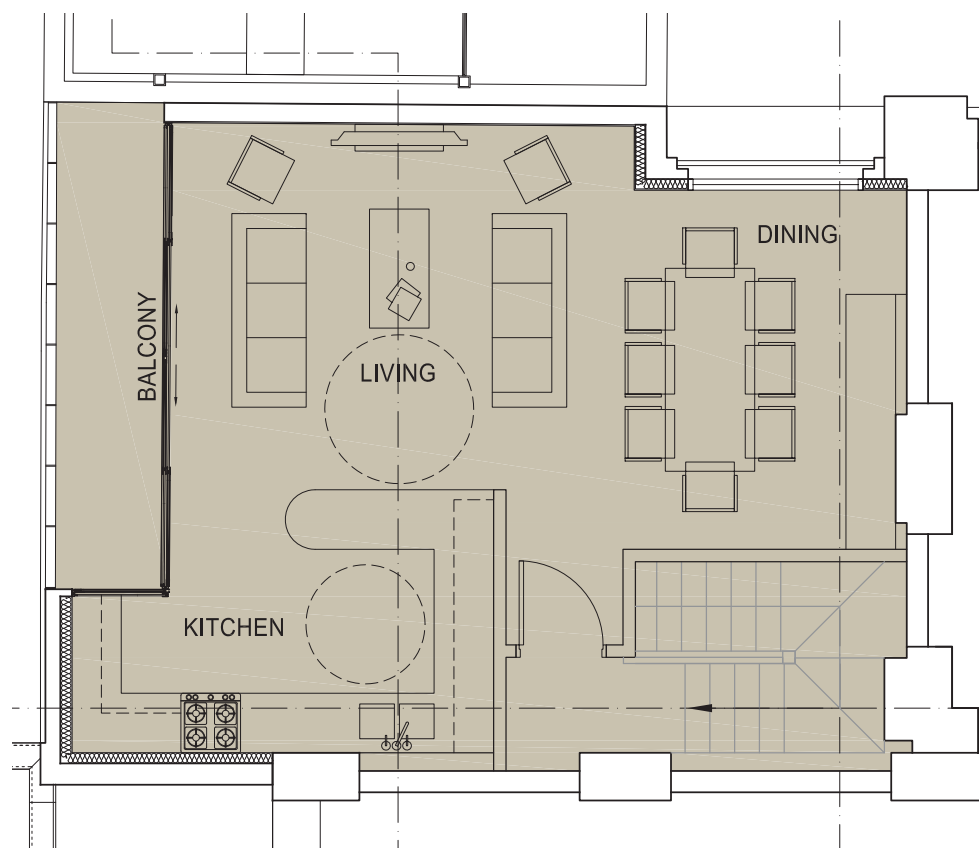
Second Floor - 46.4sqm / 500sqft

Total GIA - 195.2 sqm / 2101sqft

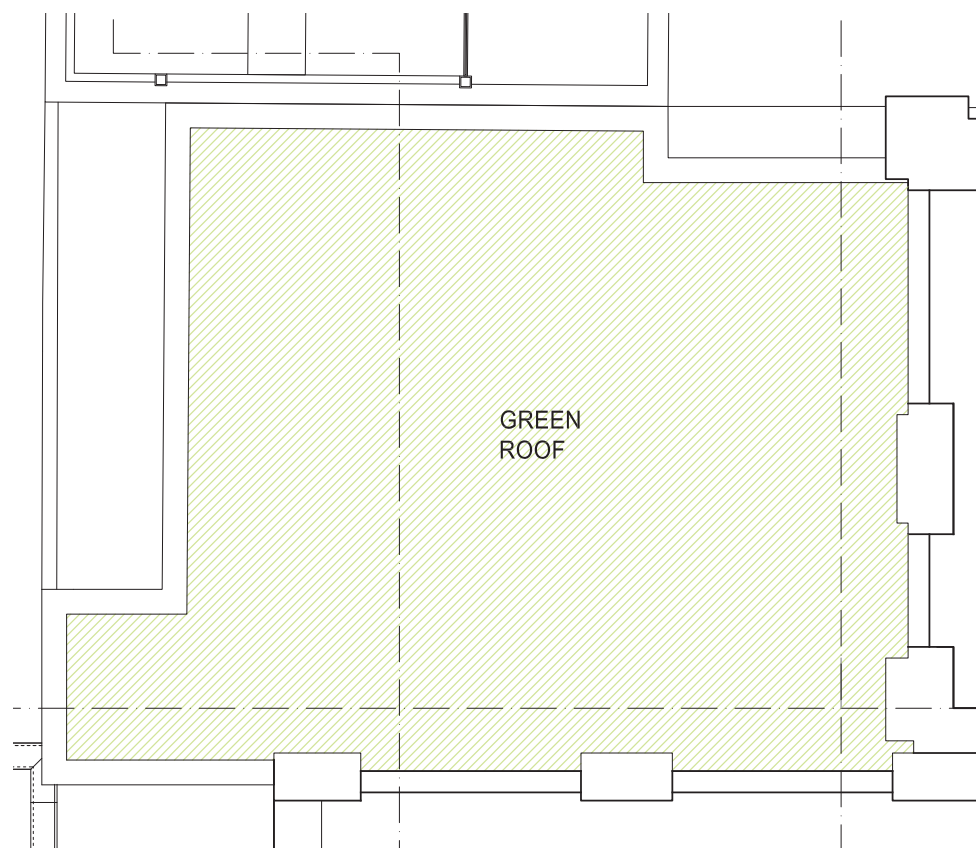
External terrace - 5.7sqm



Proposed First Floor Plan



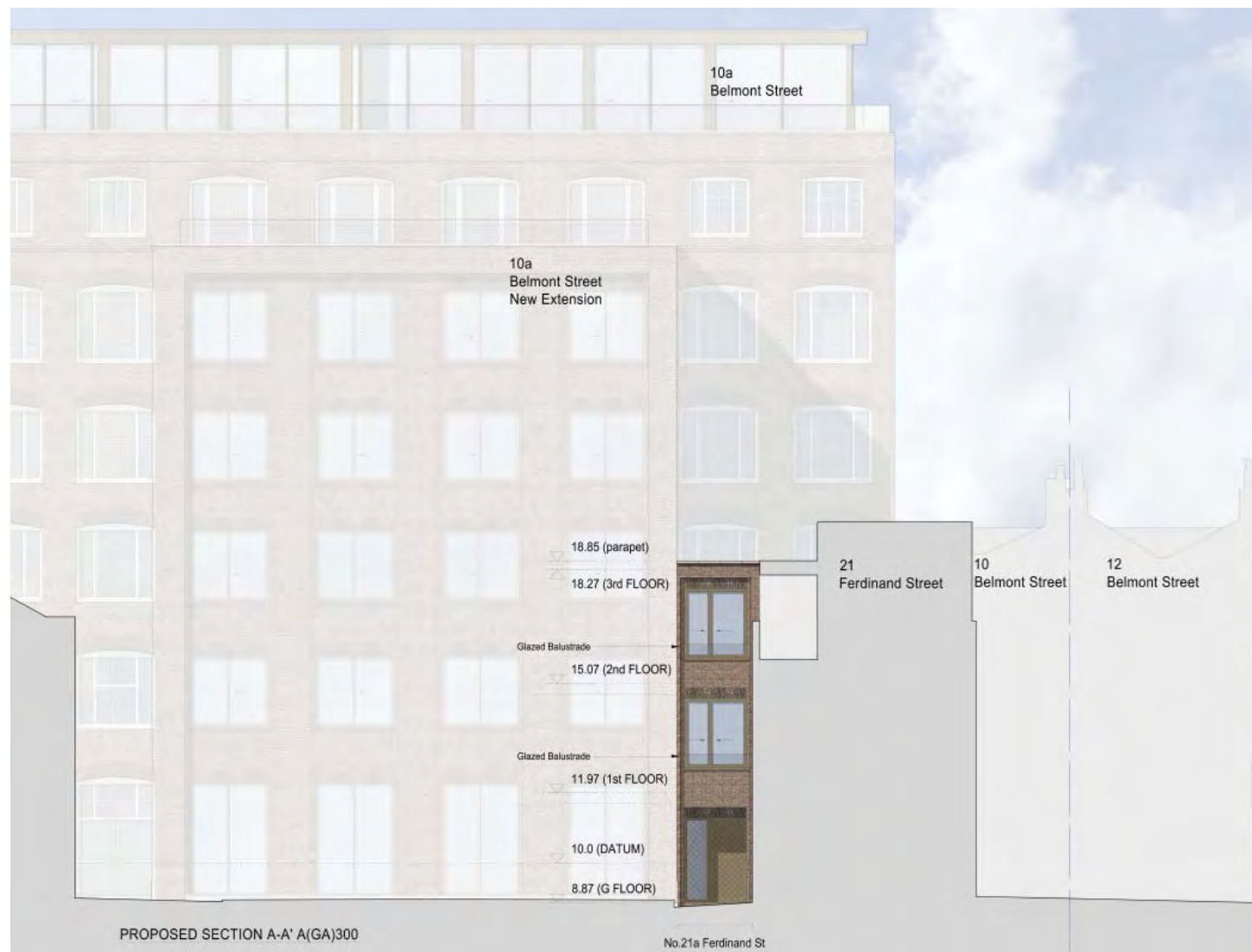
Proposed Second Floor Plan



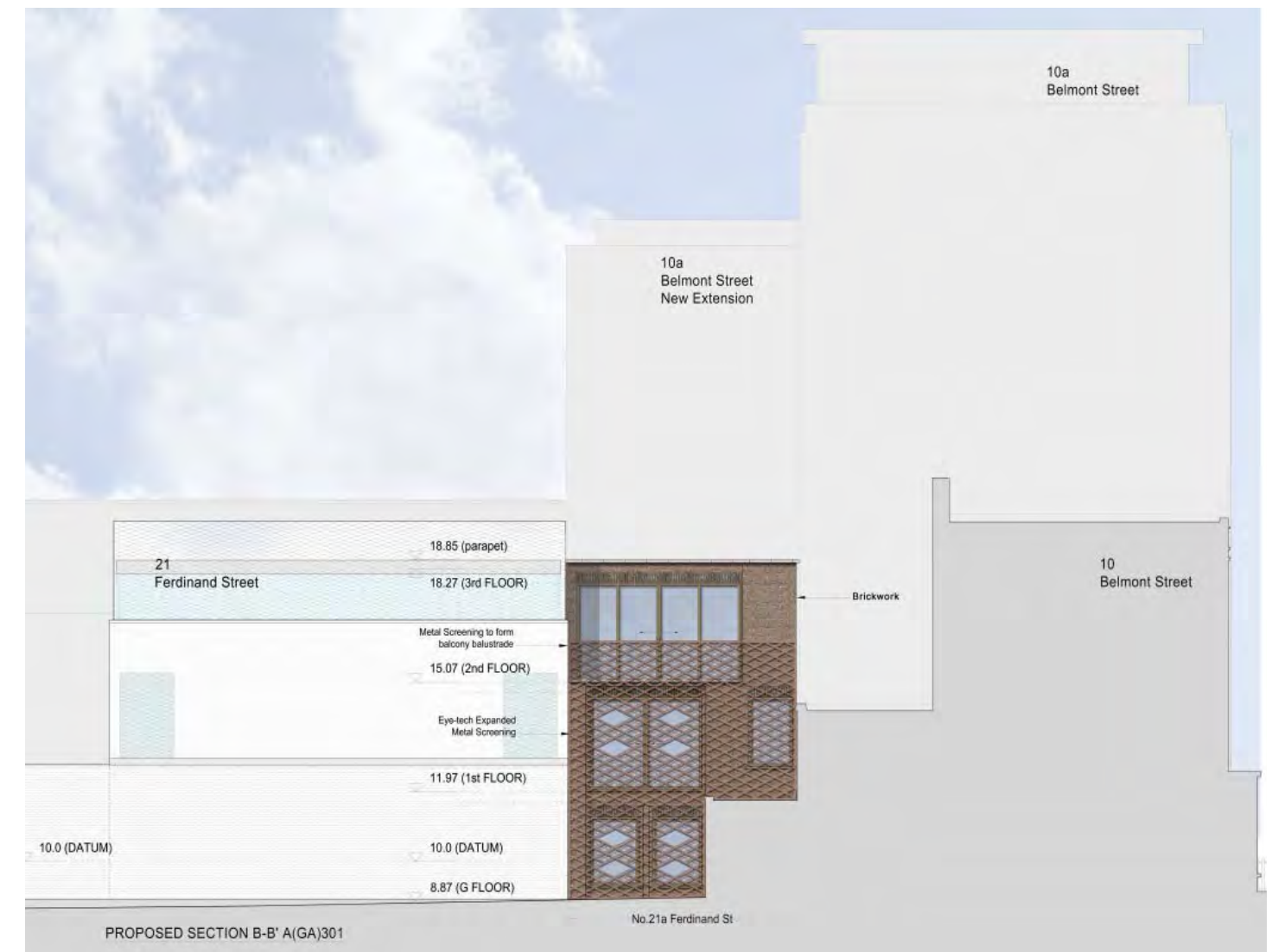
Proposed Roof Plan

Scale, Massing, Appearance and Visual Impact

The proposed basement will not appear from outside and this will not have any impact on the visual appearance and mass of the approved family house.



