



## CANAWAY FLEMING

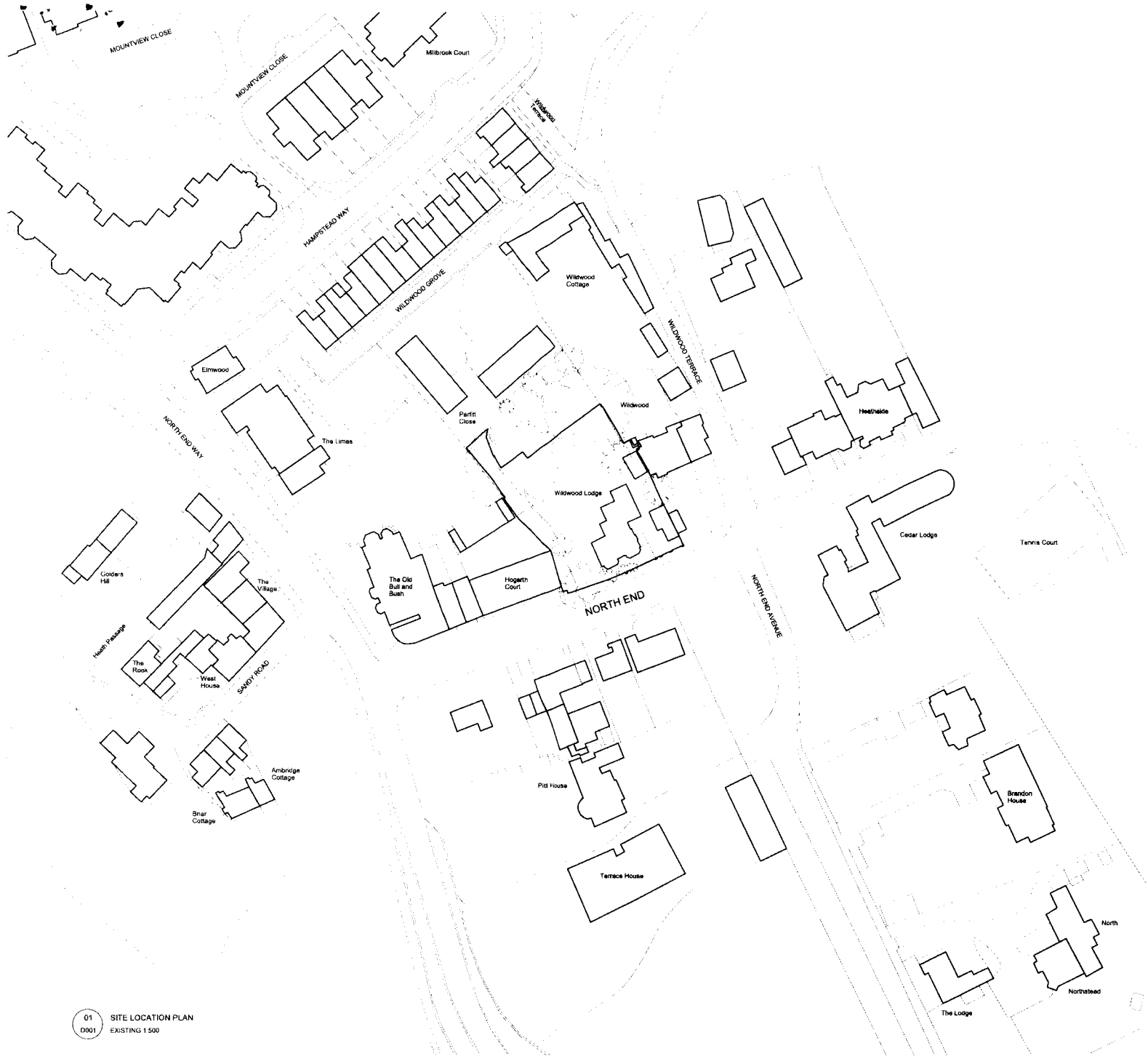
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807 9th Street, Suite 100  
Berkeley, CA 94710

415 841-2100  
Fleming@canawayfleming.com  
[www.canawayfleming.com](http://www.canawayfleming.com)

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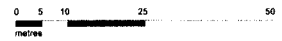
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**Key:**  
 [Dashed line symbol] Site boundary

