

<b>Delegated Report</b>		<b>Analysis sheet</b>		<b>Expiry Date:</b>		10/07/2014	
		N/A		<b>Consultation Expiry Date:</b>		19/06/2014	
<b>Officer</b>				<b>Application Number(s)</b>			
Alex McDougall				2014/3435/P			
<b>Application Address</b>				<b>Drawing Numbers</b>			
68A Delancey Street London NW1 7RY				Refer to draft decision notice.			
<b>PO 3/4</b>		<b>Area Team Signature</b>		<b>C&amp;UD</b>		<b>Authorised Officer Signature</b>	
<b>Proposal(s)</b>							
Erection of roof terrace, with associated balustrades, planters and access staircase from existing roof terrace, and alterations to existing fenestration.							
<b>Recommendation(s):</b>		Grant planning permission					
<b>Application Type:</b>		Full Planning Permission					
<b>Conditions or Reasons for Refusal:</b>		Refer to Draft Decision Notice					
<b>Informatives:</b>							
<b>Consultations</b>							
<b>Adjoining Occupiers:</b>		No. notified	<b>44</b>	No. of responses No. electronic	<b>09</b> <b>08</b>	No. of objections	<b>09</b>
<b>Summary of consultation responses:</b>		<p>Site Notice 28/05/14 – 18/06/14. Press Notice: 29/05/14 – 19/06/14.</p> <p>Objections have been received from Nos. 107, 109, 111, 113, 115, 117, 119, 121, and 137 Albert Street.</p> <p>The grounds of objection are summarised as follows:</p> <ul style="list-style-type: none"> <li>• <i>Design</i> – Proposal not in keeping with character of conservation area and will have negative impact on curtilage of adjoining listed buildings (<b>Officer Comment: refer to paragraph 3.1 below</b>).</li> <li>• <i>Amenity</i> – The proposal will result in overlooking of adjoining and nearby windows and garden space. The planters proposed will not alleviate the impact or stop occupants from using the rest of the roof as a terrace (<b>Officer Comment: refer to paragraph 4.1 below</b>).</li> <li>• <i>Amenity</i> – Use of the terrace will result in unacceptable noise and general disturbance to adjoining and nearby properties (<b>Officer Comment: refer to paragraph 4.1 below</b>).</li> </ul>					

	<ul style="list-style-type: none"> <li>• Amenity – Use of the terrace will result in unacceptable light pollution to adjoining properties (<b>Officer Comment: refer to paragraph 4.1 below</b>).</li> </ul>
<p>Camden Town CAAC comments:</p>	<p>Camden Town CAAC have made the following comments:</p> <ul style="list-style-type: none"> <li>• <i>Amenity</i> - The proposed enlarged windows facing the rear of the Delancey Street houses should only be given permission if they have obscured glass. Otherwise there would be the potential of light pollution or overlooking (<b>Officer Comment: refer to paragraph 4.2 below</b>).</li> <li>• <i>Amenity</i> - The proposed roof terrace is right in the middle of the block and will have no apparent impact on the backs of the Albert Street houses (<b>Officer Comment: Noted</b>).</li> <li>• <i>Amenity</i> - Concerned about the works to Roofs (PL-004) and the excessive use of new glass balustrades. These will reflect light and dazzle in sunlight. There have already been changes in materials in from timber and slate roofs to metal and glazed roofs which will mean that the surrounding houses - as well as the new flats at 86-88 Delancey Street - will look down on materials that shine in daylight (<b>Officer Comment: refer to paragraph 4.1 below</b>).</li> </ul>

### Site Description

The application site is located behind a terrace of properties fronting Delancey Street and is accessed via an arch in the middle of the terrace. Within the site are five buildings set around a courtyard, which are currently vacant but were last used as office space and recording studios. The building is being adapted for use as a single family dwellinghouse (see relevant history section below). The buildings are either one or two storeys high, apart from the eastern building which is three storeys in height. The site is within the Camden Town Conservation Area, to which the current buildings on the site are identified as making a positive contribution.

The site is surrounded by a row of Grade II listed terraces along Delancey Street to the south (Nos. 40 – 84 even) and a row of Grade II listed terrace along Albert Street to the east (No. 99 – 139 odd). The nearest listed buildings to the subject building are No. 70 Delancey Street at 8.9m to the south, and Nos. 113-121 Albert Street at 19.5m to the east. These buildings are predominantly in use as residential dwellings.

### Relevant History

#### 86A Delancey Street (the application site)

8601646: Alterations and extensions to the existing buildings including the addition of a roof extension and a roof terrace for light industrial purposes. Granted 05/11/1986.

2012/2504/P: Refurbishment works to existing commercial studio/office space (Class B1) to provide improved studio/office space (Class B1) with ancillary residential accommodation including timber cladding, alterations to windows/doors, erection of conservatory and creation of terrace at second floor level and addition of photovoltaics at roof level. Granted 12/11/2012.

2013/6793/P: Change of use from office (Class B1a) to one 5 x bedroom dwelling house (Class C3). Granted 20/12/2013.