Entrance Elevation Facing Service Yard



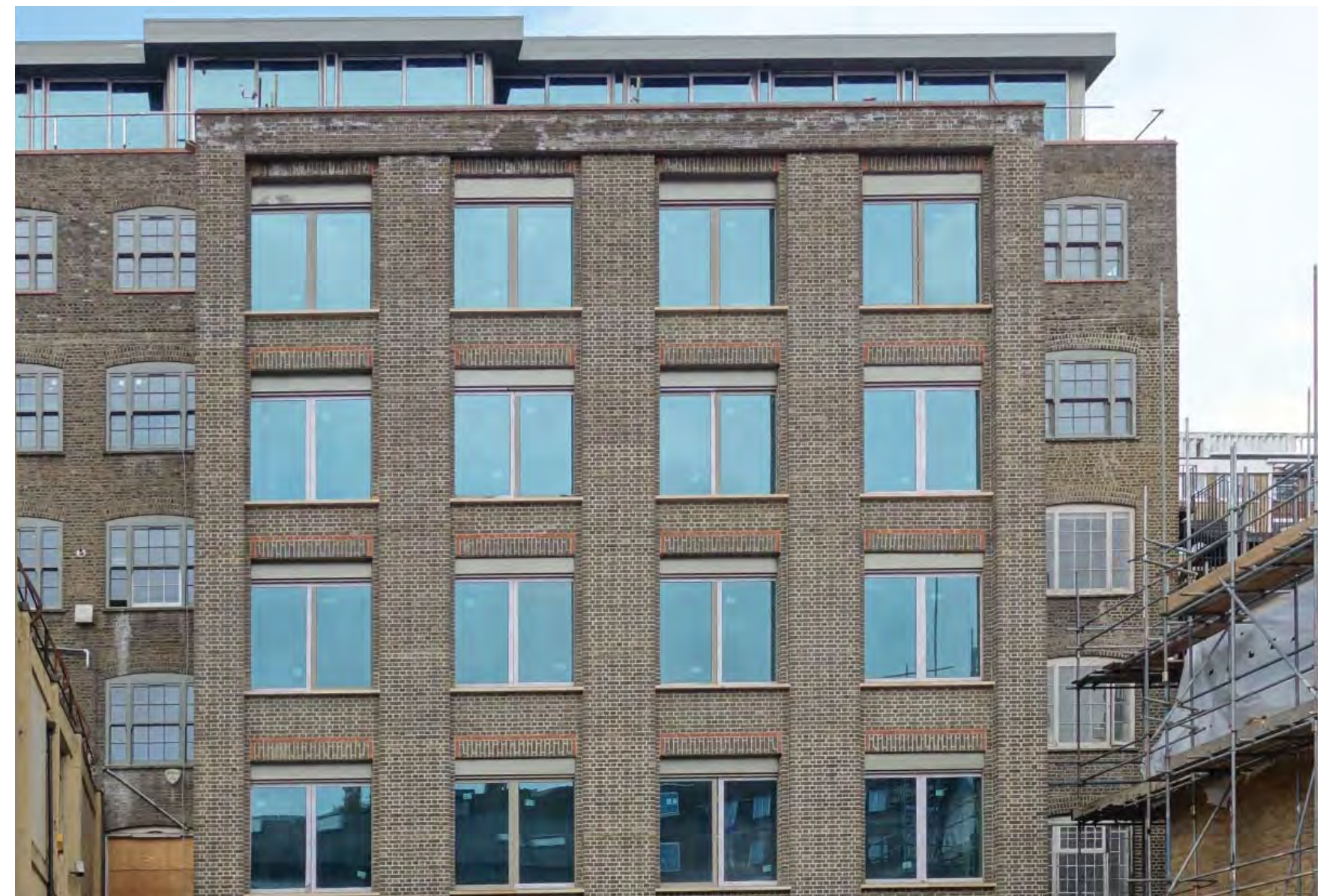
North Elevation Facing



Anodised aluminium 'Eye-tech' expanded metal screen over brick cladding

Materials

The basement will be formed from RC retaining walls plus waterproofing and insulation and will not alter the approved 3 storey family houses appearance and massing.

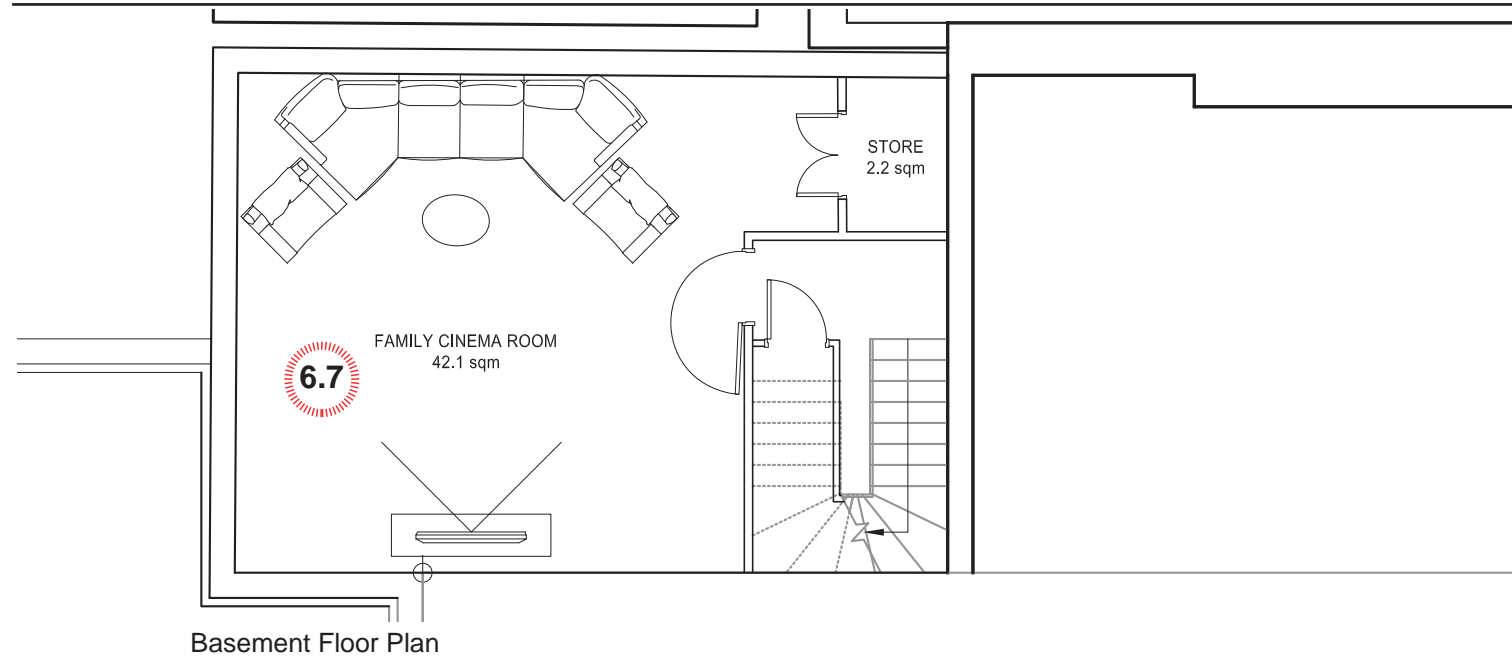


Windows and brickwork to match 10a Belmont Street Extension

North elevation close up detail

Within the dwelling, there is a single residential staircase that serves all four levels. For further access information, please refer to the following lifetime homes section.





6.1 Car Parking Width

The development is a car free development. There is existing site parking that is reserved for the existing adjoining properties. Should the need arise in the future to provide a space, then there may be sufficient capacity to provide a parking space that can be 3300mm wide.

6.2 Approach to Dwelling From Parking

The development is car free - see above.

6.3 Approach to Development

The approach to the main entrance is generally level with no gradient exceeding 1:12 for a distance of up to 2 metres.

6.4 Entrance

The main entrance will be lit with fully diffused luminaires. There is initially a gated access into a covered external area to access the main entrance door into the dwelling.

The door will have an accessible threshold.

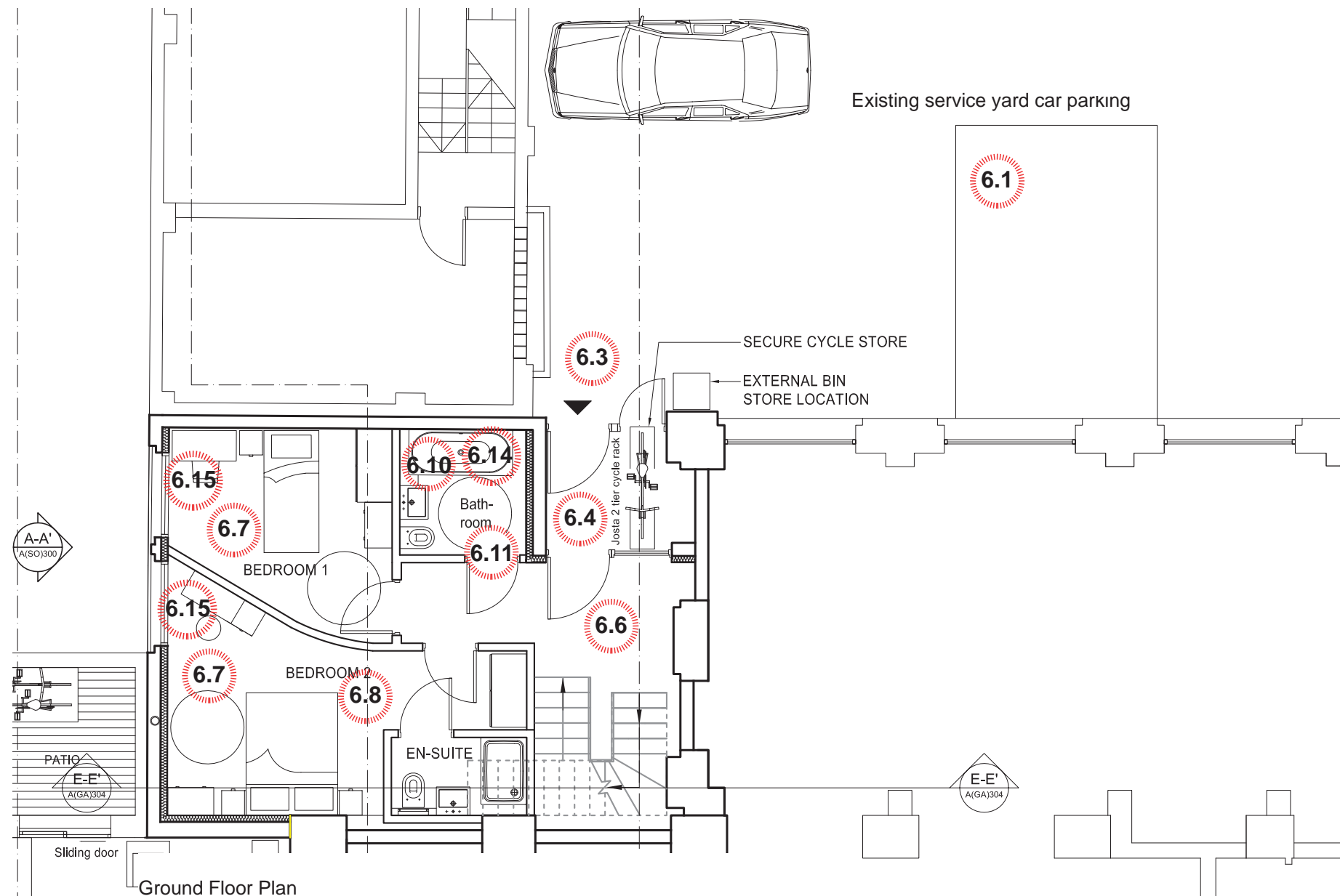
The main entrance at ground floor has a minimum effective clear opening width of 800mm. There is a 300mm clear space to the leading edge on the pull side of the entrance door