01 SITE LOCATION PLAN  
 D001 EXISTING 1:500



**Reference**

**CANAWAY FLEMING**

Canaway Fleming Architects Ltd  
 The Duxton House  
 307 - 308 High Holborn  
 London WC1V 7LL  
 T: 020 7430 2262  
 F: 020 7430 2274  
 E: mailbox@canawayfleming.com

**Client:** Mr Avi Dodi

**Project:** Wildwood Lodge, North End  
 New Extension and Alterations

**Drawing Title:** Basement Extension  
 Site Location Plan

**Date:** March 2013 **Scale:** 1:500@A1

Project	025	Client	A	Phase	P	Location	SI	Package	D001	Revision	-
Discipline	Planning	Drawn		Checked		Checked		Checked		Checked	MC

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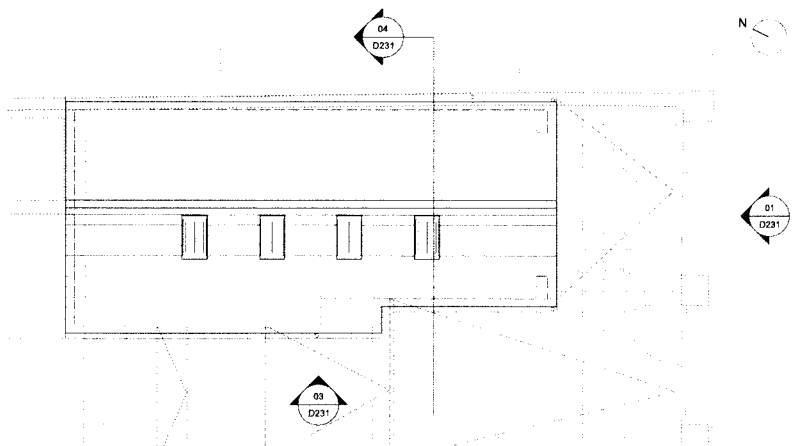
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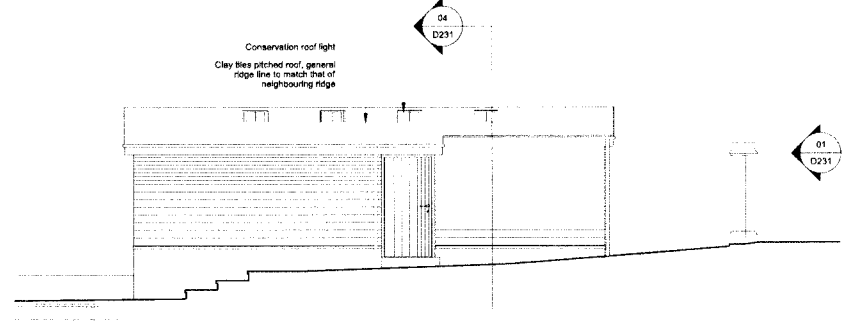
01 STREET ELEVATION  
 D231 AS PROPOSED 1:50

Timber garage door  
 Dotted line indicates gates and wall on main road



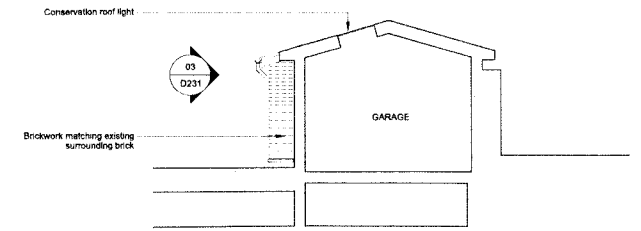
02 ROOF PLAN  
 D231 AS PROPOSED 1:50

NORTH END



03 GARAGE WEST ELEVATION  
 D231 AS PROPOSED 1:50

Conservation roof light  
 Clay tiles pitched roof, general ridge line to match that of neighbouring ridge



04 GARAGE SECTION  
 D231 AS PROPOSED 1:50

Brickwork matching existing surrounding brick

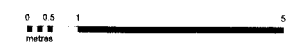
Revisions

CANAWAY FLEMING

Canaway Fleming Architects Ltd  
 The Dutch House  
 307, 308 Kings Highway  
 London WC1V 7LL  
 T: 020 7430 2252  
 F: 020 7430 2244  
 E: mailbox@canawayfleming.com