2014/1532/P: Enclosure of existing open pavilion, replacement of existing timber and slate pavilion roof with metal and glazed roof, replacement of existing first floor open steel bridge with enclosed

glazed bridge, installation of several roof lights and flues, and alterations to existing fenestration. Granted 30/04/2013.

2014/4306/P: Incorporation of timber slats into existing timber screen on roof to conceal visible fans. Pending. Note: As the drawings submitted for the subject application include the elements in this application an informative will be included in the consent noting that any approval for the subject application does not include permission for these elements.

### **Relevant policies**

#### **National Planning Policy Framework 2012**

National Planning Practice Guidance

#### **London Plan 2011**

#### **Camden LDF Core Strategy 2010**

CS5 Managing the impact of growth and development

CS6 Providing quality homes

CS13 Tackling climate change through promoting higher environmental standards

CS14 Promoting high quality places and conserving our heritage

CS15 Protecting and improving our parks and open spaces and encouraging biodiversity

CS16 Improving Camden's health and well-being

#### **Camden Development Policies 2010**

DP22 Promoting sustainable design and construction

DP24 Securing high quality design

DP25 Conserving Camden's heritage

DP26 Managing the impact of development on occupiers and neighbours

DP28 Noise and vibration

DP29 Improving access

#### **Camden Planning Guidance (updated 2013)**

CPG1 Design

CPG2 Housing

CPG3 Sustainability

CPG6 Amenity

#### **Camden Town Conservation Area Character Appraisal**

### **Assessment**

#### **1. Detailed Description of Proposed Development**

1.1. The proposal includes a new roof terrace at first floor level towards the middle of the site. The accessible area of the terrace would measure approximately 41.4sqm with dimensions of approximately 4.3m x 9.6m. The proposal would also include 13sqm of planters to the north of the terrace and 19sqm of planters to the south of the terrace, in addition to the accessible area of the terrace. The terrace would be secured otherwise with 1.1m high glazed balustrades. The terrace would be accessed from the existing roof terrace at second floor level via a small staircase. Note that due to differing floor to ceiling heights in the building the second floor roof terrace is 1.3m above the height of the proposed first floor roof terrace.

1.2. The proposal includes one new window to the first floor southern elevation of the building to the south-east of the site and enlarging two existing windows including a window on the first floor southern elevation of the building to the south-west corner of the site, and an internal window at first floor level facing into the courtyard.

#### **2. Principle of Development**

## *2.1. Alterations and Additions*

Alterations and additions are considered to be acceptable in principle subject to a detailed assessment on the following grounds:

- a) Design
- b) Residential Amenity
- c) Standard of Accommodation
- d) Landscaping

## 3. Design

### *3.1. Roof Terrace*

The proposed roof terrace is considered to be of an acceptable design, and have an acceptable impact on the character of the conservation area and the nearby listed buildings for the following reasons:

- a) While such terraces would not normally be considered acceptable in the conservation area, as they are not in keeping with the style of historic buildings, the proposal is to a modern building. The proposal is considered to be adequately separated from the nearby listed buildings, and to the rear of these buildings, and thus not impact unreasonably on their heritage significance.
- b) The terrace has been confined to a roof space central to the site and as such would not be readily visible from ground level at any adjoining or nearby properties.
- c) The terrace is to be secured by glazed balustrades which are considered to be the most appropriate material given the design and era of the building.
- d) The terrace would not be visible from any public areas.

### *3.2. Alterations to fenestration*

The proposed alterations to fenestration are considered to be of an acceptable design, and have an acceptable impact on the character of the conservation area and the nearby listed buildings for the following reasons:

- a) The size of the windows is not considered to be important for the architectural integrity of the building.
- b) The proposed new window will help to symmetrically balance the southern façade of the building.

For the reasons listed above the proposed development is considered to be consistent with LDF policies CS14, DP24 and DP25 of the London Borough of Camden's Local Development Framework as well as Camden Planning Guidance on Design.