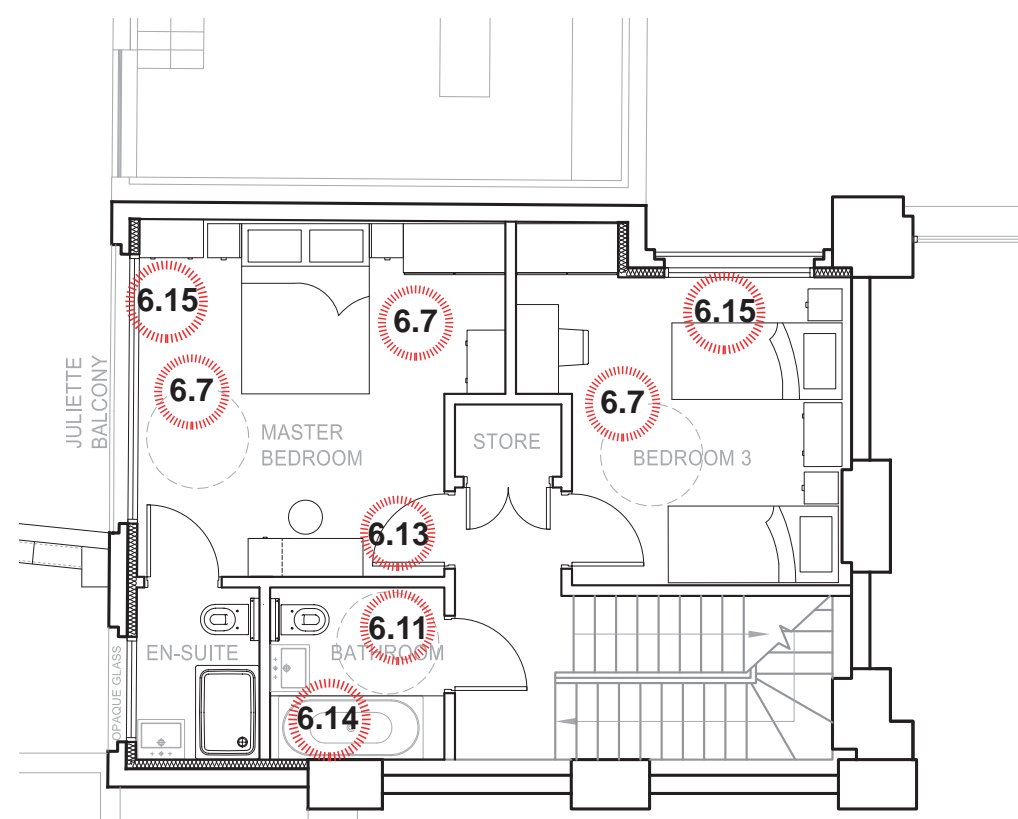
6.5 Communal Lifts

This is a single residential dwelling. A communal lift is not applicable.

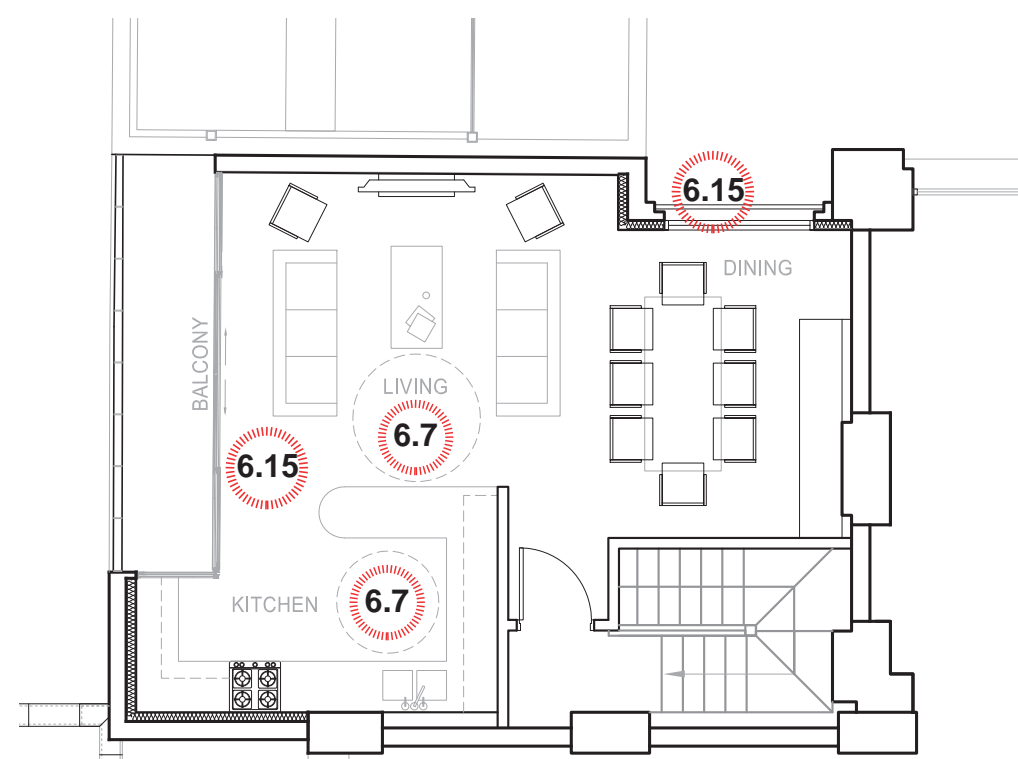
6.6 Internal doorways and hallways

All hallways are a minimum 1200mm width. All internal door clear opening widths are a minimum 775mm which complies with this criteria.





First Floor Plan



Second Floor Plan

6.7 Circulation Space

Living and dining areas have a clear turning circle of 1500mm diameter. Between items of furniture, there is sufficient room for essential circulation.

In the kitchen area there is a clear width of 1200mm between kitchen units.

The main bedroom has a clear space of 750mm width to both sides and the foot of the double bed.

The other bedrooms are capable of having a clear space, 750mm wide, to one side of the bed as well as a clear space of 750mm at the foot of the bed.

6.8 Entrance Level Living Space

The current design has two bedrooms (one single and one double) on the ground floor and the main living area on the second floor. There is capacity in the future for the ground floor double bedroom to be converted into a living or reception room to receive guests less able to access the top floor main living space. At 19sqm, there is sufficient area to form a second living room.

6.9 Potential for entrance level bed-space

There are two bedrooms on the ground floor level. This criteria is satisfied.

6.10 Entrance Level WC and Shower Drainage

An accessible bathroom has been provided on the ground floor entrance level. There is a shower facility and ease of access can be provided.

6.11 Toilet and Bathroom Walls

Walls in all bathrooms and WC compartments are capable of firm fixing and support for adaptations in the future.

6.12 Stair Lift / Through the Floor Lift

There is potential to adapt the stair to allow for a stair lift. The entrance level already has a bedroom and main bathroom, so a through the floor lift as detailed in this criteria is not required.

6.13 Potential for Hoists - Bedroom & Bathroom

The structure above the main bedroom and bathroom ceilings are capable of supporting ceiling hoists and the main bedroom has an ensuite as well as a main bathroom that could provide access with a knockout wall panel.

6.14 Bathrooms

An accessible bathroom is available at ground floor entrance and at first floor level next to the main bedroom and near the twin bedrooms.

6.15 Glazing and window handle heights

The large sliding windows in the main living room will allow people to see out when seated. All other windows in the bedrooms are approachable and usable by a wide range of people.

6.16 Location of Service Controls

Location of service controls will be within a height band of 450mm to 1200mm from the floor and a minimum of 300mm away from any internal room corner.

Appendix - Reduced set of A3 drawings

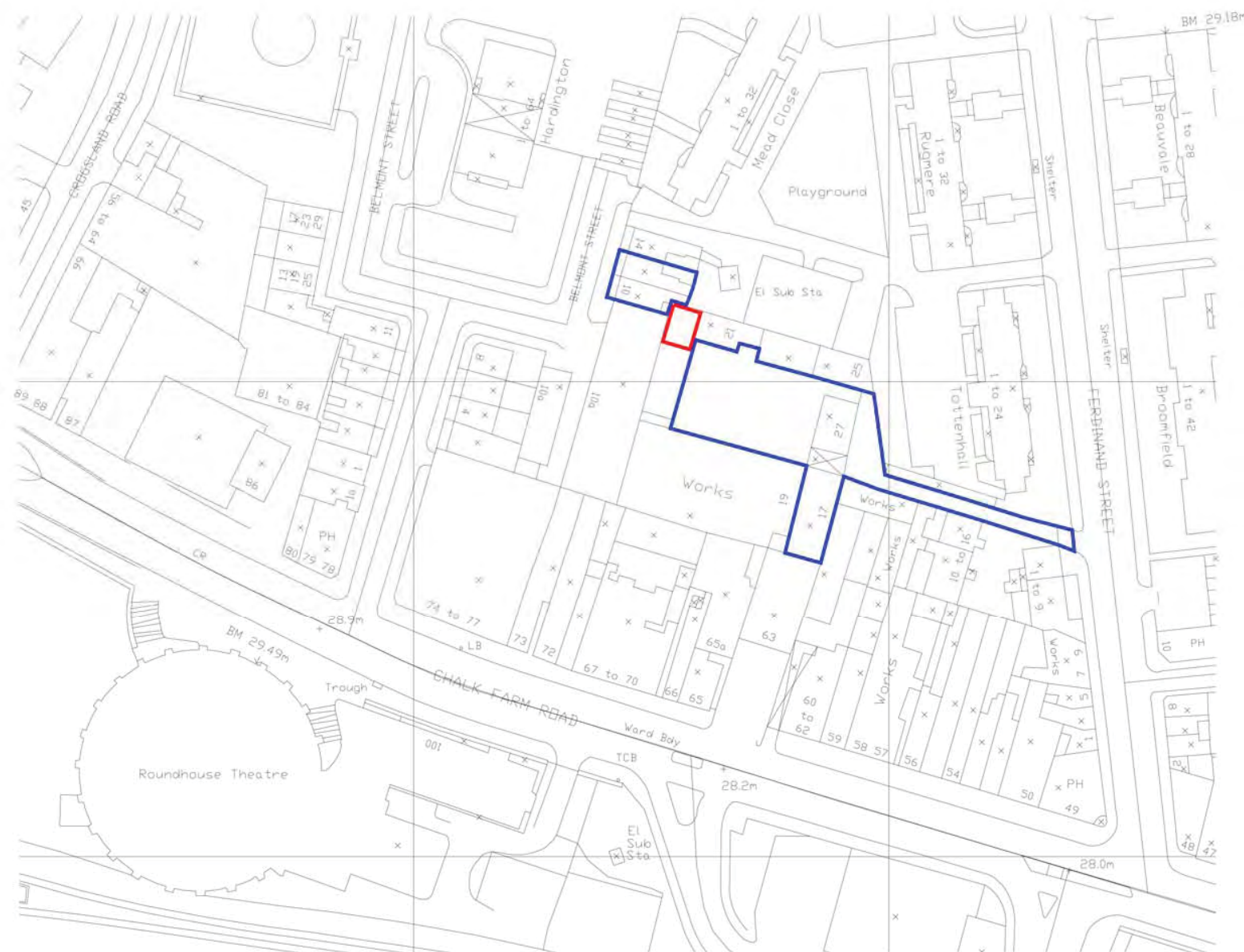
Existing Drawings:	131020-A(SO)001	Site location plan
	131020-A(SO)100	Ground floor plan
	131020-A(SO)300	Section A-A
	131020-A(SO)301	Section B-B
Extant Approved Drawings ref: 2014/0082/P:	131020-A(GA)100	Ground floor plan
	131020-A(GA)110	First floor plan
	131020-A(GA)120	Second floor plan
	131020-A(GA)130	Roof plan
	131020-A(GA)300	Section/Elevation AA
	131020-A(GA)301	Section/Elevation BB
	131020-A(GA)302	Section CC
	131020-A(GA)303	Section DD
	131020-A(GA)304	Section EE
Proposed Drawings:	140918-A(SO)001	Site location plan
	140918-A(GA)090	Proposed Basement floor plan
	140918-A(GA)100	Proposed Ground floor plan
	140918-A(GA)302	Proposed Section C-C
	140918-A(GA)303	Proposed Section D-D
	140918-A(GA)304	Proposed Section E-E

REVISIONS

No.	Date	By



— APPLICATION SITE
— LAND OWNED BY APPLICANT



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 Scale 1:1250

SITE LOCATION MAP

EXTANT APPROVED
 REF NO: 2014/0082/P

PLANNING APPLICATION

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 AT ONCE BEFORE PROCEEDING

Contemporary Design Solutions



48 Great Marlborough Street
 London
 W1F 7AN
 Telephone: 020 7484 9000 Fax: 020 7484 8944

Client:

WARMHAZE LTD

Project Title:

New build single dwelling house
 21A Ferdinand Street,
 LONDON NW1 8EU

Drawing Title:

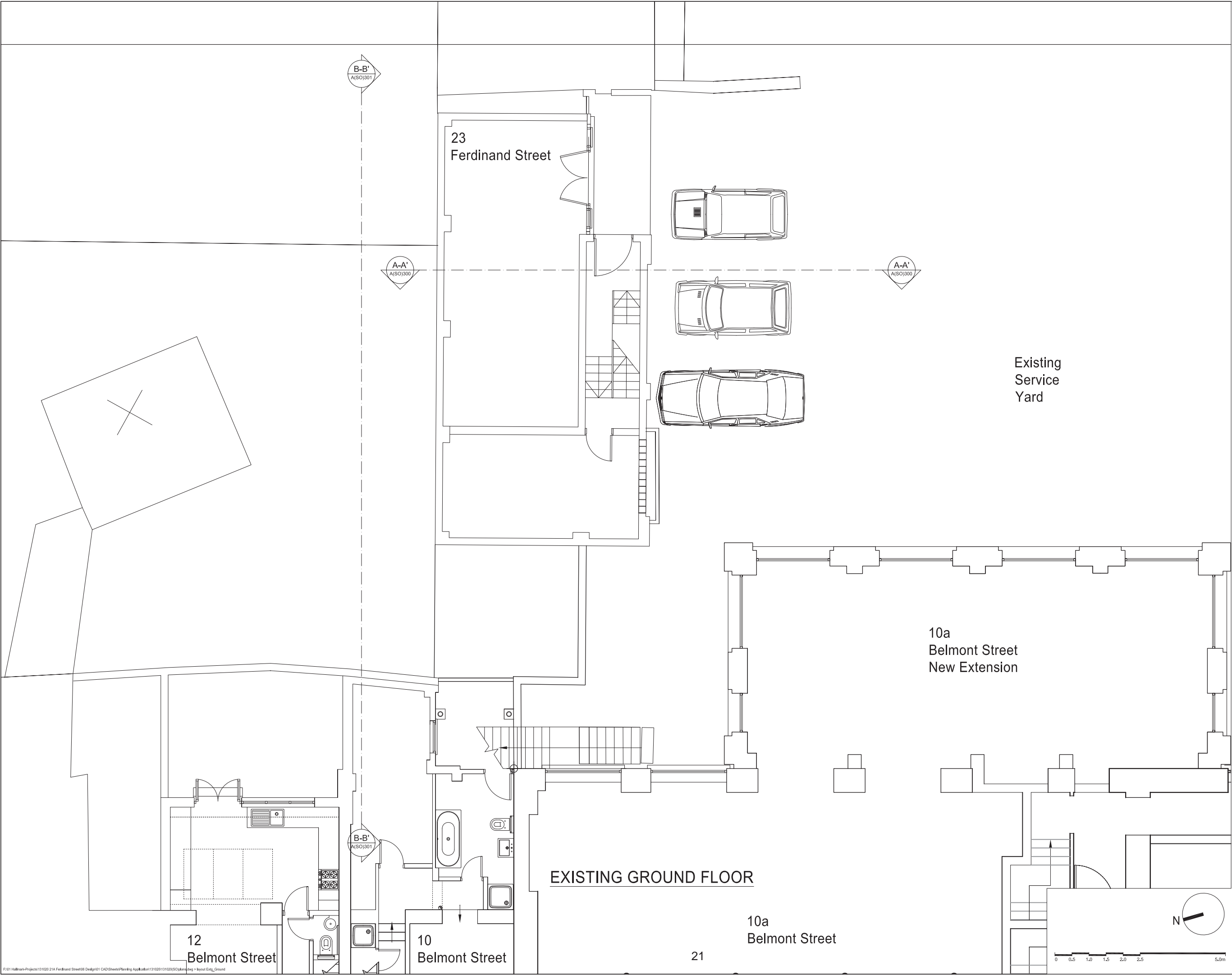
Site Location Plan

Scale: 1:1250@A3 Date: November 2013

Drawn: HS Checked: CT

Drawing No: 131020-A(SO)001

CAD plot date:



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Contemporary Design Solutions



46 Great Marlborough Street
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Client

WARMHAZE LTD

Project Title

New build single dwelling house
21A Ferdinand Street,
LONDON NW1 8EU

Drawing Title

Existing Ground Floor Plan

Scale 1: 50@A1, 1:100@A3 Date November 2013
Drawn LV Checked DL
Drawing No. Rev.

131020-A(SO)100 -

CAD plot dated 20 Nov 2013 - 11:14am



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Client

WARMHAZE LTD

Project Title

New build single dwelling house
21A Ferdinand Street,
LONDON NW1 8EU

Drawing Title

Existing Section A-A

Scale 1: 50@A1, 1:100@A3 Date November 2013

Drawn	HS	Checked	CT
Drawing No.			Rev.

131020-A(SO)300 -

CAD plot dates 12 Dec 2013 - 12:38pm



EXISTING SECTION B-B'

REVISIONS

Rev.	Date	By
-	-	-

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Client

WARMHAZE LTD

Project Title

New build single dwelling house
21A Ferdinand Street,
LONDON NW1 8EU

Drawing Title

Existing Section B-B

Scale 1: 50@A1, 1:100@A3 Date November 2013

Drawn	HS	Checked	CT
Drawing No.			Rev.


131020-A(SO)301 -

CAD plot dates 12 Dec 2013 - 12:39pm

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Rev.	Date	By

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 Proposed 21a Ferdinand Street House

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REF NO: 2014/0082/P

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88 Great Marlborough Street
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Client:

WARMHAZE LTD

Project Title:

New build single dwelling house
21A Ferdinand Street,
LONDON NW1 8EU

Drawing Title:

Proposed Ground Floor Plan

Scale	1: 50@A1, 1:100@A3	Date	November 2013
Drawn	HS	Checked	CT
Drawing No.	131020-A(GA)100	Rev.	-

CAD plot date: 12 Dec 2013 - 02:58pm

21
Ferdinand Street

Existing Service Yard

SECURE CYCLE STORE

EXTERNAL BIN
STORE LOCATION

10a
Belmont Street
New Extension

PROPOSED GROUND FLOOR

GIA: 47.6 sqm

12
Belmont Street

10
Belmont Street

10a
Belmont Street

24

N

0 0.5 1.0 1.5 2.0 2.5 5.0m

B-B'
A(SO)301

C-C'
A(GA)301

D-D'
A(GA)300

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Rev	Date	By

KEY

Proposed 21a Ferdinand Street House

EXTANT APPROVED
REF NO: 2014/0082/P

21
Ferdinand Street

A-A'
A(SO)300

A-A'
A(SO)300

Existing Service Yard

JULIETTE
BALCONY

MASTER
BEDROOM

STORE

BEDROOM 3

OPAQUE GLASS

EN-SUITE

BATHROOM

10a
Belmont Street
New Extension

E-E'
A(GA)304

E-E'
A(GA)304

B-B'
A(SO)301

C-C'
A(GA)301

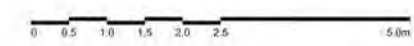
D-D'
A(GA)300

PROPOSED FIRST FLOOR
GIA: 51 sqm

12
Belmont Street

10
Belmont Street

10a
Belmont Street



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Contemporary Design Solutions

48 Great Marlborough Street
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Telephone: 020 7484 8000 Fax: 020 7484 4884

Client
WARMHAZE LTD


Project Title
New built single dwelling house
21A Ferdinand Street,
LONDON NW1 8EU

Drawing Title
Proposed First Floor Plan

Scale	1:50@A1, 1:100@A3	Date	November 2013
Drawn	HS	Checked	CT
Drawing No	131020-A(GA)110		
CAD plot date:	12 Dec 2013 - 03:02pm		

REVISIONS		
Rev.	Date	By

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Proposed 21a Ferdinand Street House

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REF NO: 2014/0082/P

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Contemporary Design Solutions


46 Great Marlborough Street
London W1P 7JY
Telephone: 020 7434 9000 Fax: 020 7434 4544

Client

WARMHAZE LTD

Project Title

New build single dwelling house
21A Ferdinand Street,
LONDON NW1 8EU

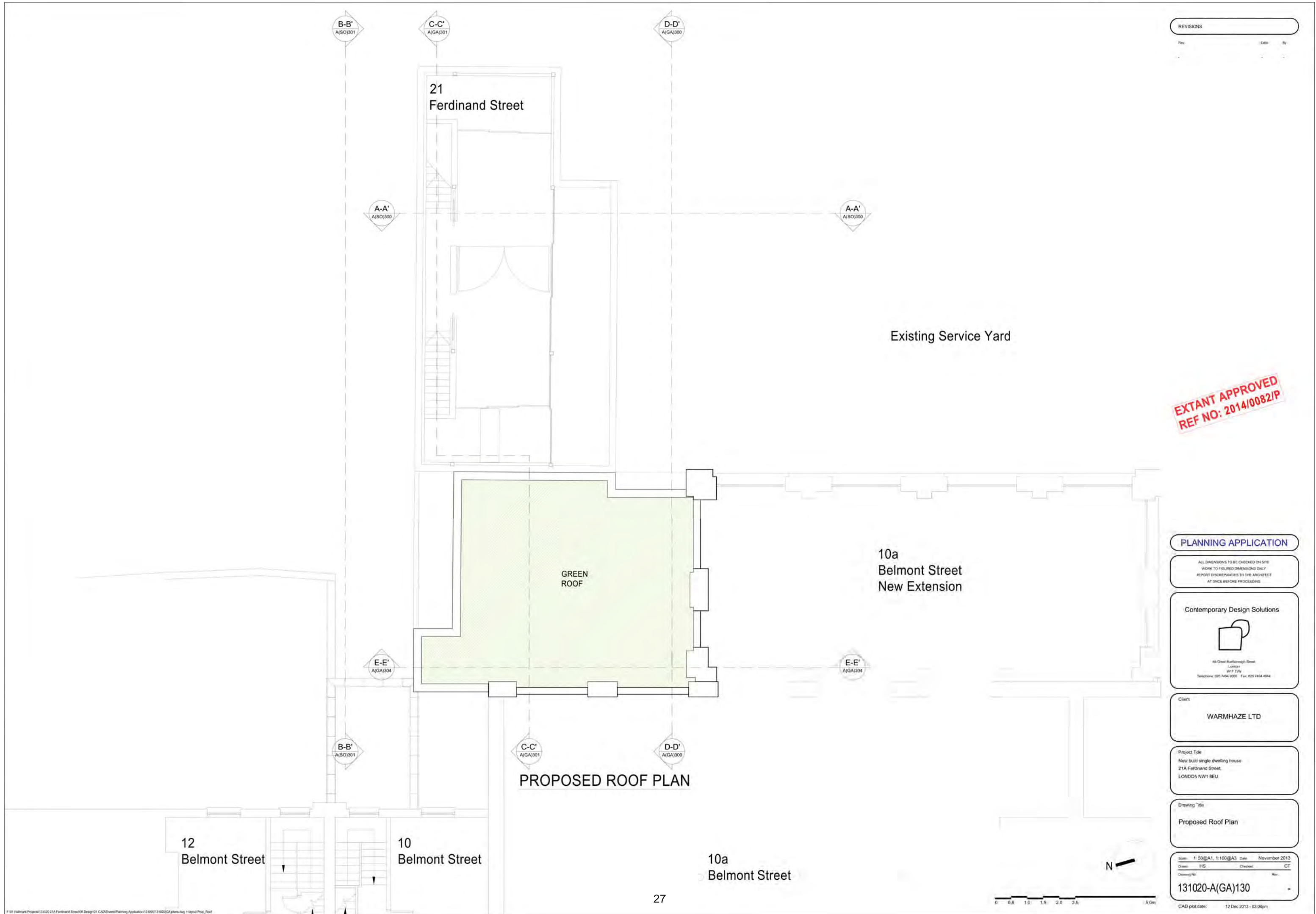
Drawing Title

Proposed Second Floor Plan

Scale: 1:50@A1, 1:100@A3 Date: November 2013
Drawn: HS Checked: CT
Drawing No.: 131020-A(GA)120 Rev.: -

CAD plot date: 12 Dec 2013 - 03.04pm





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Contemporary Design Solutions



