

**50 AVENUE ROAD**  
**50 Avenue Road London, NW8 6HS**



PLANNING SUBMISSION    JULY 2014

Previous application (withdrawn) Ref: 2013/6376/P

Pre-application consultation Ref: 9193730

**PLANNING APPLICATION SUBMISSION**

## INTRODUCTION

This document is submitted as part of a full planning application for the development of the site of 50 Avenue Road on behalf of Mr D N Budhrani

The application is for the extension and refurbishment of the existing dwellinghouse. This document will demonstrate that the proposed scheme is of appropriate scale and design, and will make a positive contribution to the Conservation Area.

This document should be read in conjunction with the other documents submitted in support of the application

## DESIGN TEAM

Client: Mr D N Budhrani

Architects: KSR Architects

Planning Consultants: Geoffrey Searle Planning Solicitors

Heritage Consultant - KM Heritage

Structural Engineers: Elliot Wood Partnership

M & E Engineers: Hoare Lea

Landscape Design: Randle Siddeley

Arboricultural Consultant: Landmark Trees

## SUPPORTING DOCUMENT LIST (separate document)

1. Structural and Civil Engineering Report  
(includes Hydrogeological Report, Site Investigation Report and Flood Risk Assessment)
2. Energy Statement
3. Sustainability Statement  
(includes Code for Sustainable Homes Pre-assessment)
4. Environmental Noise Survey
5. Arboricultural Impact Assessment Report

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2. Demolition drawings
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THIS DESIGN AND ACCESS STATEMENT SHOULD BE READ IN CONJUNCTION WITH OTHER CONSULTANTS' SEPARATE REPORTS

### BACKGROUND

The application for the complete demolition of the existing house (ref: 2013/6376/P) was submitted on October 2013 and withdrawn in February 2014.

Pre-planning consultation for the new scheme held on 27th February 2014 (Ref: 9193730).

### THE PROPOSAL

This document is submitted as full planning application for the proposed redevelopment of No. 50 Avenue Road on behalf of Mr D N Budhrani. The application is for a similar size house to the withdrawn application. The proposal retains the principle front elevation, side elevations and roof and it will involve partial demolition of the existing house and extensions including basement levels. Minor alterations to the side facades are proposed with reconfiguration and enhancement of the garage and rear facade.