Client: Mr Avi Dodi  
 Project: Wildwood Lodge, North End New Extension and Alterations  
 Drawing Title: As Proposed Garage Roof lights

Date: July 2014 Scale: 1:50@A1



Project	Disc	Rev	Author	Checked	Approved
025	A	E	VA	D231	-
Disc	Disc	Disc	Disc	Disc	Disc
Planning			DL		MC

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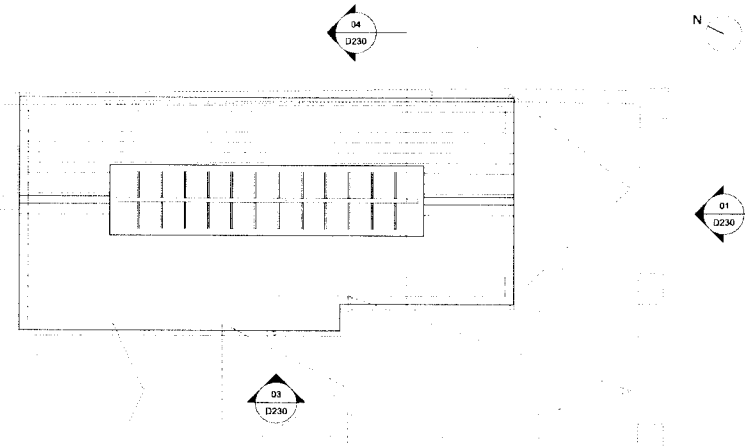
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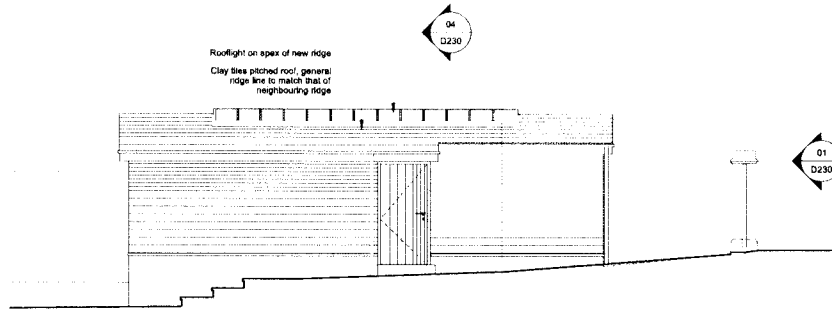
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01 STREET ELEVATION  
 D230 AS APPROVED 1:50

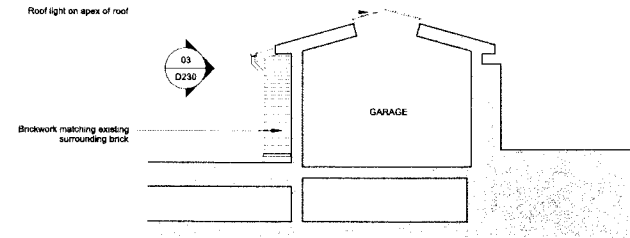


02 ROOF PLAN  
 D230 AS APPROVED 1:50



03 GARAGE WEST ELEVATION  
 D230 AS APPROVED 1:50

NORTH END



04 GARAGE SECTION  
 D230 AS APPROVED 1:50

As Approved  
 Ref: 2012/4611/P and 2012/4615/L

Caraway Fleming Architects Ltd  
 The Ouzon House  
 307 - 308 High Holborn  
 London WC1V 7LL  
 T: 020 7430 2252  
 F: 020 7430 2274  
 E: mail@carawayfleming.com

Client: Mr Avi Dodi  
 Project: Wildwood Lodge, North End New Extension and Alterations  
 Drawing Title: As Approved Garage

Date: July 2014 Scale: 1:50@A1



Sheet	Drawn	Checked	Level/Date	Project/Drawn By	Revision
025	A	E	VA	D230	-
Disc	Planning	Drawn	DL	Checked	MC

## 3.2 CONSERVATION ROOFLIGHT

### Why specify the original Conservation Rooflight® ?

The Conservation Rooflight® remains faithful to its Victorian heritage whilst embracing continual technical developments to stay ahead of Building Regulations.

#### Traditional Appearance & Approval by Planning Authorities

With its ultra-low profile, fine lines of steel, glazing bar, and silicone fronting to replicate putty, the original Conservation Rooflight® is the only rooflight combining all these features. It complies with Planning requirements for rooflight installations for Listed buildings and buildings in Conservation Areas including barn and loft conversions (subject to Planning Permission). The range consists of sixteen sizes of top-hinged rooflights and two sizes of side-hinged Egress & Access Rooflights, all of which replicate specific Victorian models in their sizes and appearance. Due to its close resemblance to the Victorian cast-iron rooflight and the fact that it lies flush in the roof, the original Conservation Rooflight® is frequently recommended for use in historic property by English Heritage and Local Authority Conservation and Historic Buildings officers. It is continuously specified by the National Trust, and has been specified on such projects as the Roundhouse (Derby College), the Natural History Museum, Kensington Palace and the National Library for Scotland.



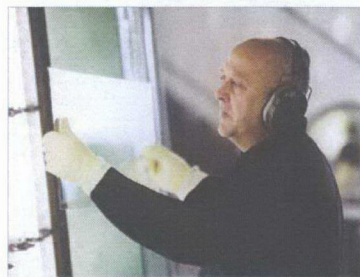
Flush fitting, glazing bars, slim sections and stepped glazing detail on the bottom edge give the appearance of a single glazed traditional unit.

#### Performance and Safety

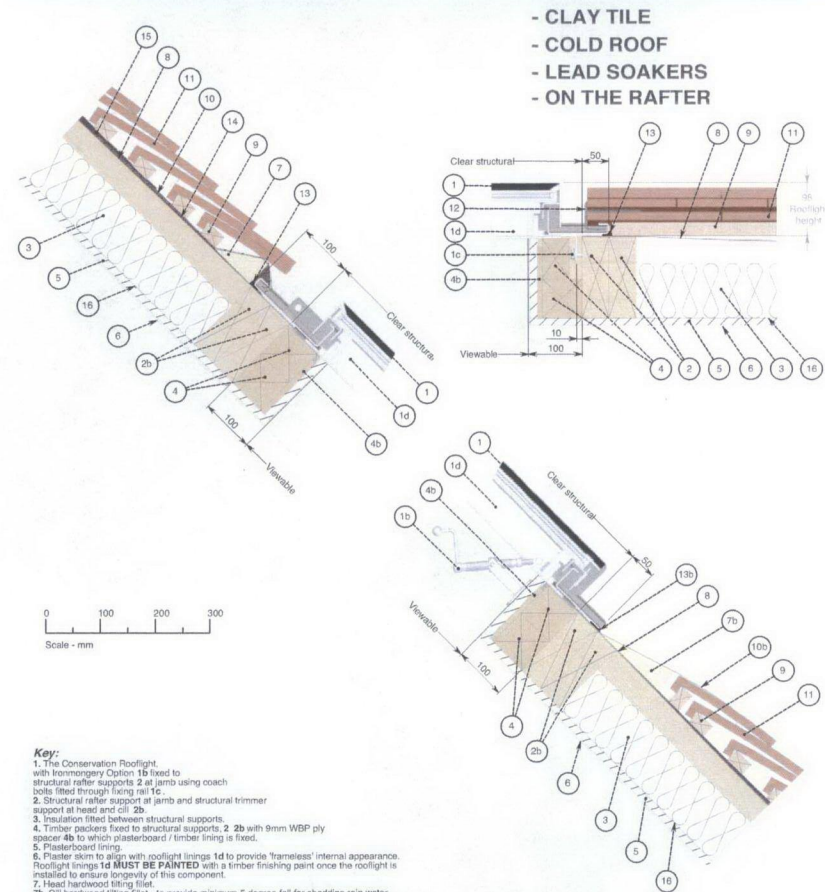
The design of all Pitched Roof Ranges generates a specification that conforms to the highest of standards of insulation, weather-tightness and safety. All units conform to ISO9001 standards. Double glazing units (produced to BSEN 1279) are supplied as standard with double glazing panels with a 4mm SGG PLANITHERM® Total + (Low E) toughened inner, 16mm argon cavity, 4mm SGG PLANILUX® toughened outer and they are guaranteed for five years. A range of glazing specifications are manufactured in-house to BS5713 to suit your performance needs.

The patented Thermoliner® decoupled lining (see p17) improves thermal performance and condensation.

The Rooflight Company operates the ISO9001:2008 Quality Management System which ensures quality and consistency in its products, services and processes. Weather-tightness testing at the BRE on the rooflight design, shows that the design not only "met and substantially exceeded" the requirements of BS6375: Part 1: 1989, but also found the design not to suffer leakage in wind pressure equivalents well beyond Force 12 (hurricane) on the Beaufort scale. The BRE testing also confirmed that the design meets the highest degree of air-tightness required for a window in air-conditioned buildings.



### Cross Section of the Conservation Rooflight®



#### Key:

1. The Conservation Rooflight, with Ironmongery Option 1b fixed to structural rafter supports 2 at jamb using coach bolts fitted through lining rail 1c.
2. Structural rafter support at jamb and structural trimmer support at head and cill 2b.
3. Insulation fitted between structural supports.
4. Timber packers fixed to structural supports 2 2b with 9mm WBP ply spacer 4b to which plasterboard / timber lining is fixed.
5. Plasterboard lining.
6. Plaster skim to align with rooflight linings 1d to provide 'frameless' internal appearance. Rooflight linings 1d **MUST BE PAINTED** with a timber finishing paint once the rooflight is installed to ensure longevity of this component.
7. Head hardwood filling fillet.
- 7b. Cill hardwood filling fillet - to provide minimum 5 degree fall for shedding rain water.
- 8 & 15. Line of general roofing membrane.
9. Softwood battens.
10. Code 3 (consider using code 4 and clipping down roof tiles in severer exposures) lead flashing at head. Carry flashing up the roof and lap **UNDER** general roofing membrane 8 15 and **UNDER** head membrane 14.
- 10b. Code 4 (consider clipping flashing and roof tiles down in severer exposures) lead flashing at cill over tilting fillet 7b. Make the flashing long enough to give triple lap to the tiles below.
11. Roofing tiles.
12. Jamb flashing - lead soakers as shown (or mortar bed).
13. Perimeter silicone seal. Seal perimeter of rooflight 1 **JUST PRIOR TO** installation of the rooflight using a thick continuous bead of low modulus neutral cure silicone sealant. Ensure sealant to cill 13b is located in a position where it will be covered by the cill flange of the rooflight.
14. Roofing membrane to rooflight head. Dress **UNDER** general roofing membrane 15, **UNDER** lead flashing 10 and **OVER** general roofing membrane 8 to ensure suitable lap.
16. Vapour barrier.

#### Please Note:


These sectional details are provided as an installation suggestion. Due to the differing nature of installations we strongly advise you to consult your rooflight installer to verify fitness for purpose. This drawing does not constitute a structural proposal. Sufficiency of structural supports to be checked by rooflight purchaser's structural consultant.

3.1 CLAY TILES



Sample of proposed clay tile (roof of replacement extension)  
 [Sample available to view on site]

Acme  
 single camber



For roof pitches down to 30°

0 Clay plain tiles

Technical data

Size of tile	265mm x 165mm
Minimum pitch*	30°
Maximum pitch	90°
Minimum headlap	65mm (roof) 37.5mm (vertical)
Maximum gauge	100mm (roof) 115mm (vertical)
Cover width	195mm (nominal)
Covering capacity (net)	60 tiles/m <sup>2</sup> at 100mm gauge (roof) 53 tiles/m <sup>2</sup> at 115mm gauge (vertical)
Weight of tiling (approx.)	64kg/m <sup>2</sup> (0.63 kN/m <sup>2</sup> ) at 100mm gauge (roof) 59kg/m <sup>2</sup> (0.55 kN/m <sup>2</sup> ) at 115mm gauge (vertical)
Battens required (net)	10.0 lin.m/m <sup>2</sup> at 100mm gauge (roof) 8.7 lin.m/m <sup>2</sup> at 115mm gauge (vertical)
Batten size recommended	38 x 25mm for rafters/supports not exceeding 600mm centres (fixed to BS 5534)
Tile nails	38mm x 2.65mm

\* The minimum recommended pitch and lap may be influenced by special circumstances, please refer to the Technical Advisory Service.

† The factory colour of Acme smooth clay plain tiles is mid-brown with natural variations which result from the natural clay material. Acme standard clay plain tiles are air-fired with selected sand before firing.

### 3. Appendix

## 2. Heritage Statement

### 2.1 Site Background

The site is within the Hampstead conservation area. The 2001 Hampstead conservation area statement describes the area as:

'a loose cluster of quite modest houses centred on the Olde Bull and Bush pub with the Hampstead Heath Extension banked up steeply all around. It has the distinct quality of a small enclave detached from urban life. The roads peter out into paths through the surrounding woodlands. Greenery dominates and the relationship between the houses, their gardens and the heath is particularly intimate'

Wildwood Lodge is situated in North End, one of the three satellite hamlets of Hampstead, the other two being West End and South End. There are three separate listing notices in connection with Wildwood Lodge, all listed at Grade 2 and for Group Value:

The main house is designated thus:

a. Cottage ornee. Mid C19.

Stucco with slated gabled roof with carved bargeboards and bracketed eaves cornice.

2 storeys. Irregular gabled frontage with 3 windows.

Gothic style. Doorway with bracketed hood and half glazed door.

Casement windows with mullions and labels.

C20 rear extensions.

b. Garden wall and gateway with overthrow to Wildwood Lodge. Mid C19.

Yellow brick, stone capped wall and pedimented gate piers with elaborate cast-iron lamp overthrow having twisted supports and scroll pattern detailing with globular lamp-holder. Wooden gate

c. Former coach house to Wildwood. Mid C19.

Coach house, now in domestic use.

(Formerly Listed as: Former coach house of Wildwood Lodge).

Stock brick. Tiled gabled roof with wooden cupola. 2 storeys 1 window.

Oculus over segmental-arched entrance.

The present character of the house is clearly early- mid Victorian.

The issue to consider is what impact of the library roof redesign to the West side of Wildwood Lodge would have on the character and appearance of the Hampstead Conservation Area and the Wildwood Lodge itself.

The impact has been considered in respect to relevant policies.

London Borough of Camden Core Strategy

- CS14 – promoting high quality places and conserving our heritage

London Borough of Camden development plan policies

- DP24 – Securing high quality design

Hampstead Conservation Area Statement 2001

### 2.2 Assessment and Significance Statement

The replacement of the linear rooflight on the apex of the garage structure, will provide a cleaner roof line and actually decrease the volume slightly. Although asymmetrical on plan, the replacement conservation rooflights sit flush on the pitch and offer a much more discreet traditional look to suit the surrounding area and listed building. The appearance of proposed clay tile specification will match that of approved by the local authority [ref: 2013/1136/L]

It is in our opinion that the impact of the proposed revisions are very minor and represent an acceptable level of change.

The minor amendments to the approved proposals are considered to still comply with the advice set out in the NPPF and with the London Borough of Camden LDF policies, design guidance and Conservation Area Statement.



## 1. Design Statement

### 1.1 Use, Layout and Scale

The building remains a single house family dwelling. The application addresses the replacement of a consented long linear roof light on the apex of garage structure, to a series of smaller conservation skylights along the length of the garage roof.

### 1.2 Landscaping

Landscaping remain as approved.

### 1.3 Appearance

Roof tiles specification to match appearance as approved [2013/1136/L].

The conservation roof lights are of close resemblance to Victorian cast-iron rooflight and sit flush in the roof pitch. They have been frequently recommended for use in historic properties by English Heritage.

### 1.4 Access

Vehicular access, private parking and inclusive access remain as approved.

### 1.5 Demolition

There is no demolition

### 1.6 Drawings list

See attached drawings as approved and as proposed

#### Drawings list

- 025-A-E-VA-D230 rev - As Approved Garage
- 025-A-E-VA-D231 rev - As Proposed Garage Roof Lights
  
- 025-A-P-Si-D001 rev - Site Location Plan

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- 1.2 Objectives and Scope
- 1.3 Methodology
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- 1.6 Conclusions and Recommendations

## 2.0 Heritage Statement

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- 2.2 Objectives and Scope
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## 3.0 Appendix

- 3.1 Introduction and Background
- 3.2 Objectives and Scope
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- 3.4 Data Collection
- 3.5 Analysis and Interpretation
- 3.6 Conclusions and Recommendations

**Issue and Revision Record**

Revision	Date	Originator	Checked	Description
	09/07/2014	CFA	MC	Planning issue

*Wildwood House*

**Non Material Amendment Application  
Design and Access Statement and Heritage Statement**

**Hampstead, London NW3 7HH**

Client: Mr Avi Dodi  
July 2014



Ref: 025-A-RP-10-007

Rev: -