40 Great Marlborough Street
London
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Client

WARMHAZE LTD

Project Title

New build single dwelling house
21A Ferdinand Street,
LONDON NW1 8EU

Drawing Title

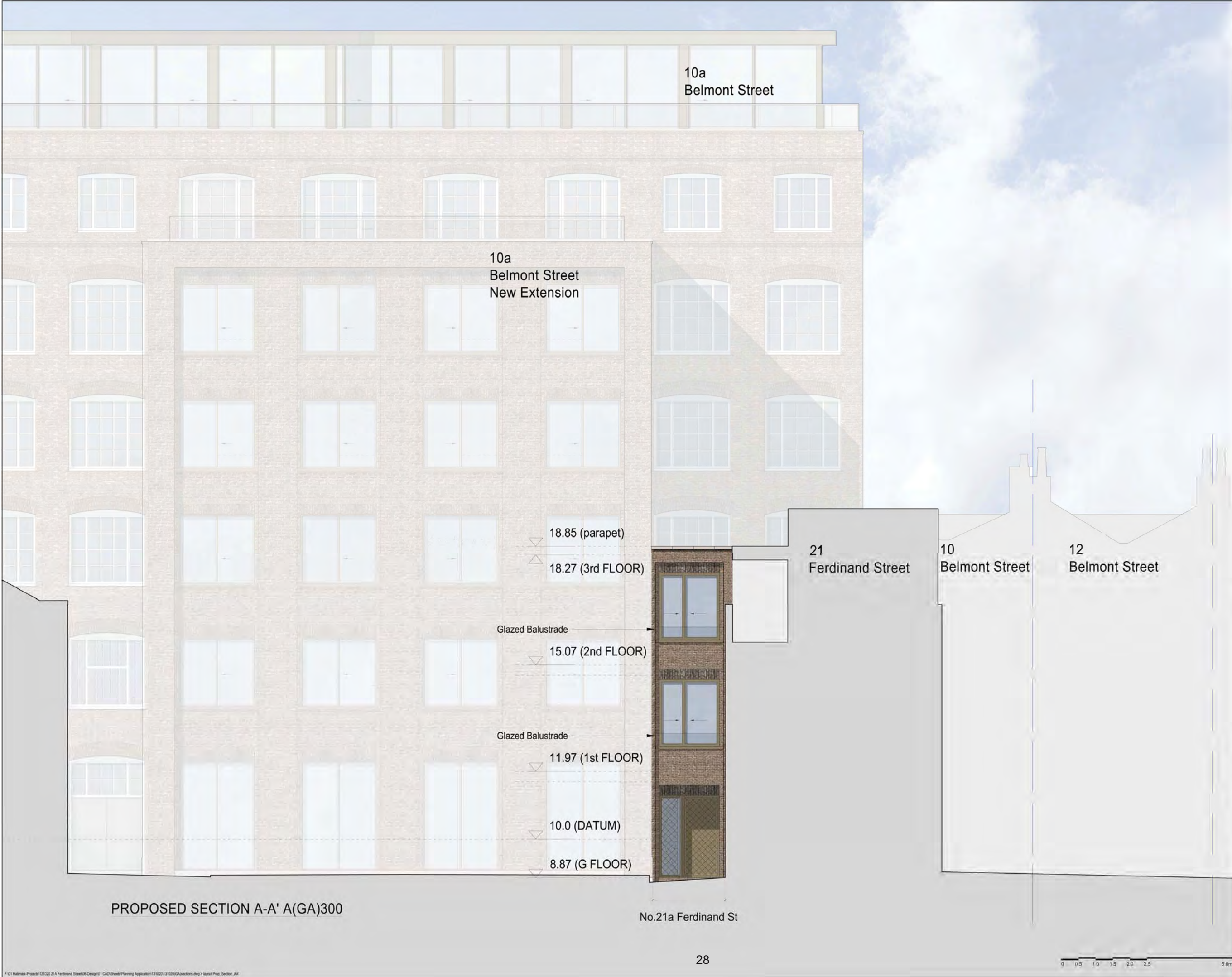
Proposed Roof Plan

Scale: 1:50 @ A1, 1:100 @ A3 Date: November 2013

Drawn: HS Checked: CT

Drawing No: 131020-A(GA)130

CAD plot date: 12 Dec 2013 - 03:04pm



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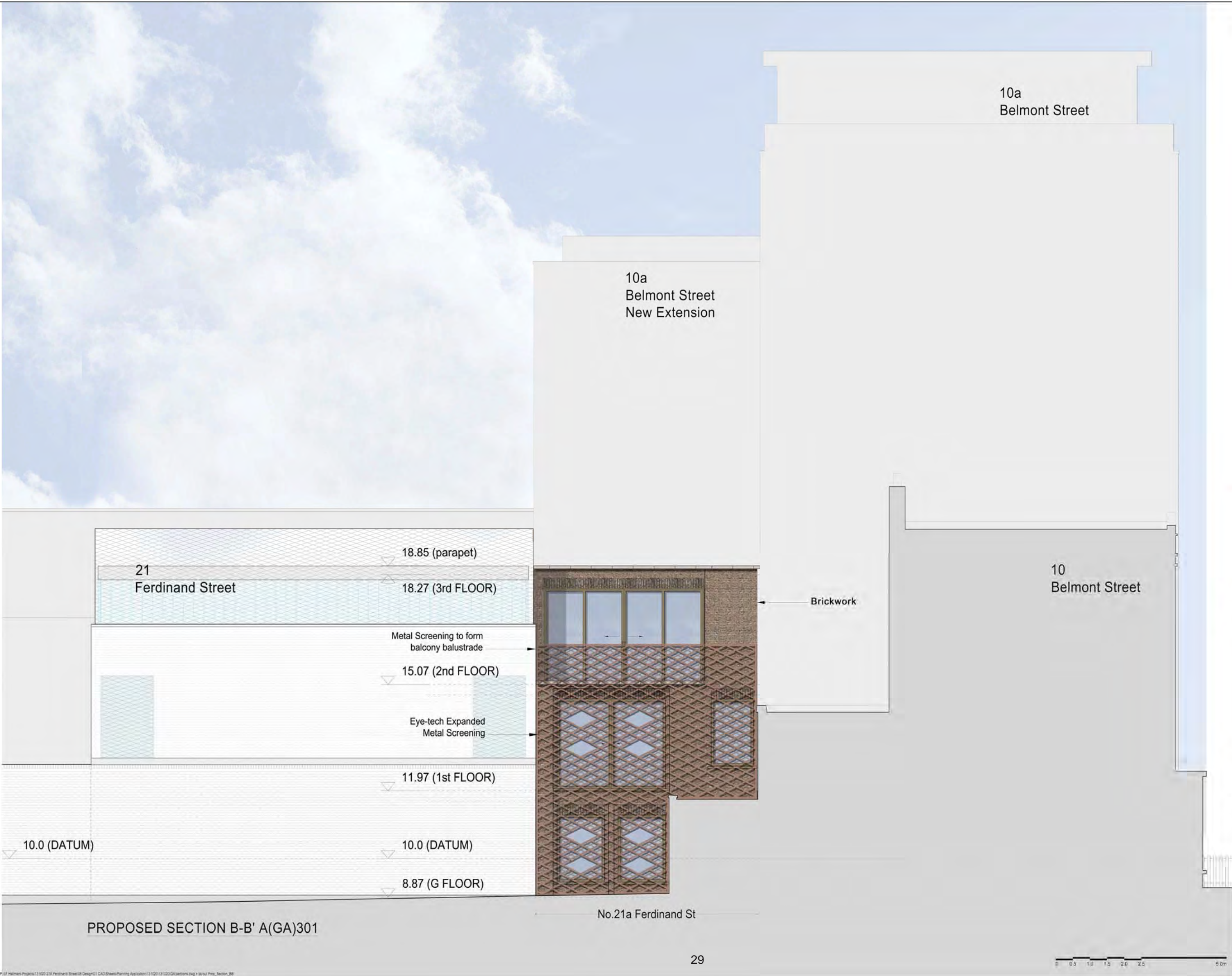
Client
WARMHAZE LTD

Project Title
New build single dwelling house
21A Ferdinand Street,
LONDON NW1 8EU

Drawing Title
Proposed Section AA'

Scale: 1: 50@A1, 1:100@A3 Date: November 2013
Drawn: HS Checked: CT
Drawing No: 131020-A(GA)300 Rev: -

CAD plot date: 11 Dec 2013 - 12:38pm



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48 Great Marlborough Street
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Telephone: 020 7494 9500 Fax: 020 7494 4044

Client

WARMHAZE LTD

Project Title

New build single dwelling house
21A Ferdinand Street,
LONDON NW1 8EU

Drawing Title

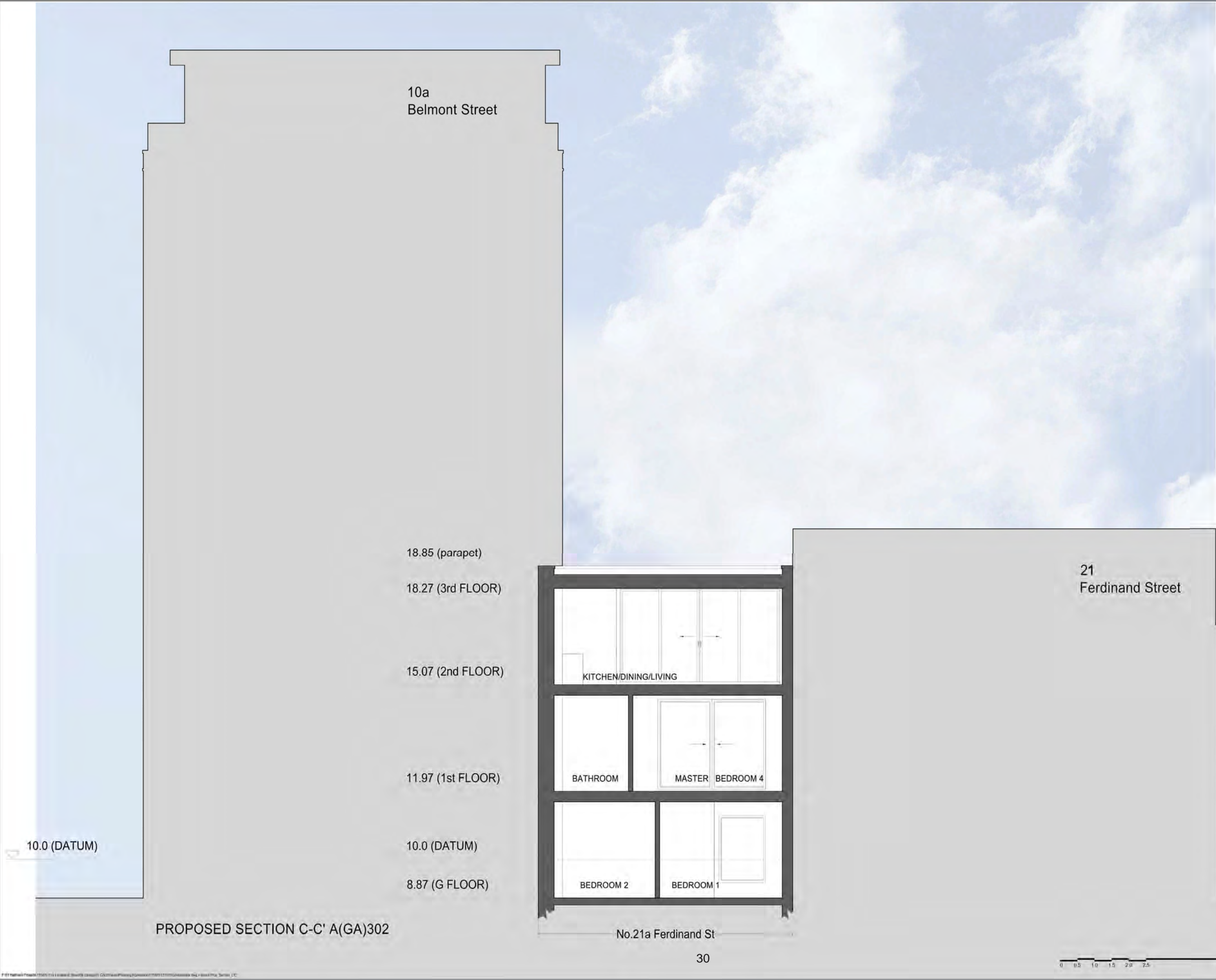
Proposed Section BB'

Scale 1: 50@A1, 1:100@A3 Date November 2013

Drawn HS Checked CT

Drawing No. 131020-A(GA)301 Rev. -

CAD plot date: 12 Dec 2013 - 03:07pm



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Rev.	Date	By
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Client

WARMHAZE LTD

Project Title

New build single dwelling house
21A Ferdinand Street,
LONDON NW1 8EU

Drawing Title

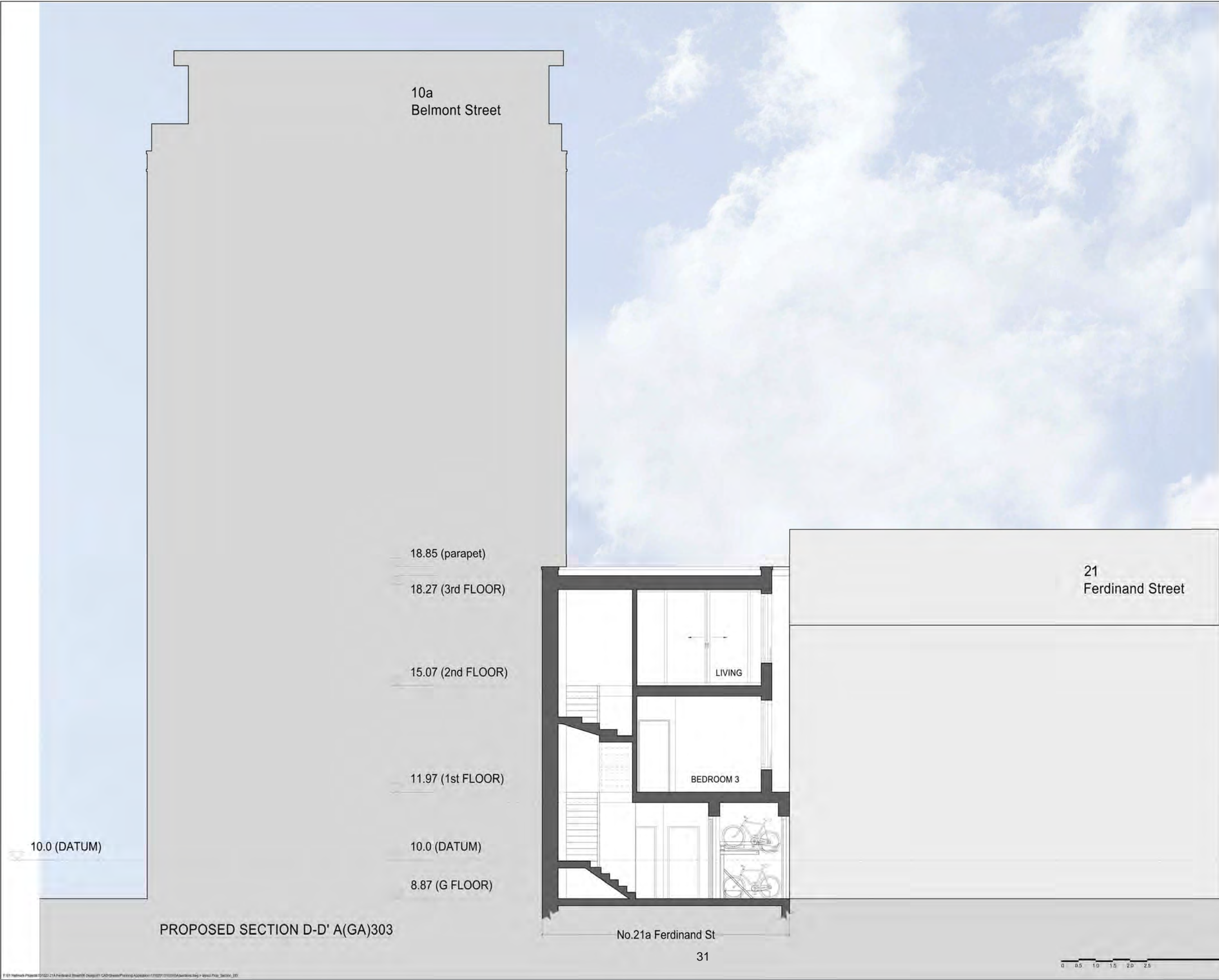
Proposed Section CC'