### AMOUNT

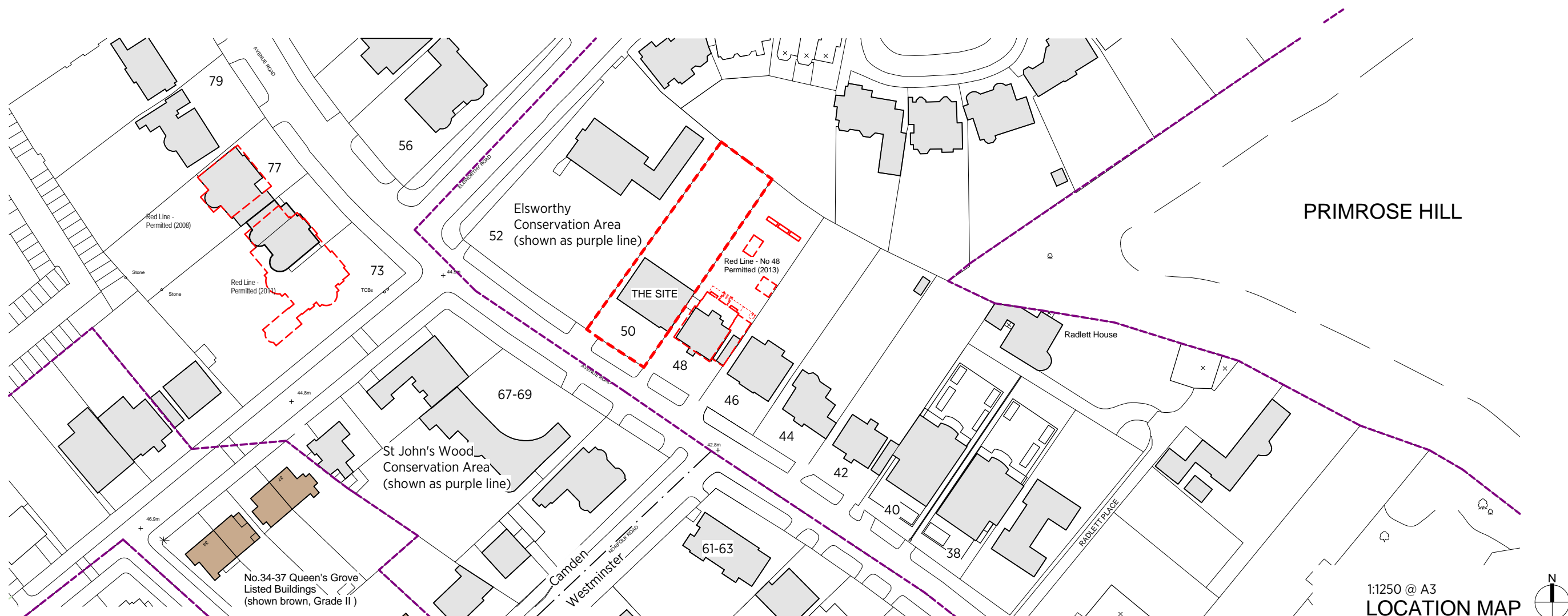
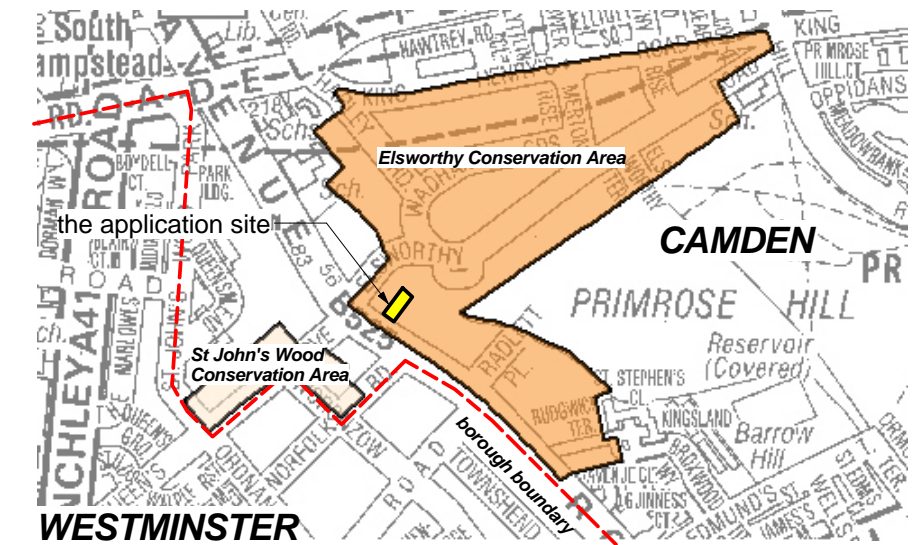
The proposed house area would be approx. 1,475m<sup>2</sup> (GROSS INTERNAL AREA) including basement accommodation. The existing dwelling house area is approx. 559m<sup>2</sup> (GROSS INTERNAL AREA).

### SITE AND SURROUNDINGS

The site is located within the Elsworthy Conservation Area close to the junction of Queen's Grove and Elsworthy Road.

The locality is principally made up of detached residential properties in a mix of styles including Queen Anne, Jacobean, Arts and Crafts, neo-Georgian and neo-classical. A mix of materials and aesthetics can be seen in the area. There are also a number of schools, higher education buildings and public buildings nearby, including a library, leisure centre and a community centre.

The site is well placed in respect of road infrastructure with links closely to routes in and out of central London. Local amenities include open parkland at Primrose Hill and Regent's Park.