## 4. Residential Amenity

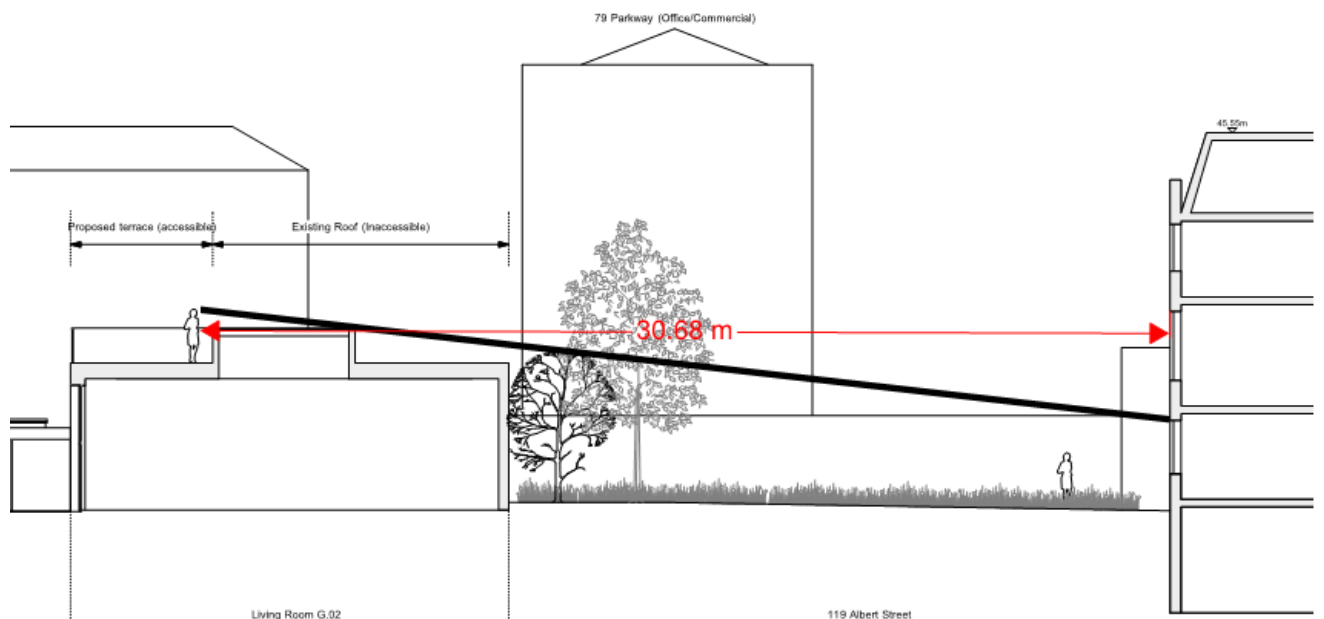
### *4.1. Roof Terrace*

The proposed roof terrace is considered to have an acceptable impact on the amenity of adjoining and nearby properties for the following reasons:

- a) The adjoining Albert Street properties to the north east are already overlooked by an

existing roof terrace at second floor level which is higher and closer than the proposed terrace.

- b) The diagram below demonstrates that an average person standing on the terrace would not have a line of site to the rear garden of the adjoining properties or the ground floor rear windows.
- c) Camden Planning Guidance 6 (Amenity) states that an 18m separation is generally considered to be sufficient to retain privacy between two areas. The nearest section of the proposed terrace is over 30m from the rear windows of the Albert Street properties. As such the proposed separation is well in excess of that required.
- d) The proposal includes two planters to either side of the terrace which are considered to be sufficient to restrict access to the rest of the roof. Notwithstanding, a condition will be included requiring that these planters be installed prior to use of the terrace, retained thereafter and that the remainder of the roof not be used as a terrace.
- e) The noise and general disturbance created by a terrace for a single family dwelling house is considered to be commensurate with the relationship between gardens that adjoining one another in residential settings and as such acceptable.
- f) While they will be screened by proposed planting the adjoining buildings to the north are office buildings and as such they are not considered to be as sensitive to a loss of privacy.
- g) Any lighting of the terrace, or solar reflection from the proposed balustrades, would be adequately separated from all adjoining and nearby properties so as not to unreasonably impact the amenity of the occupants of those properties.
- h) The proposal does not materially increase the bulk of the building and as such there will be no unacceptable impact on sense of enclosure, loss of outlook, daylight, sunlight or the like. The planters proposed are considered to be adequately separated from adjoining and nearby properties so as to maintain a reasonable outlook from neighbouring windows.



**Figure 1. Sightline from proposed roof terrace to rear of Albert Street properties.**

#### *4.2. Alterations to fenestration*

The proposed alterations to fenestration are considered to have an acceptable impact on the amenity of adjoining and nearby properties for the following reasons:

- a) The additional height to the existing windows are not considered to increase any privacy impacts that do not already exist.
- b) The internal window does not face any adjoining or nearby residential properties and will

only overlook the courtyard of the dwellinghouse.

- c) The new window at first floor level is only 13.1m – 14.7m from, and in direct line with, the rear windows of the adjoining residential building at No. 68 Delancey Street. As such a condition is recommended requiring that this window be obscure glazed and non-operable below a height of 1.7m in order to ensure the privacy of this adjoining property.

For the reasons listed above the proposal is considered to be in accordance with Development Policy DP26 of the London Borough of Camden's Local Development Framework.

#### 5. Standard of Accommodation

The proposed terrace and larger window openings would increase the amenity of the subject dwelling house and as such are considered to maintain an acceptable standard of accommodation.

#### 6. Landscaping

The proposal includes indicative planting at roof level. No details of this planting are included. It is not considered that the scale or type of planting is essential to ensure the acceptability of the scheme in terms of amenity impacts (rather it is the presence of the planters and their restriction on access to the rest of the roof). Notwithstanding a condition is recommended requiring that planting in these planters be preserved to maintain the landscaped character of the area.

#### 7. Recommendation

7.1. Grant Planning Permission.

#### **DISCLAIMER**

**Decision route to be decided by nominated members on Monday 21<sup>st</sup> July 2014. For further information, please go to [www.camden.gov.uk](http://www.camden.gov.uk) and search for 'Members Briefing'.**