Scale 1: 50@A1, 1:100@A3 Date November 2013

Drawn HS Checked CT

Drawing No: 131020-A(GA)302 Rev: -

CAD plot date: 11 Dec 2013 - 10:09am



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Client

WARMHAZE LTD

Project Title

New build single dwelling house
21A Ferdinand Street,
LONDON NW1 8EU

Drawing Title

Proposed Section DD'

Scale 1: 50@A1, 1:100@A3 Date November 2013

Drawn HS Checked CT

Drawing No: 131020-A(GA)303 Rev: -

CAD plot date: 11 Dec 2013 - 10:12am



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Rev.	Date	By
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EXTANT APPROVED
REF NO: 2014/0082/P

PLANNING APPLICATION

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Contemporary Design Solutions



46 Great Marlborough Street
London
W1F 7JW
Telephone: 020 7494 9000 Fax: 020 7494 4041

Client

WARMHAZE LTD

Project Title

New build single dwelling house
21A Ferdinand Street,
LONDON NW1 8EU

Drawing Title

Proposed Section EE'

Scale 1: 50@A1, 1:100@A3 Date November 2013

Drawn HS Checked CT

Drawing No. 131020-A(GA)304 Rev. -

CAD plot date: 12 Dec 2013 - 03:19pm

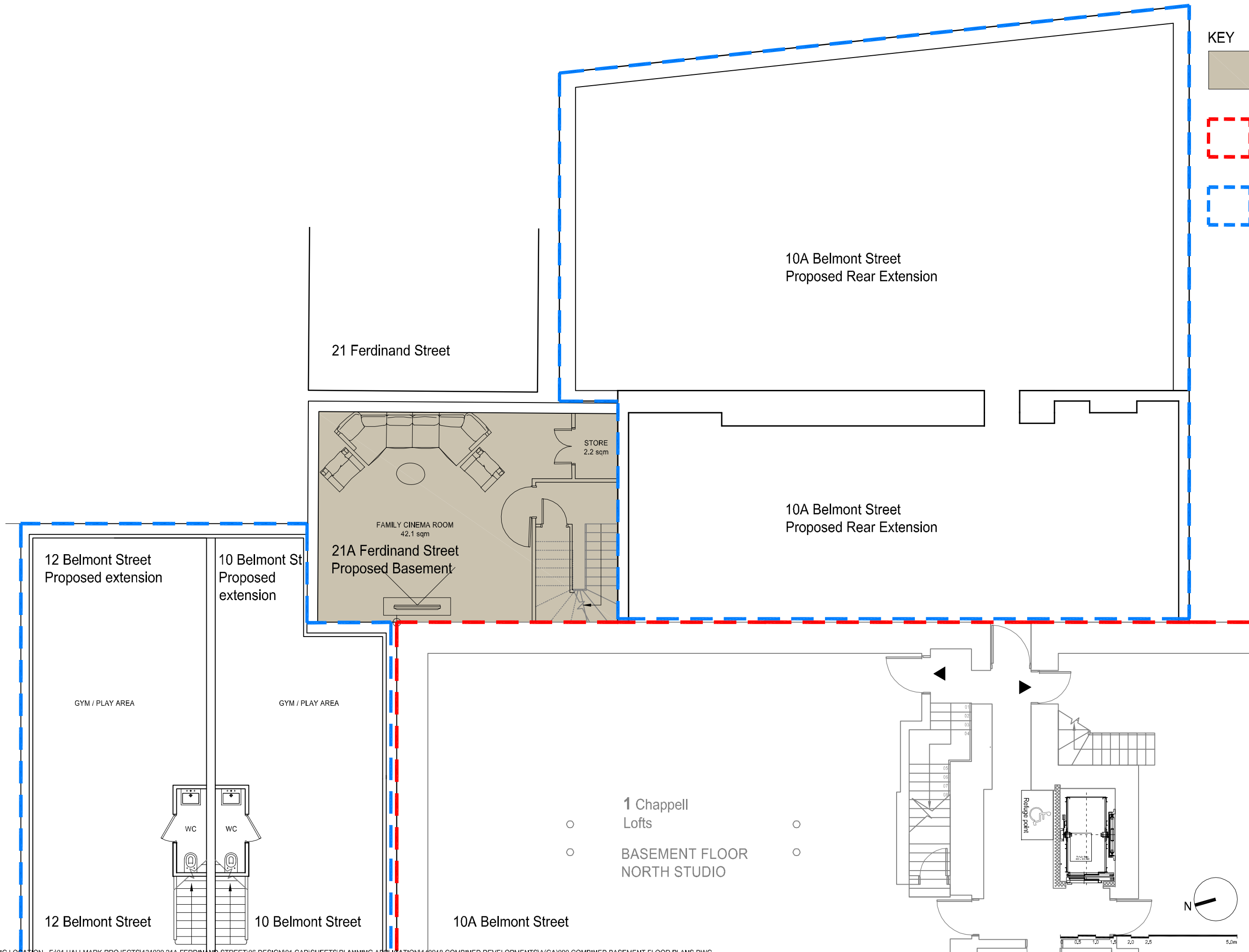
REVISIONS		
Rev.	Date	By

KEY

Proposed 21a Ferdinand Street House

Existing Developments

In Planning Process



PLANNING APPLICATION

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Contemporary Design Solutions

46 Great Marlborough Street
London
W1F 7JW
Telephone: 020 7494 9000 Fax: 020 7494 4944

Client

WARMHAZE LTD

Project Title

New built single dwelling house
21A Ferdinand Street,
LONDON NW1 8EU

Drawing Title

Proposed Combined Basement Plan

Scale 1: 50@A1, 1:100@A3 Date September 2014

Drawn	SN	Checked	DL
Drawing No.			Rev.

140918-A(GA)090

REVISIONS

Rev. Date By

KEY

Proposed 21a Ferdinand Street House

Existing Developments

In Planning Process

The only amendment to ground floor is removing the store to accommodate stair to basement

PLANNING APPLICATION

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Contemporary Design Solutions



46 Great Marlborough Street
London
W1F 7JW
Telephone: 020 7494 9000 Fax: 020 7494 4944

Client

WARMHAZE LTD

Project Title

New build single dwelling house
21a Ferdinand Street,
LONDON NW1 8EU

Drawing Title

Proposed Combined Ground Floor Plan

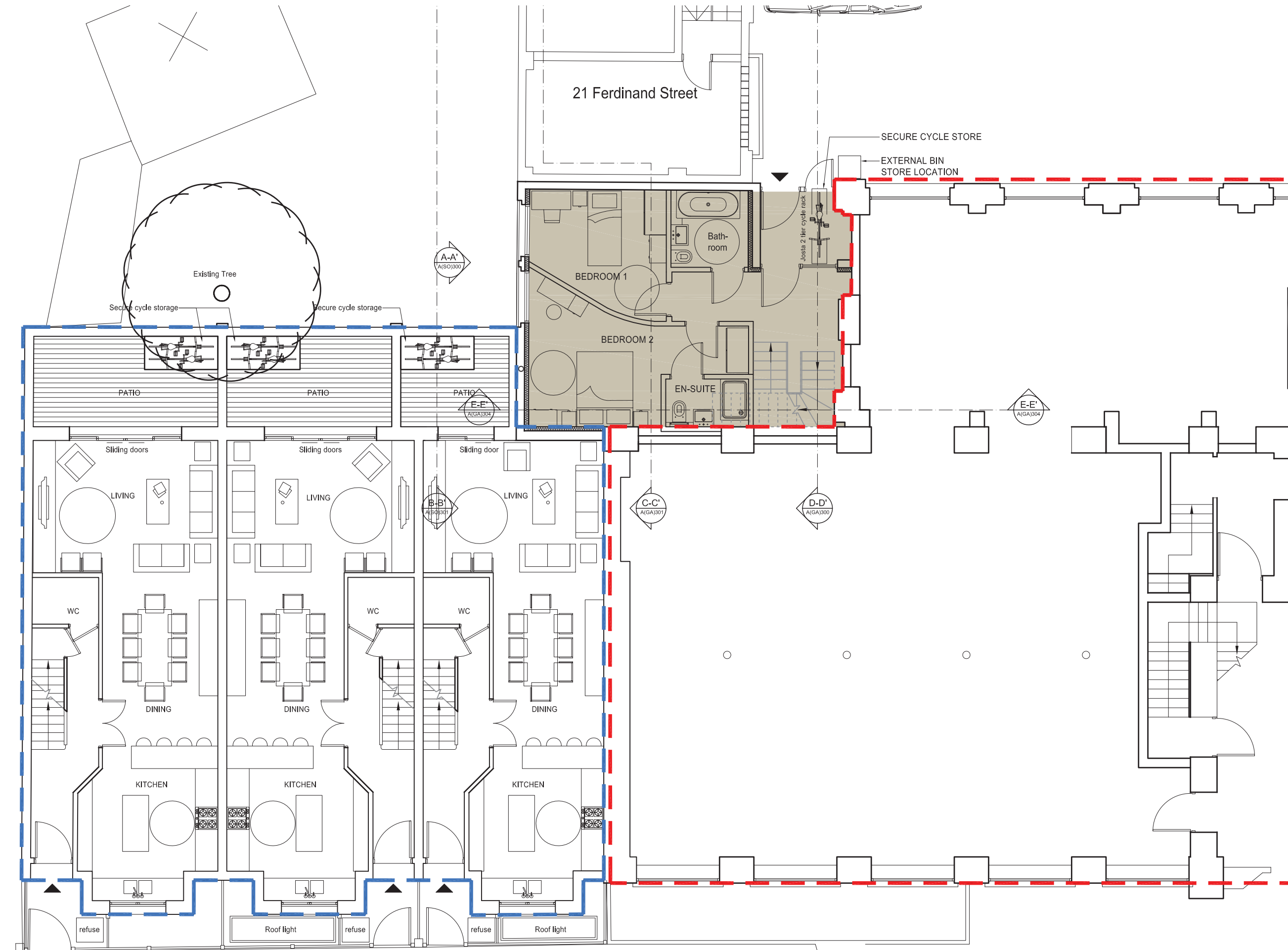
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Drawn SN Checked DL

Drawing No. Rev.

140918-A(GA)100

PLOT DATE - 9/19/2014 5:54 PM



14 Belmont Street

12 Belmont Street

10 Belmont Street

10A Belmont Street

REVISIONS

Rev. Date By

KEY

Proposed 21a Ferdinand Street House

Existing Developments

In Planning Process

Existing Service Yard

10a Belmont Street New Extension

21 Ferdinand Street

JULIETTE BALCONY

MASTER BEDROOM

STORE

BEDROOM 3

EN-SUITE

BATHROOM

Juliette Balcony

BEDROOM 1

Full height cupboard

BEDROOM 1

BEDROOM 1

B-B
A(80)301

C-C'
A(10)301

D-D'
A(10)300

E-E'
A(10)304

PROPOSED FIRST FLOOR

GLA: 51 sqm

10a Belmont Street

BEDROOM 2

BEDROOM 2

BEDROOM 2

BEDROOM 2

EN-SUITE

BATH-ROOM

STORE

BEDROOM 2

EN-SUITE

BATH-ROOM

STORE

BEDROOM 2

PLANNING APPLICATION

ALL DIMENSIONS TO BE CHECKED ON SITE
WORK TO FIGURED DIMENSIONS ONLY
REPORT DISCREPANCIES TO THE ARCHITECT
AT ONCE BEFORE PROCEEDING

Contemporary Design Solutions



46 Great Marlborough Street
London
W1F 7JW
Telephone: 020 7494 9000 Fax: 020 7494 4944

Client

WARMHAZE LTD

Project Title
New built single dwelling house
21A Ferdinand Street,
LONDON NW1 8EU

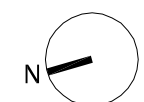
Drawing Title

Proposed Combined First Floor Plan

Scale 1: 50@A1, 1:100@A3 Date September 2014

Drawn SN Checked DL Rev.