79 Avenue Road



83 Avenue Road



89 Avenue Road



62 + 60 Avenue Road



58 + 56 Avenue Road



52 Avenue Road



THE SITE  
(50 Avenue Road)

50 + 48 Avenue Road



46 + 44 Avenue Road



77 Avenue Road (permitted scheme)



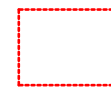
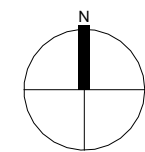
69 Avenue Road

Avenue Road is characterised by mature trees and large detached villas and semi-detached houses.

The character of the area is not defined by a consistent style. There is however consistency in regard to scale, massing and materials.

Generally single house buildings are of two or three storeys and materials are white render, brick and slate roofs.

The proposals which are traditional in their facade treatments have been designed to provide a cohesive elevation to the street and to be in character with other properties on Avenue Road



PERMITTED SCHEME

### EXISTING SITE PLAN

The site is single fronted with its front boundary to Avenue Road measuring 19.5m across.

The site area is 1,238.4m<sup>2</sup>

The site currently accommodates a detached single family house. There are two existing vehicular access crossovers from Avenue Road which remain as existing within the proposals.

The neighbouring property of No 48 Avenue Road have recently submitted a full planning application for the construction of rear extension and two storey basement. This application is currently under consultation.

The property at No 52-54 Avenue Road is currently derelict, fallen into disrepair and is awaiting redevelopment proposals.

No 46 Avenue Road was granted full planning permission in 2012 to extend the existing property and enlarge the existing basement to the rear. This construction has now been completed.





VIEW 1



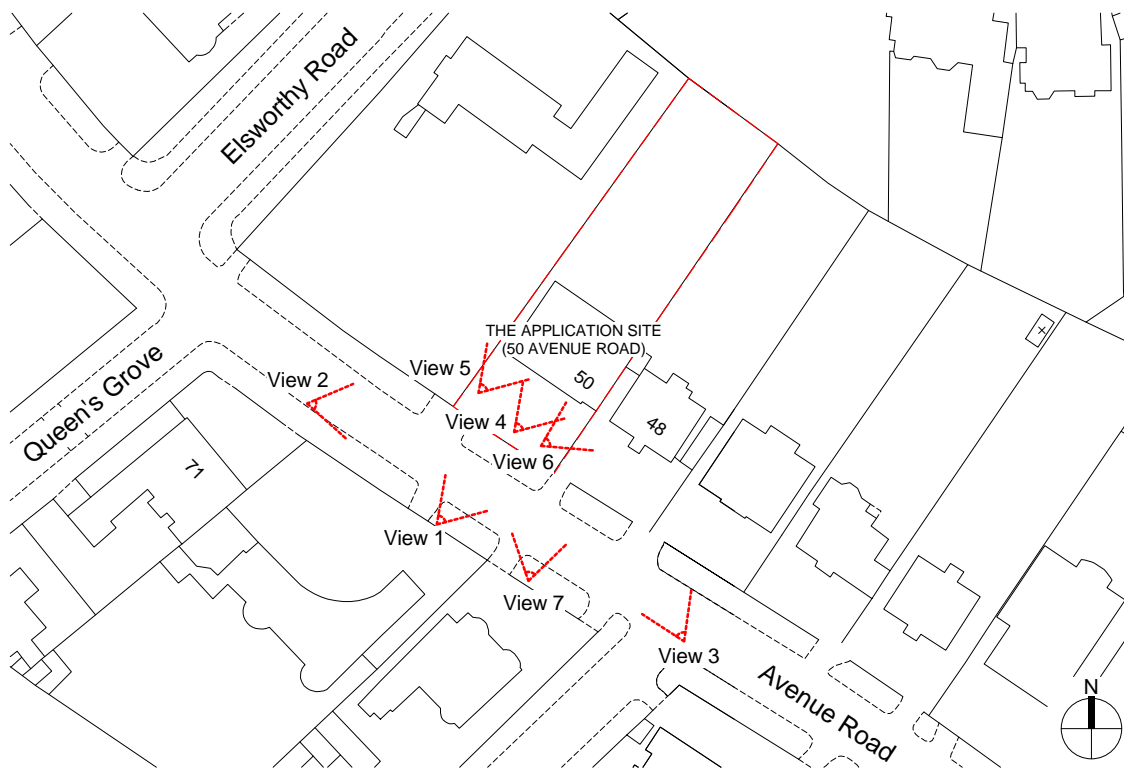
VIEW 2



VIEW 3



VIEW 4



VIEW 5



VIEW 6



VIEW 7



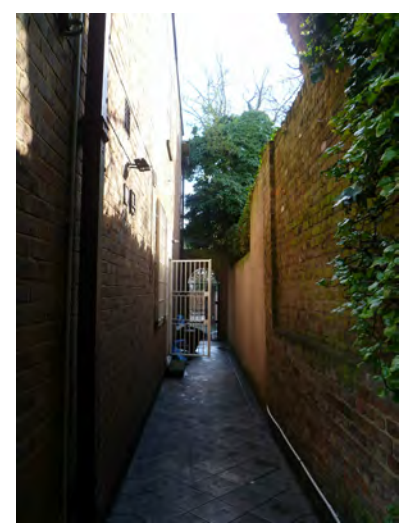
VIEW 1 - Rear facade



VIEW 2



VIEW 3



VIEW 4



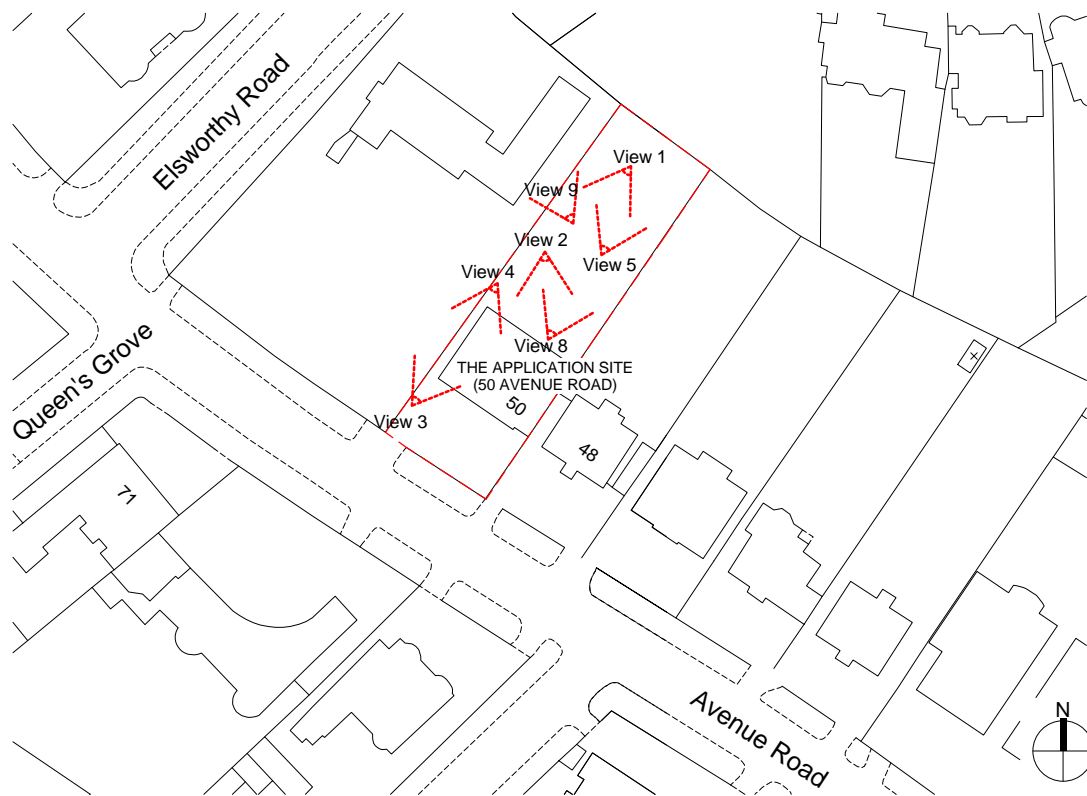
VIEW 5



VIEW 6



VIEW 7



VIEW 8



VIEW 9



VIEW 1



VIEW 2



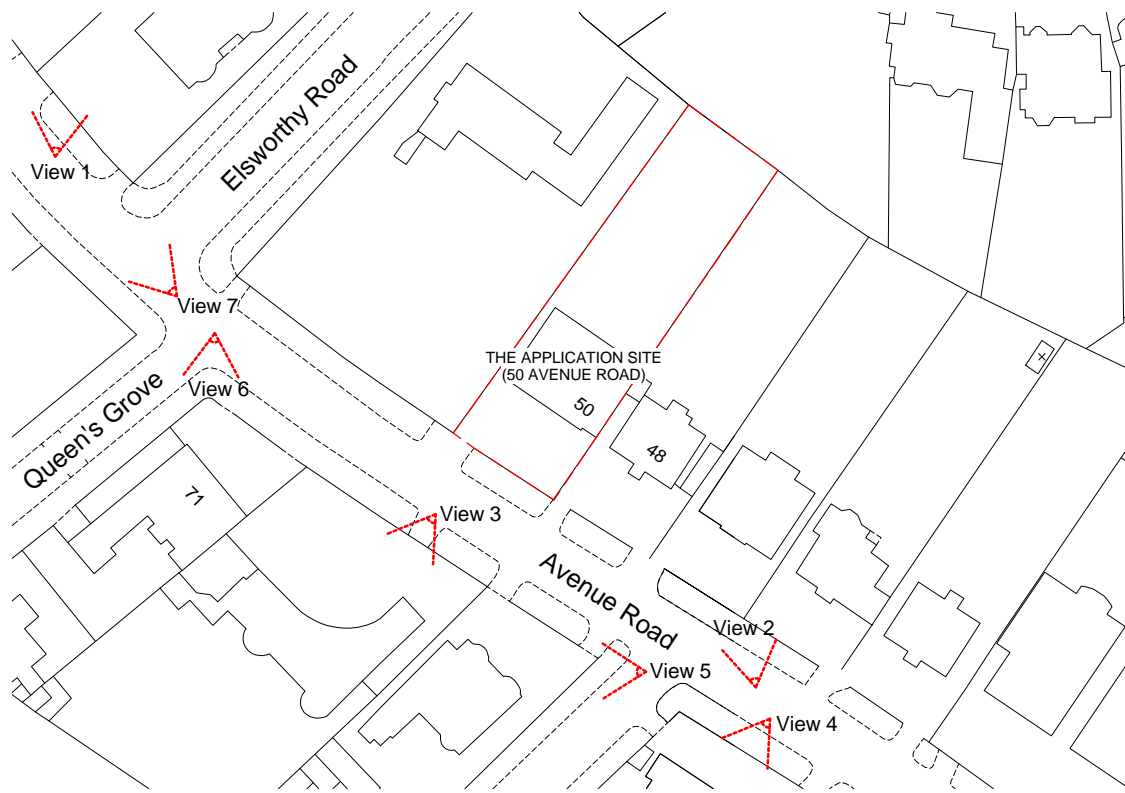
VIEW 3



VIEW 4



VIEW 5



VIEW 6



VIEW 7



### 50 AVENUE ROAD, LONDON NW8 6HS PLANNING STATEMENT

Accompanying applications for Conservation Area Consent and Planning Permission for the proposed extension and partial demolition of the existing house as shown on the drawings prepared by KSR Architects

1. The proposed development is described in detail in the Design and Access Statement and the drawings submitted by KSR Architects. Hydrogeological and structural and engineering aspects based on a site investigation, relating in particular to the proposed sub-surface development is the subject of the report by Elliott Wood Partnership. Energy, Sustainability, Code for Sustainable Homes and Utilities aspects are all dealt with in specialist reports, as are arboricultural and landscape aspects.

2. The purpose of this Planning Statement is to draw threads together and consider the issues of planning and heritage policies relevant to these proposals and the detailed reports referred to.

3. The development plan comprises the Local Development Framework, in particular Camden's Core Strategy 2010-2025 ("CS") and Camden Development Policies ("CDP"), both adopted in November 2010, and the London Plan of July 2011. These are supplemented by Supplementary Planning Documents, in particular Camden's Planning Guidance 2011.

4. At national level, the National Planning Policy Framework ("NPPF") of March 2012 is a material consideration.

5. The application site and the existing house fall within the Elsworthy Road Conservation Area, and the Elsworthy Road Conservation Area Appraisal and Management Strategy (July 2009) is a material consideration.

6. Relevant Policies

We have identified the following policies as of particular relevance to these proposals:

#### From Camden's Core Strategy and Development Policies:

- CS4- areas of more limited change
- CS5- managing the impact of growth and development
- CS6- providing quality homes
- CS11- promoting sustainable and efficient travel
- CS13-tackling climate change
- CS14- promoting high quality places and conserving our heritage
- CS17- making Camden a safer place
- CS18- dealing with our waste and encouraging recycling
- DP2- making full use of Camden's capacity for housing
- DP5-homes of different sizes
- DP6- Lifetime homes and wheelchair housing
- CS11- promoting sustainable and efficient travel
- CS13-tackling climate change
- CS14- promoting high quality places and conserving our heritage
- CS17- making Camden a safer place
- CS18- dealing with our waste and encouraging recycling
- DP2- making full use of Camden's capacity for housing
- DP5-homes of different sizes
- DP6- Lifetime homes and wheelchair housing
- DP16- the transport implications of development
- DP17- walking, cycling and public transport
- DP18- parking standards and limiting the availability of car parking

DP22- promoting sustainable design and construction

DP23- water

DP24- securing high quality design

DP25- conserving Camden's heritage

DP26- managing the impact of development on occupiers and neighbours

DP27- basements and lightwells

DP28- noise and vibration

DP29- improving access

#### Camden Planning Guidance

CPG 1 Design

CPG 2 Housing

CPG 3 Sustainability

CPG 4 Basements and lightwells

CPG 6 Amenity

CPG 7 Transport

CPG 8 Planning Obligations

#### From The London Plan:

Policies 3.4 (optimising housing potential), 3.5 (Quality and Design of Housing Developments), and 7.4. (Local Character)

#### From the NPPF:

relevant paragraphs are mentioned in the planning appraisal below.

#### 7. Planning Appraisal

The purpose of this Appraisal is to consider the application proposals as a whole against the backcloth of the policies which we believe to be most relevant to them in what we believe is a logical order, and then to sweep up by considering other detailed aspects which will no doubt also be taken into account by the Local Planning Authority ("LPA").

Policies CS4 and CS14 and DP25 are all designed to ensure that developments will respect the character of the surroundings of an application site and that heritage and other important features will be conserved, and these aspects are emphasised in the heritage appraisal. We draw attention to NPPF paragraph 58, in particular the third bullet point seeking decisions which "optimise the potential of the site to accommodate development" while (next bullet) responding "to local character and history". In this case the use of the cleared site to provide a larger well-designed high quality family dwelling and established garden in keeping with the pattern of large individual houses in Avenue Road will be consistent with all these policy requirements. It should be noted that the amount of additional floorspace when compared with the existing shows an *overall* increase of 1060.9 sq.m. gross external area. However, much of this additional floorspace will be in the basement and will be *non-habitable*. The increase in habitable floorspace will be just 80.8 sq. metres gross external floorspace and thus well below the 1000 sq. m threshold for the provision of affordable housing in policy DP3 and CP2, para. 2.23 "in assessing capacity, the Council will take into account whether the additional area is capable of forming habitable space".

Turning now to the sub-surface/basement aspects of the development, as required by policy DP27 the application documents include reports from Elliott Wood Partnership, structural engineers who are very experienced at basement developments and their effects, incorporating a hydrogeological report, together with landscaping proposals. These reports indicate compliance with the detailed indicators in the policy, in particular that the structural stability of the proposed buildings and neighbouring properties will be maintained, that drainage and other water issues will not be adversely affected. Although there has been a recent resolution to grant planning permission for basement development at the adjoining property at no. 48 (Camden ref: 2012/3861/P) the DAS notes that the two developments will be well separated, so as not to create cumulative stability problems. It should be evident from due consideration of the drawings and reports during a site visit that there would be no harm to neighbours, no material loss of open space or valuable trees and that the proposed landscaping will play its part in enhancing the conservation area.

The existing dwelling enjoys the benefit of an "in-out" drive and garage and can consequently accommodate several cars. It is intended to replace this arrangement with a car stacker for two cars, which is comparatively modest for a dwelling of this scale and consistent with dwellings in Avenue Road. Energy and Sustainability aspects are covered in the report by Hoare Lea, showing compliance with Policy DP22.

The development would be respectful of the amenity of neighbours achieved through appropriate orientation of buildings and windows to minimise impact on privacy or overlooking, providing continuity of building lines front and rear, ensuring no impact on sunlight or daylight and complying with all other relevant aspects of Policy DP26.

In conclusion, our assessment is that this development will make a positive contribution to the supply of high quality housing in the borough, will maximise the acceptable use of the site and will positively enhance the character of the Conservation Area, whilst complying with the relevant policies in CS, CDP and the London Plan and NPPF.

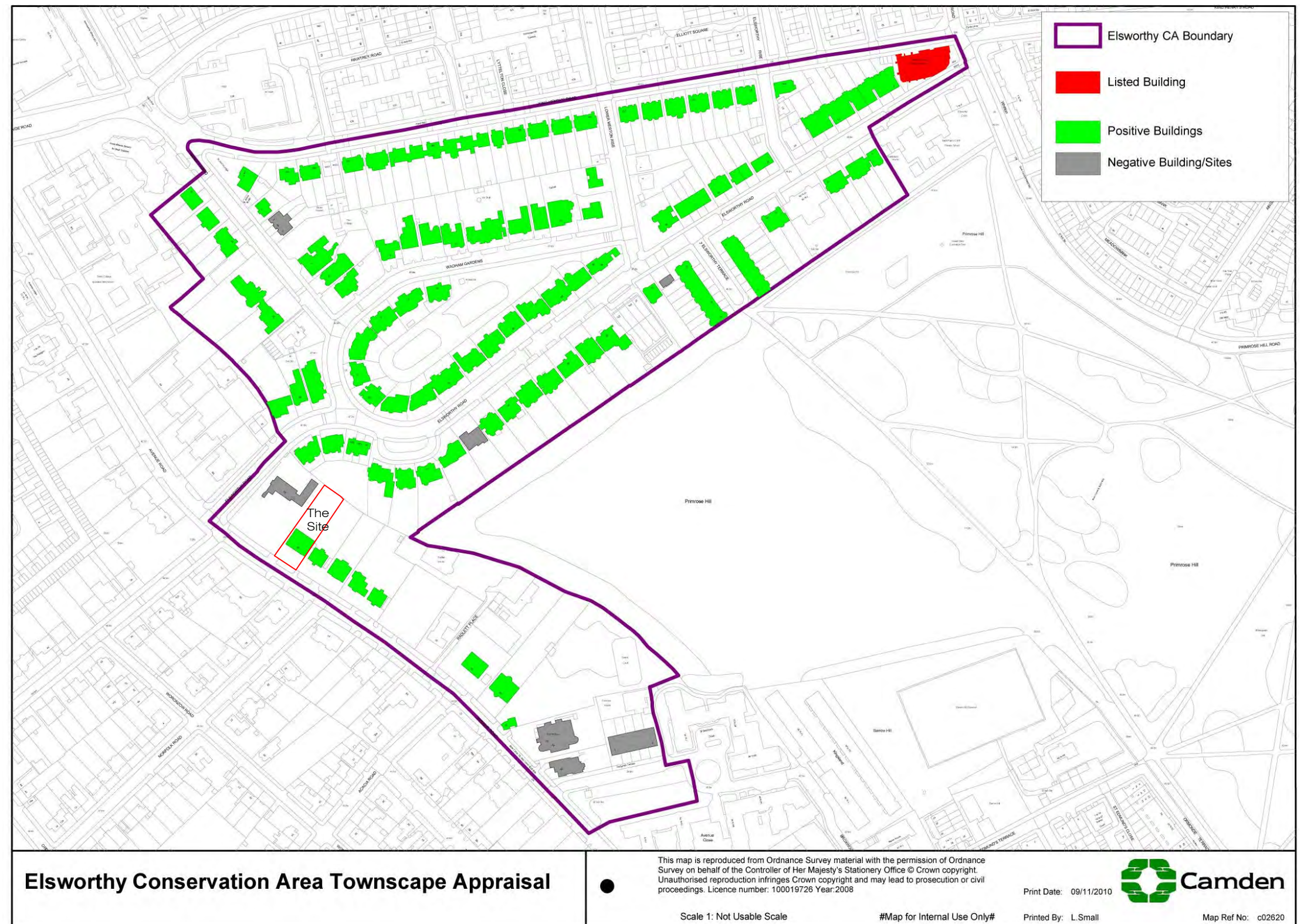
No. 50 Avenue Road is a large detached Neo-Georgian brick house erected in 1965 that stands in one of the most desirable tree-lined roads in the southern part of St John's Wood.<sup>1</sup> Located in the Elsworthy Road Conservation Area (originally designated by LB Camden in 1973), the house is close to the open spaces of both Primrose Hill and Regent's Park. It is situated on the eastern side of Avenue Road, adjacent to the western edge of Primrose Hill and the leafy rear garden backs onto other gardens in Elsworthy Road. Avenue Road is one of the most important roads leading northward from Regent's Park and runs from Macclesfield Bridge, Regent's Park through Swiss Cottage towards Hampstead. The southern section is in Westminster, the northern part (including No. 50) is in Camden. The southern end of Avenue Road was laid out soon after the creation of Regent's Park in the 1820s, but by the time of Greenwood's Map of 1830, just a few houses had been built and much of St John's Wood remained as open fields. It was on part of the Eyre estate that the southern part of Avenue Road was built.

50 Avenue Road possesses a modest degree of architectural interest at present, though it is clearly a much later building which does not form part of the early period of the area's development, in contrast to Nos 42, 44 and 48 Avenue Road. The building is not yet fifty years old and has little to do with the essential qualities for which the conservation area was designated. It is an instance of a polite 1960s house designed in a traditional manner, but its watered-down and approximate neo-Georgian style is at odds with the underlying Italianate, mid-19th century character of this particular part of the conservation area.

The proposed scheme shows how the proposed scheme is grounded in a thoroughly contextual and typological approach. Majority of existing front and side facades are maintained; The proposed extension will respect the scale, massing, style and details of other properties in this part of the Elsworthy Conservation Area on Avenue Road. The rear façade of the house will not project any further into the rear garden than at present.

The proposed basement will have a negligible visual impact on the conservation area – there will be two flat roof lights integrated into the landscaping of the rear garden, and the basement will not have any effect on the area in front of the house; the front line of the basement is that of the front elevation of the house.

The scheme sustains the conservation area in its principal use – as a well-to-do residential area. It does this with a well-designed scheme that preserves the character and appearance of the conservation area, but also enhances it.



NOT TO SCALE