140918-A(GA)110



0 0.5 1.0 1.5 2.0 2.5 5.0m

14 Belmont Street

12 Belmont Street

10 Belmont Street

10A Belmont Street

KEY

Proposed 21a Ferdinand Street House

Existing Developments

In Planning Process

Existing Service Yard

21 Ferdinand Street

10a Belmont Street New Extension

PROPOSED SECOND FLOOR

GIA: 46.4 sqm

10a Belmont Street

PLANNING APPLICATION

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Contemporary Design Solutions

46 Great Marlborough Street
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Telephone: 020 7494 9000 Fax: 020 7494 4944

Client

WARMHAZE LTD

Project Title
New built single dwelling house
21A Ferdinand Street,
LONDON NW1 8EU

Drawing Title

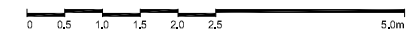
Proposed Combined Second Floor Plan

Scale 1: 50@A1, 1:100@A3 Date September 2014

Drawn SN Checked DL Rev.

140918-A(GA)120

PLOT DATE - 9/30/2014 3:11 PM



REVISIONS

Rev. Date By

KEY



Proposed 21a Ferdinand Street House



Existing Developments



In Planning Process

Existing Service Yard

21 Ferdinand Street

GREEN ROOF

10a Belmont Street New Extension

PROPOSED ROOF PLAN

10a Belmont Street

PLANNING APPLICATION

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Contemporary Design Solutions



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Client

WARMHAZE LTD

Project Title

New built single dwelling house
21A Ferdinand Street,
LONDON NW1 8EU

Drawing Title

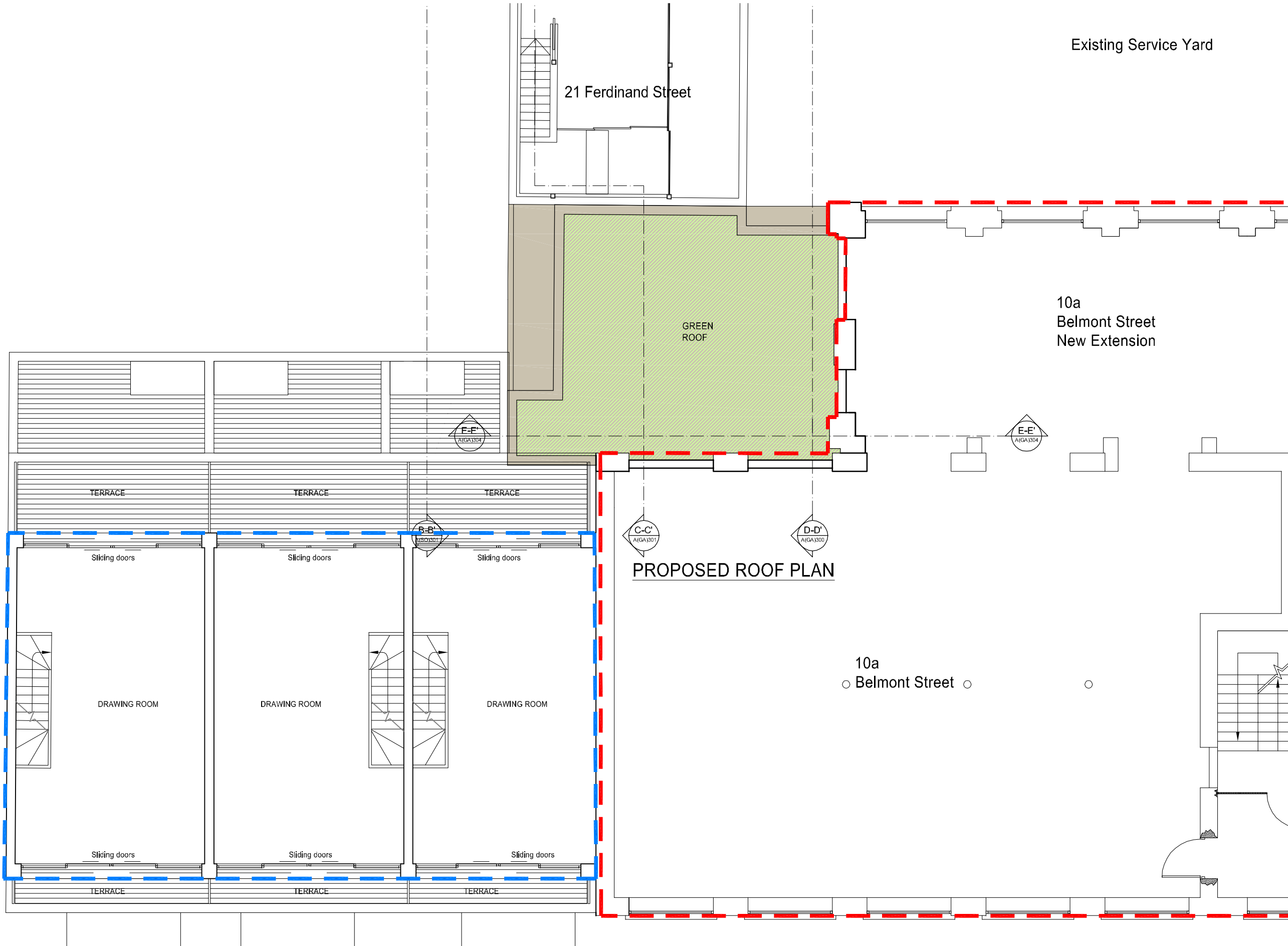
Proposed Combined Roof Plan

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Drawn SN Checked DL Rev.

140918-A(GA)130

PLOT DATE - 9/30/2014 3:16 PM

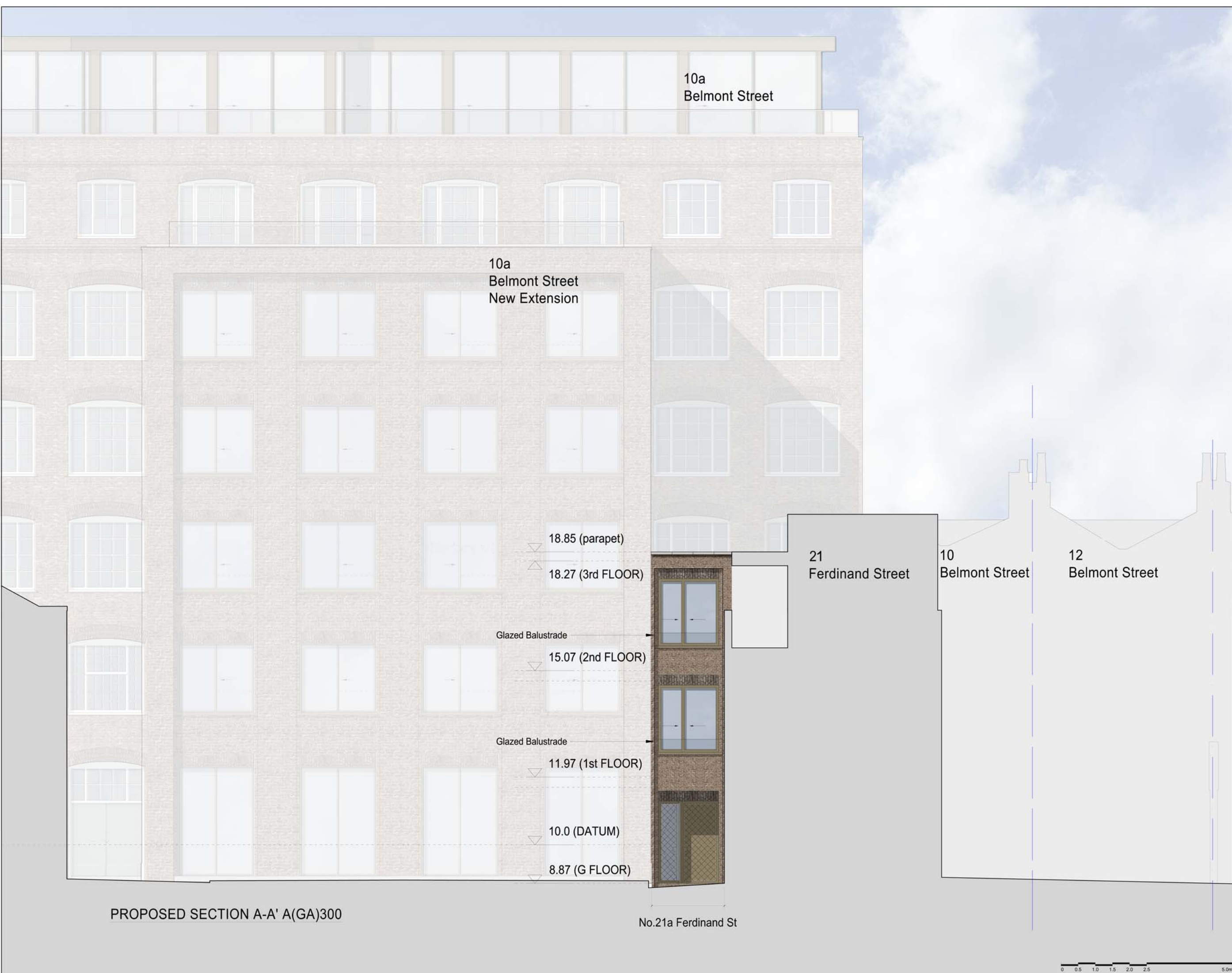


14 Belmont Street

12 Belmont Street

10 Belmont Street

10A Belmont Street



REVISIONS

Rev.	Date	By
-	-	-

PLANNING APPLICATION

ALL DIMENSIONS TO BE CHECKED ON SITE
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Contemporary Design Solutions



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Client

WARMHAZE LTD

Project Title

New built single dwelling house
21A Ferdinand Street,
LONDON NW1 6EU

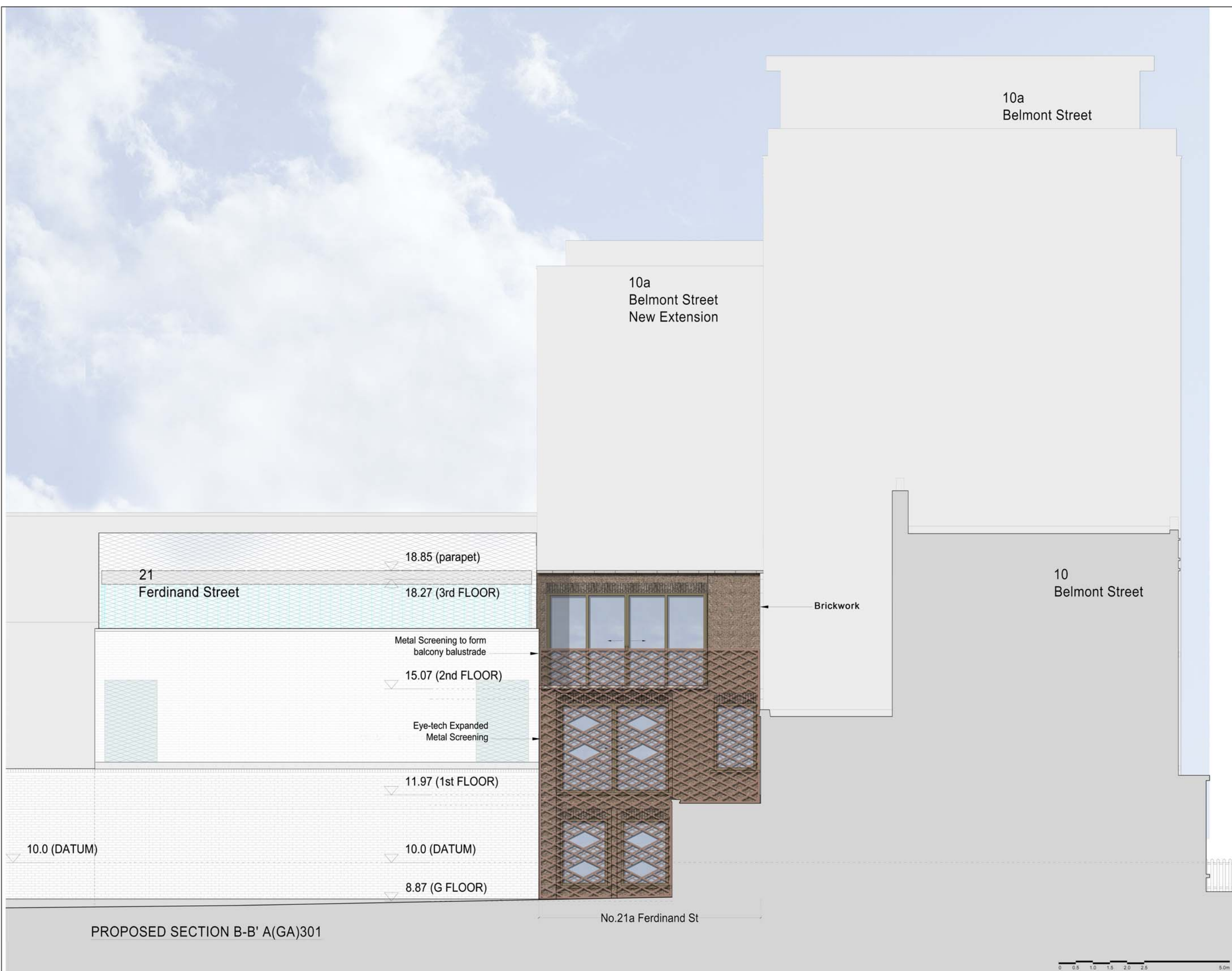
Drawing Title

Proposed Section AA'

Scale 1: 50@A1, 1:100@A3 Date September 2014

Drawn	SN	Checked	DL
Drawing No. 140918-A(GA)300			

Plot Date - 9/30/2014 3:25 PM



REVISIONS

Rev.	Date	By
-	-	-

PLANNING APPLICATION

ALL DIMENSIONS TO BE CHECKED ON SITE
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Contemporary Design Solutions



Client

WARMHAZE LTD

Project Title

New build single dwelling house
21A Ferdinand Street,
LONDON NW1 8EU

Drawing Title

Proposed Section BB'

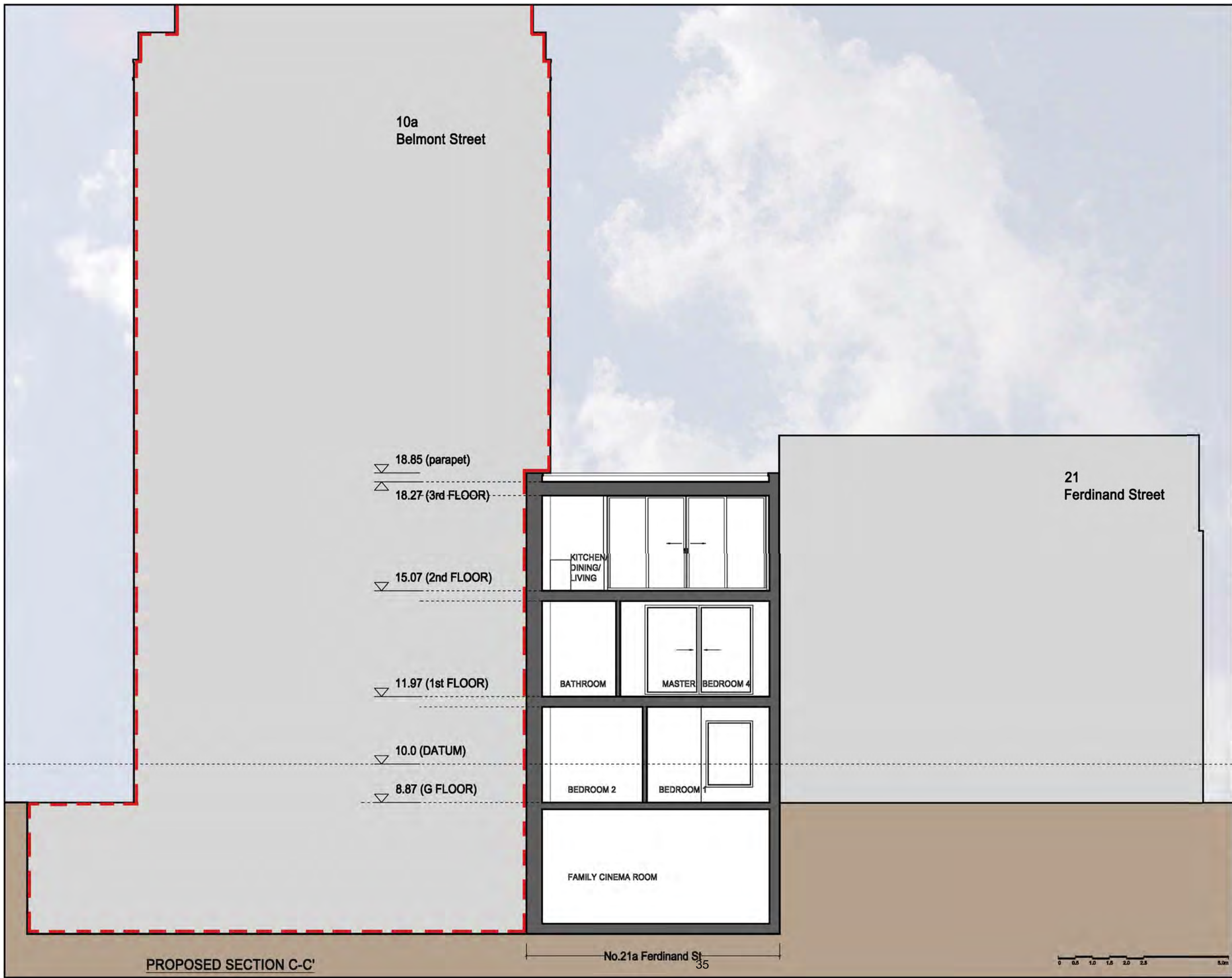
Scale 1: 50@A1, 1:100@A3 Date September 2014

Drawn: SN Checked: DL

Drawing No. 140918-A(GA)301

Rev.

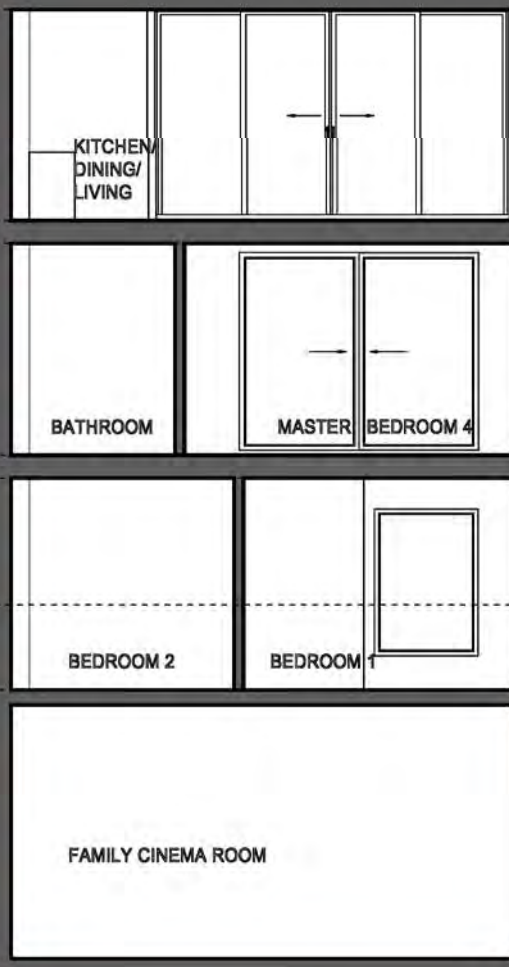
PLOT DATE - 9/30/2014 3:25 PM



10a
Belmont Street

21
Ferdinand Street

18.85 (parapet)
18.27 (3rd FLOOR)
15.07 (2nd FLOOR)
11.97 (1st FLOOR)
10.0 (DATUM)
8.87 (G FLOOR)



PROPOSED SECTION C-C'

No.21a Ferdinand St
35

0 0.5 1.0 1.5 2.0 2.5 5.0m

REVISIONS

Rev.	Date	By
-	-	-

KEY

 Existing Developments

 In Planning Process

PLANNING APPLICATION

ALL DIMENSIONS TO BE CHECKED ON SITE
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REPORT DISCREPANCIES TO THE ARCHITECT
AT ONCE BEFORE PROCEEDING

Contemporary Design Solutions


44 Great Westwood Street
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Client

WARMHAZE LTD

Project Title

New build single dwelling house
21A Ferdinand Street,
LONDON NW1 8EU

Drawing Title

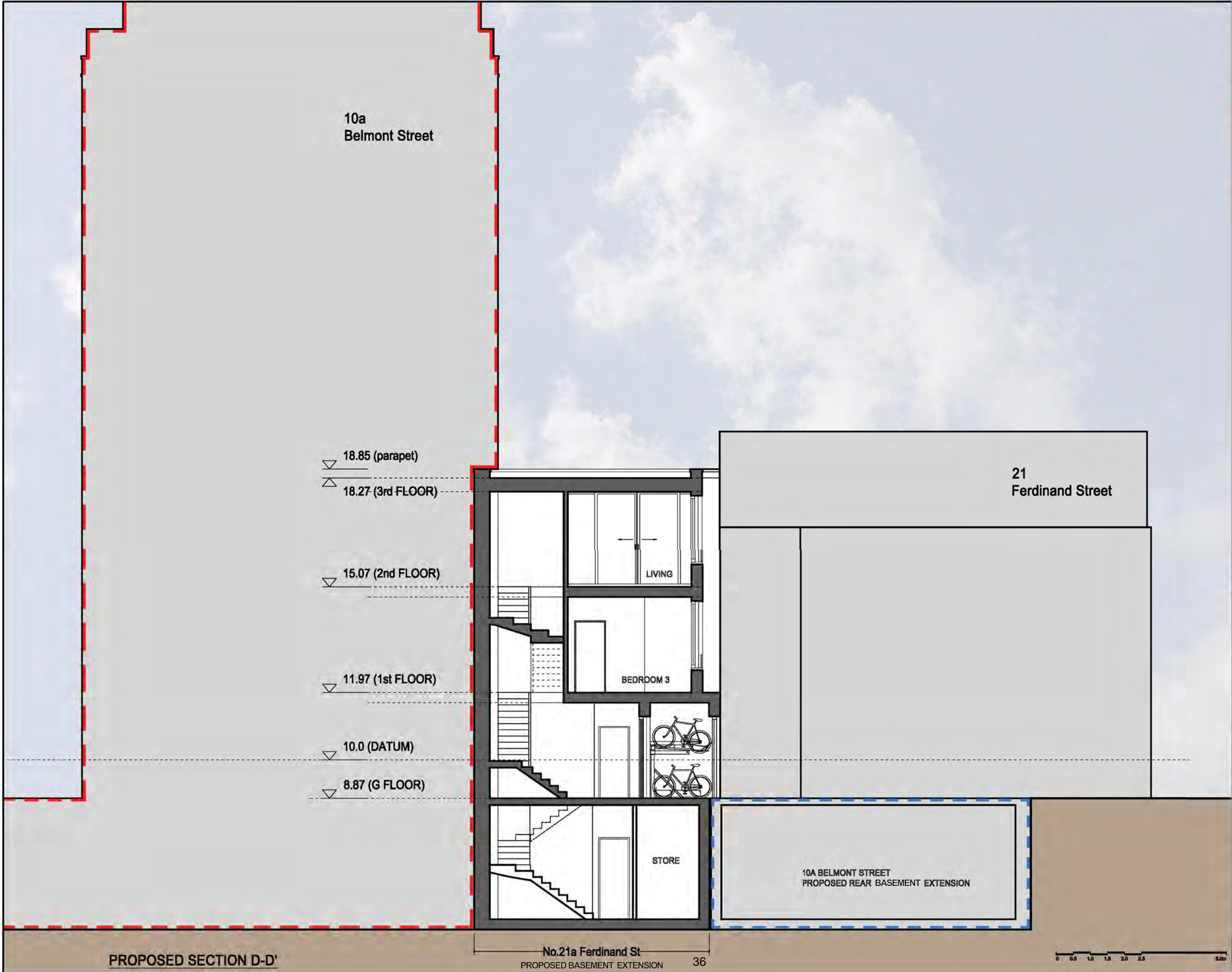
Proposed Section CC'

Scale: 1:50 @ A1, 1:100 @ A3 Date: September 2014

Drawn: SN Checked: DL

Drawing No: 140918-A(GA)302 Rev: -

CAD plot date:



REVISIONS

Rev.	Date	By
-	-	-

KEY


Existing Developments

In Planning Process

PLANNING APPLICATION

ALL DIMENSIONS TO BE CHECKED ON SITE.
WORK TO PROVIDED DIMENSIONS ONLY.
REPORT DISCREPANCIES TO THE ARCHITECT
AT ONCE BEFORE PROCEEDING.

Contemporary Design Solutions



44 Great Watlington Street
London
W1F 7JW
Telephone: 020 7484 9500 Fax: 020 7484 4944

Client

WARMHAZE LTD

Project Title

New build single dwelling house
21A Ferdinand Street,
LONDON NW1 8EU

Drawing Title

Proposed Section DD'

Scale 1: 500 A1, 1:1000 A3 Date September 2014

Drawn	Checked	Rev.
SN	DL	-

Drawing No. 140918-A(GA)303

CAD plot date:

