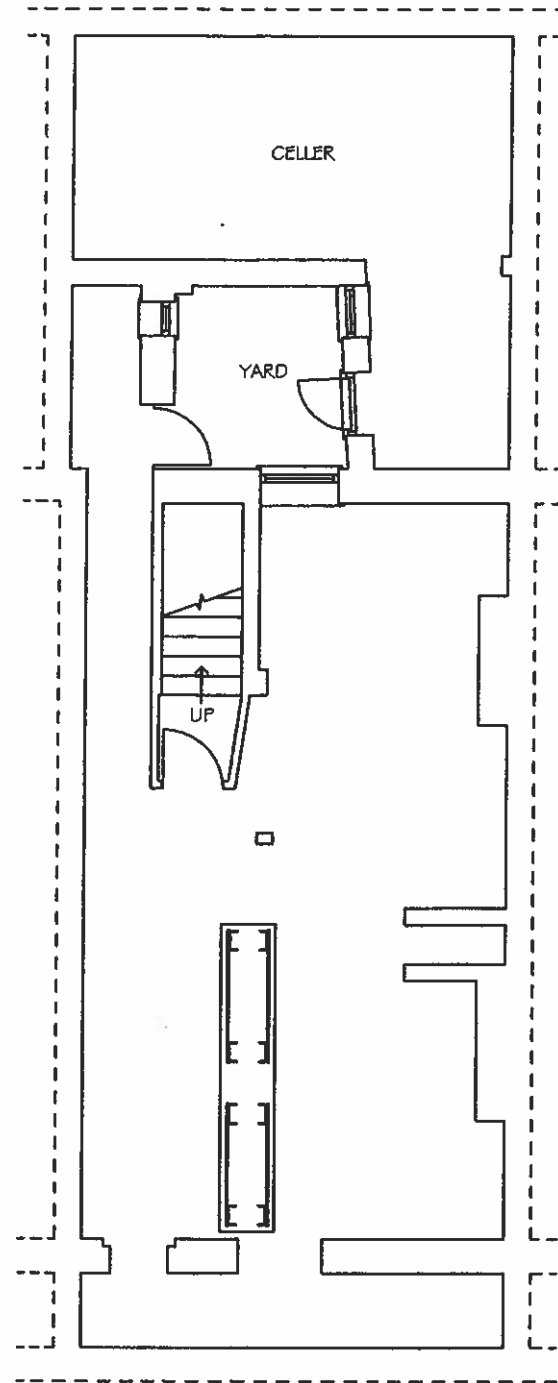


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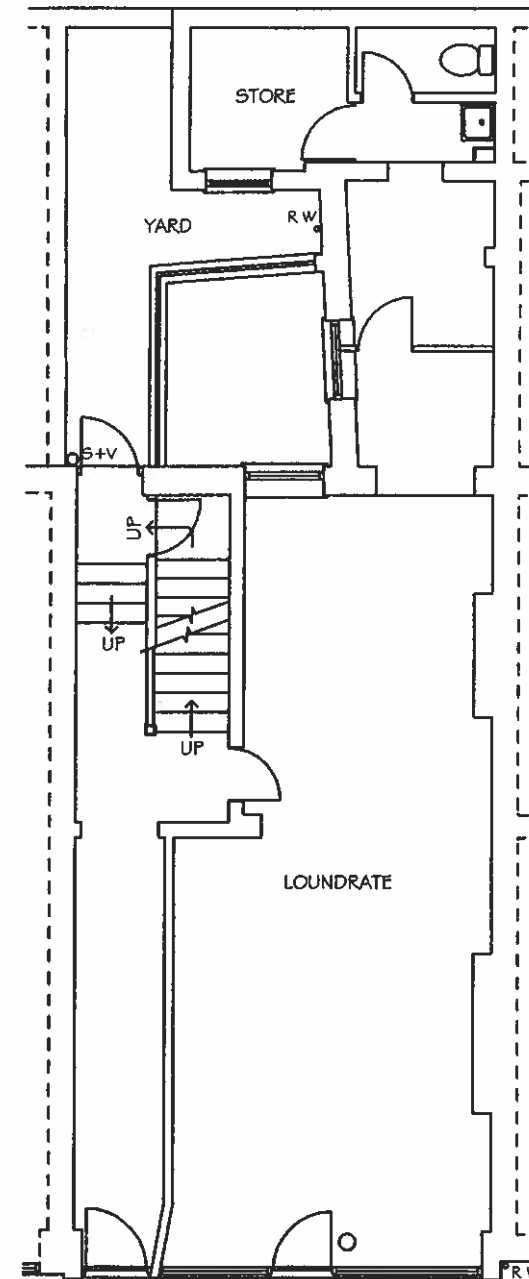
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This drawing has been prepared for Planning approval only.

This drawing to be read in conjunction with Drg. Nos. 01 to 10.



EXISTING LOWER GROUND FLOOR PLAN



EXISTING GROUND FLOOR PLAN

**Conversion of Existing
Laundrette into Self-
Contained Flat.**

**33 Betterton Street
Covent Garden
London WC2H 9BP.**

Existing Floor Plans.

Dec 2004 Scale: 1:100.

33BS01/04/01

NOTES:

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This drawing to be read in conjunction with Drg. Nos. 01 to 14.

Form new door opening; provide new door & frame to match existing with lintel to suit.

Remove existing bathroom window; brickup opening to original configurations with tooth bonds.

Galvanized metal Cat Ladder.

New staircase to be minimum 800mm wide timber construction with 35mm S W strings, minimum 260mm going & 190mm risers. Handrails to be 900mm high with balustrade to have maximum 100mm spacing. Handrails to be provided on both sides.

Existing column to be checked for it's adequacy and to be retained if found to be satisfactory.

The habitable room windows are to be fitted with fire-egress hinges, which allow windows to open fully for means of escape in case of fire. Window openings are to be minimum 450mm high/wide with minimum area 0.33 m². Cill height not to exceed 900mm.

New half hour fire resisting door and frame with self-closing device.

Provide new windows within the opening to match existing windows.

100mm light weight block partition on 300mm deep & 450mm wide mass concrete foundation.

Partition is to be fully restrained with ceiling using 5x30mm galvanized straps at 1000mm centres; HYLOAD dpc to be laid at appropriate level.

Remove existing bathroom door and frame and brickup opening to original configurations with tooth bonds. Provide new window to match existing

60 litre/second extract fan to bath/wc

Form new door opening; provide new door & frame to match existing with prestressed concrete lintel to suit.

100mm light weight block partition on 300mm deep & 450mm wide mass concrete foundation.

Partition is to be fully restrained with ceiling using 5x30mm galvanized straps at 1000mm centres; HYLOAD dpc to be laid at appropriate level.

New paneled door and frame to match with existing.

21/05 Some notes altered + A Added.

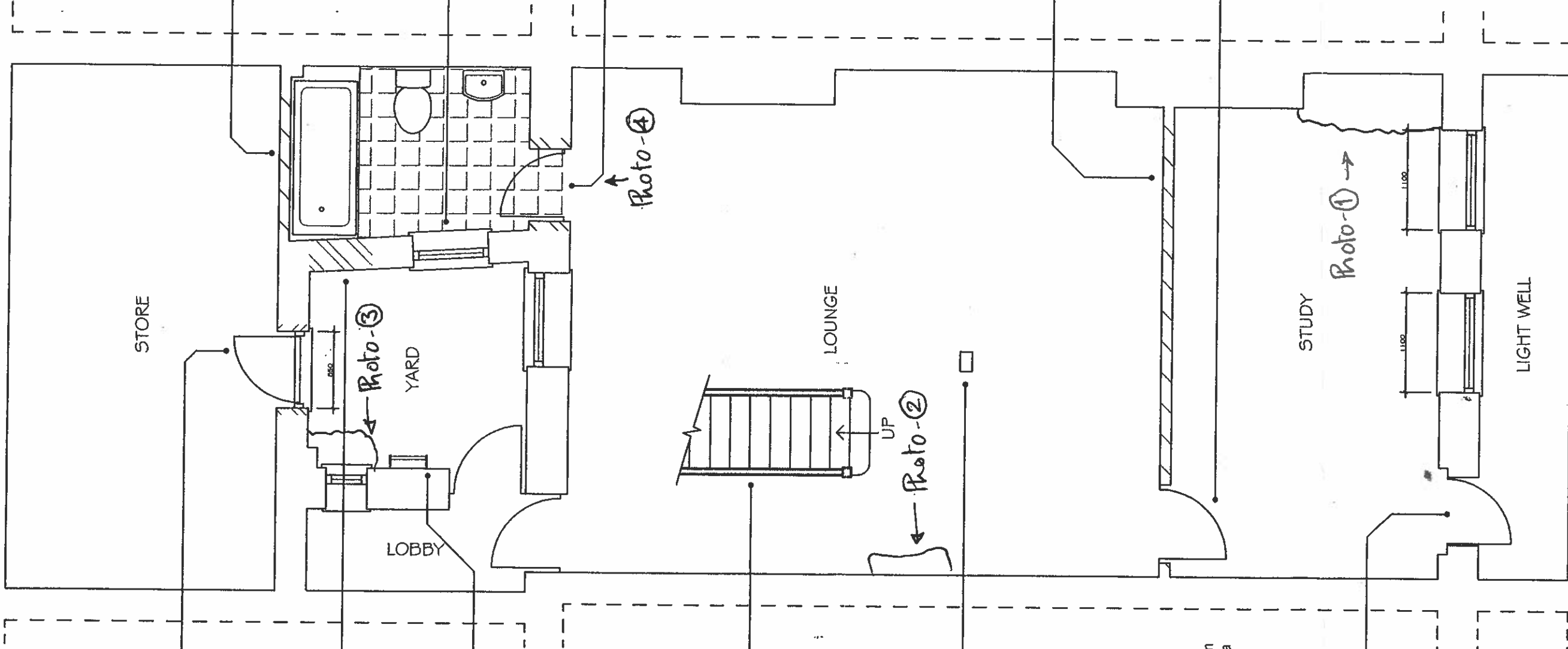
Conversion of Existing Laundrette into Self-Contained Flat.

**33 Betterton Street
Covent Garden
London WC2H 9BP.**

Proposed Lower Ground Floor.

Dec 2004 Scale: 1:50.

33BS01/04/02A



PROPOSED LOWER GROUND FLOOR PLAN

NOTES:

All dimensions must be checked on site & not scaled from this drawing.

This drawing has been prepared for Planning approval only.

This drawing to be read in conjunction with Drg. Nos. 01 to 14.

Remove existing toilet door & frame and brickup opening to original configurations. New brickwork to be tooth bonded at alternative courses.

Form new door opening; provide new door & frame to match existing with prestressed concrete lintel to suit.

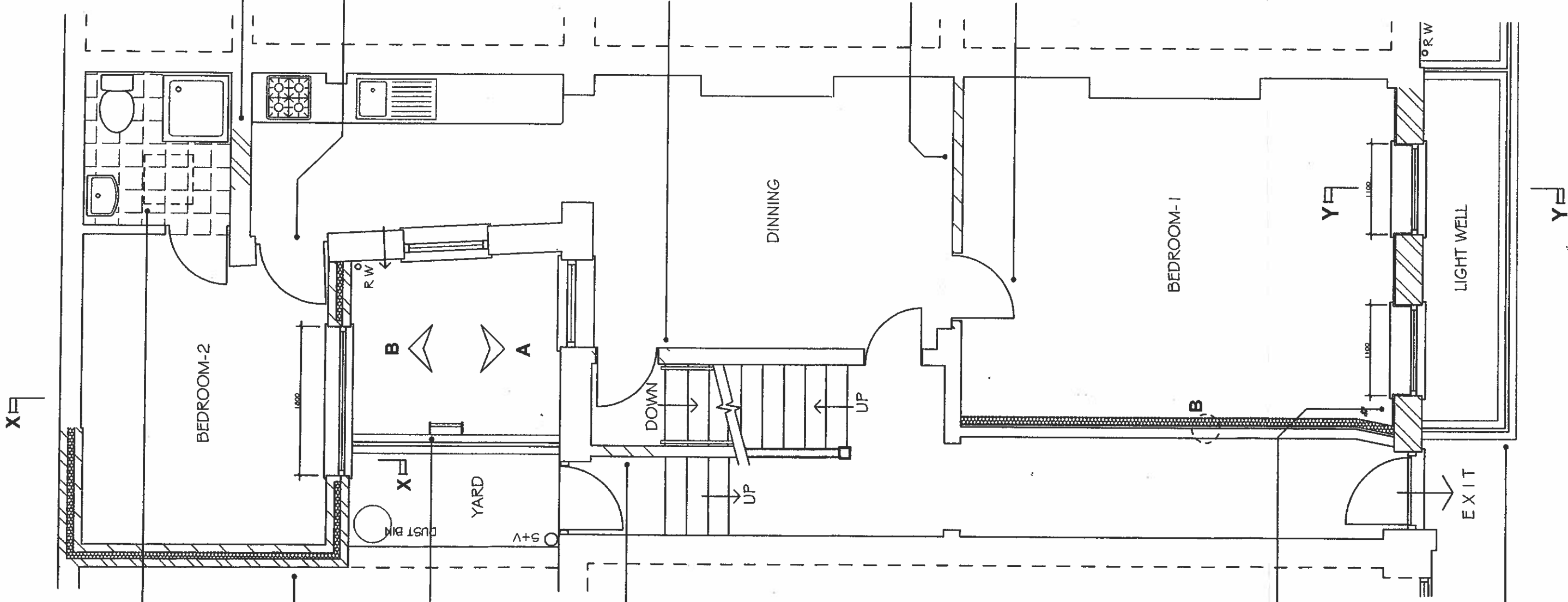
60 litre/second extract fan to kitchen.

WC-Shower room is mechanically vented. The vent system to give three air changes per hour and have duplicate motor to run on 20 minutes over run and operated by light switch. The system to have extract rate of 60 litre/second; to be discharged to external air above the roof level and fitted with half hour fire proofed duct work.

Form new door opening; provide new door & frame to match existing with prestressed concrete lintel to suit.

New 100mm full height timber stud partition on doubled-up floor joists. Partition is to be fully restrained with ceiling using 5x30mm galvanized straps at 1000mm centres; 100mm thick high density ROCKWOOL slab insulation to be inserted within the partitions.

New paneled door and frame to match with existing.



600mmX600mm COXDOME-2000 double glazed rooflight with minimum 150mm upstand, on doubled-up trimmers and roof joists.

Cavity wall comprises 100mm facing brickwork to match existing, 75mm Drytherm-32 insulated cavity and 100mm Thermalite Turbo blockwork internally.

Cavities to be closed at reveals using insulated cavity closures.

Galvanized metal Cat Ladder.

New dpc & dpm to be lapped onto new & existing dpc/dpm.

Remove existing staircase door and frame and brickup opening to original configurations. New brickwork to be tooth bonded at alternative courses.

New staircase to be fitted with 900mm high handrails to both sides.

Each rooms to have high efficiency light fittings.

An access has been agreed with adjoining neighbours for proposed extension/alteration.

Remove existing door and windows and replace with full height 335mm solid brick wall to match existing with 30mm GYPROC superboard lining internally. Wall to be restrained with beam above using heavy duty galvanized straps at 1000mm centres.

1200mm high steel handrails to match adjoining handrails.

**Conversion of Existing
Laundrette into Self-
Contained Flat.**

**33 Betterton Street
Covent Garden
London WC2H 9BP.**

Proposed Ground Floor Plan.

Dec 2004 Scale: 1:50.

33BS01/04/03A

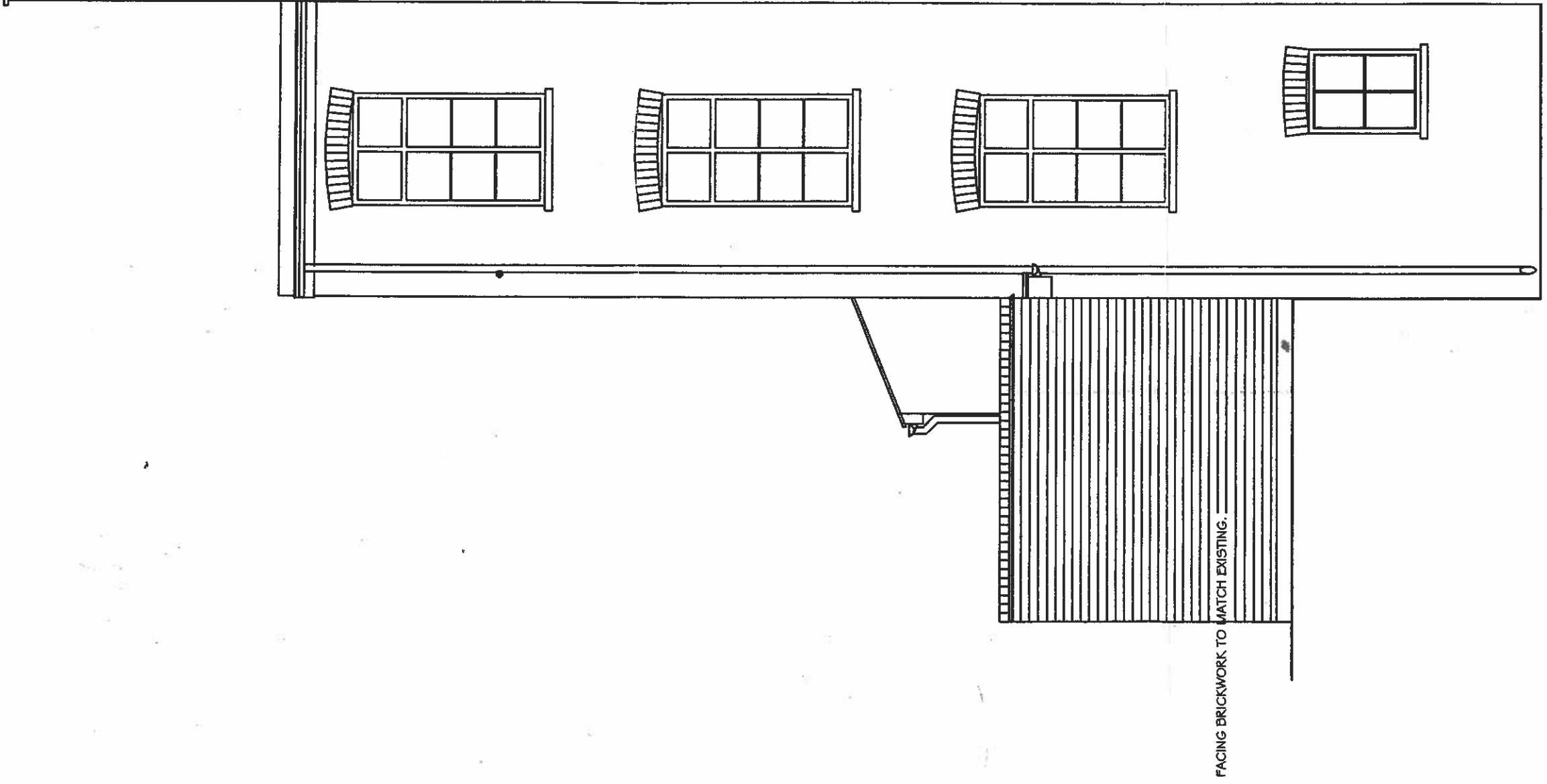
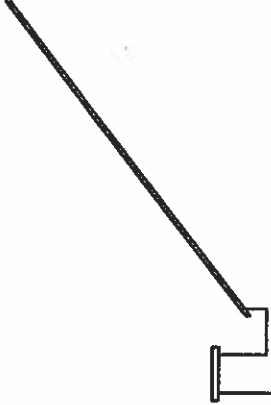
PROPOSED GROUND FLOOR PLAN

NOTES:

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This drawing to be read in conjunction with Drg. Nos. O1 to 10.



FACING BRICKWORK TO MATCH EXISTING.

**Conversion of Existing
Laundrette into Self-
Contained Flat.**

**33 Betterton Street
Covent Garden
London WC2H 9BP.**

Proposed Side Elevation.

Dec 2004 Scale: 1:50.

PROPOSED SIDE ELEVATION

33BS01/04/09

NOTES:

All dimensions must be checked on site and not scaled from this drawing.

All site conditions must be checked prior to commencing work.

These drawings have been prepared for Planning approval only.

This drawing to be read in conjunction with drawing no. 01 to 14.

New drainage and plumbing work to comply with BS 5572.

New waste pipes to be 38mm PVCu with 75mm seal traps; cleaning eyes to be provided at each bend.

New drains to be 100mm VC, laid to minimum 1:40 fall & at required depth to suit existing drain.

New drains outside the building to be bedded & surrounded in 150mm peashingle & inside in (1:3:6) concrete

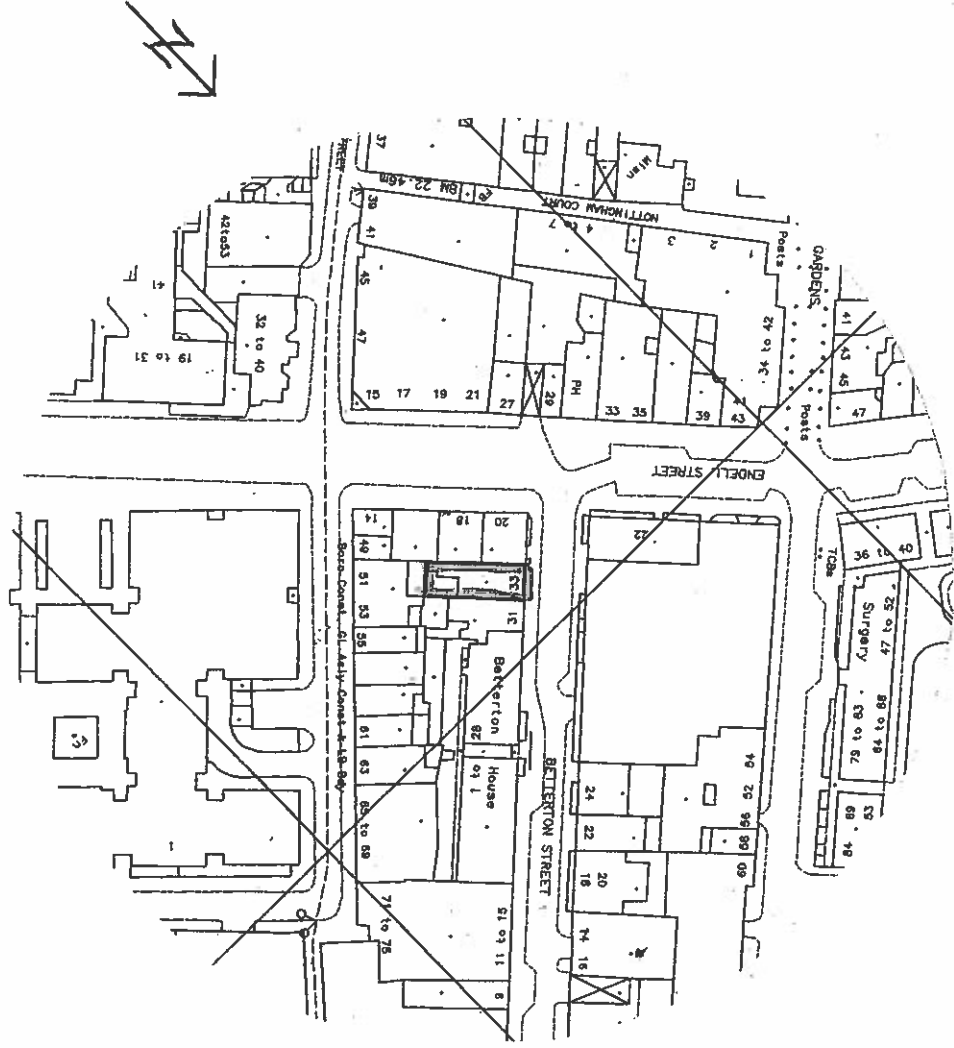
Minimum opening area of new windows to be 1/20th floor area.

New external doors and windows to be double glazed and fitted with approved trickle vents with minimum area of 8000mm². New doors to be fitted with toughened glass.

New doors and windows to have timber frames to match existing and sealed glazed units with 16mm air gap and low e-glass.

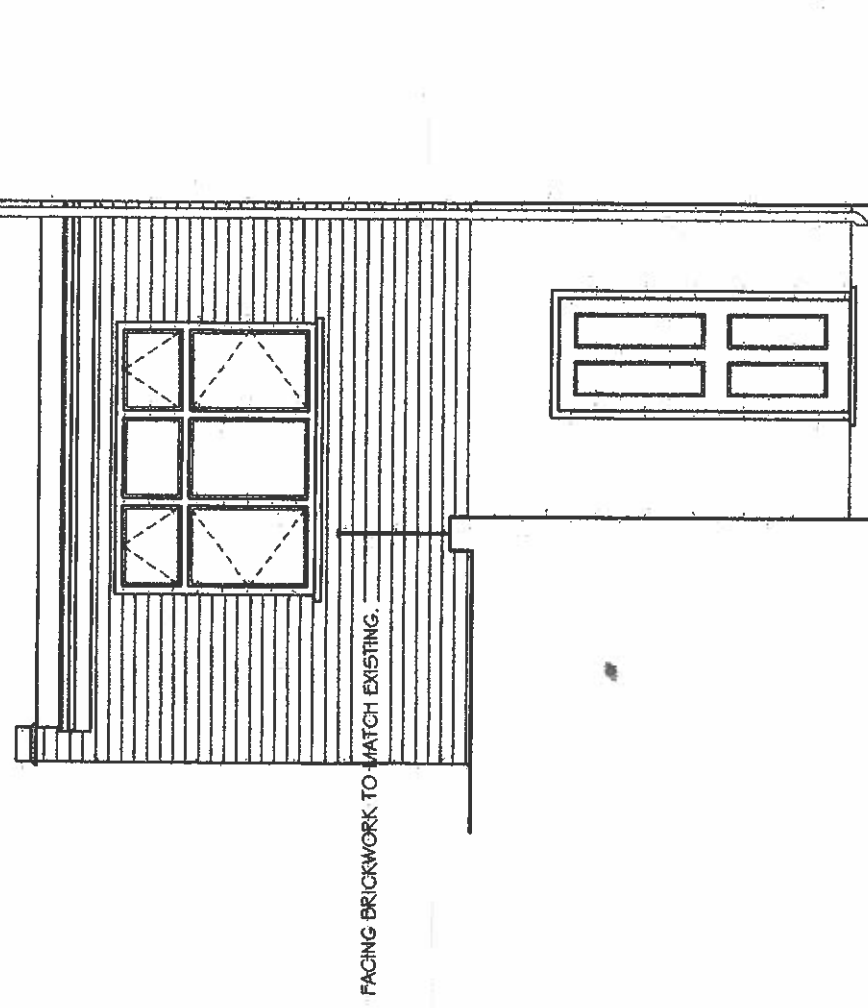
The glazing in critical areas to be toughened glass to comply BS 6206.

The contractor to maintain safety and stability of adjoining property at all time.



SITE LOCATION PLAN

(Scale 1:1,250)



**Conversion of Existing
Laundrette into Self-
Contained Flat.**

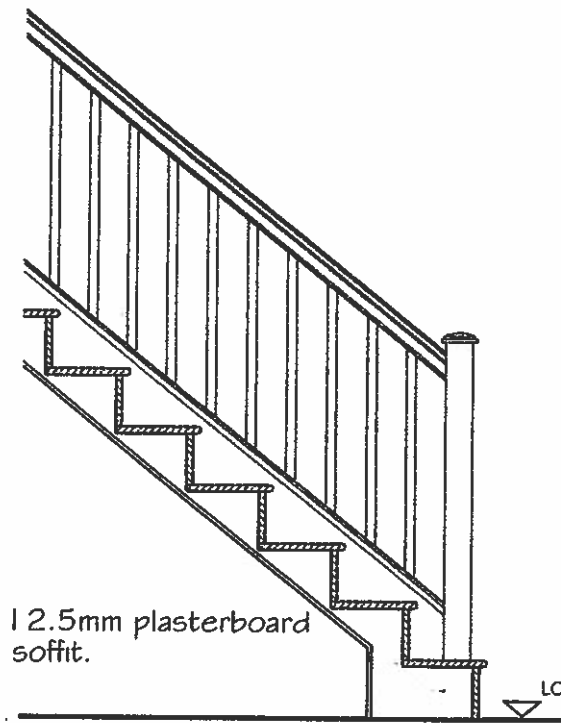
**33 Betterton Street
Covent Garden
London WC2H 9BP.**

Proposed Rear Elevation-B.

Dec 2004 Scale: 1:50.

33BS01/04/10

PROPOSED REAR ELEVATION - B

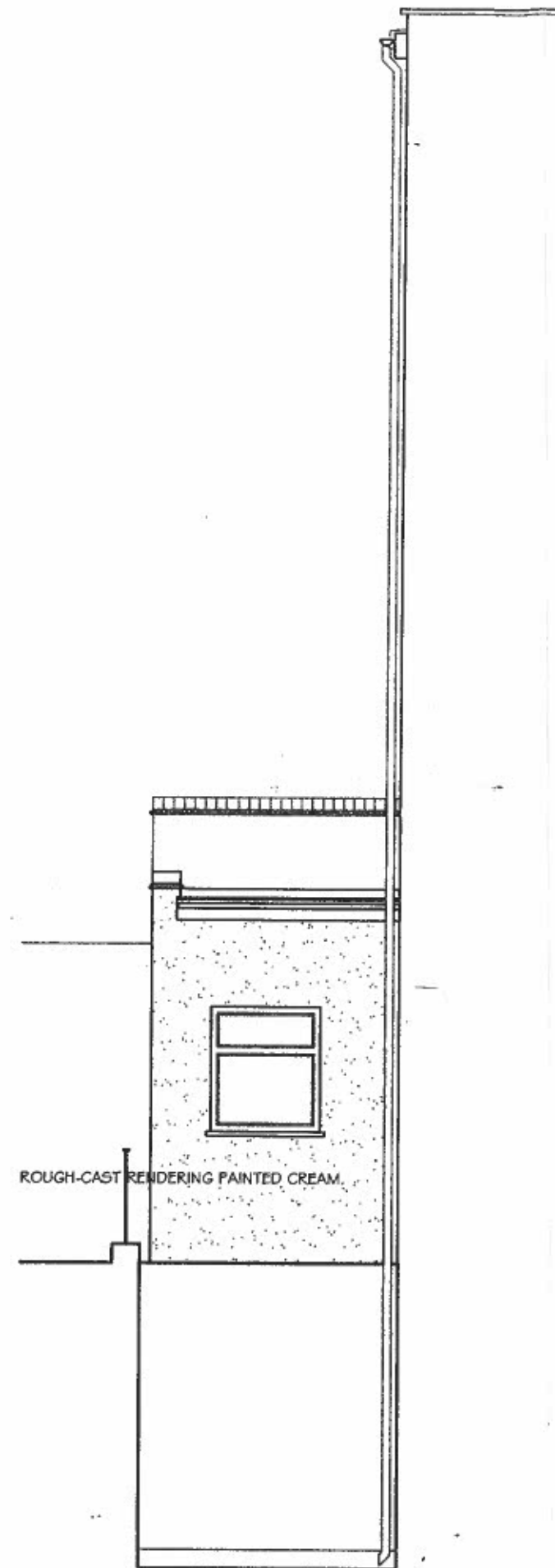


New staircase to be minimum 800mm wide timber construction with 35mm S W strings, minimum 260mm going & 190mm risers. Handrails be 900mm high with balustrade to have maximum 100mm spacing. Handrails to be provided on both sides. Newel post to be 90mmx90mm as shown.

12.5mm plasterboard soffit.

LOWER GR. FLOOR.

PROPOSED STAIRCASE DETAILS



EXISTING REAR ELEVATION - B

NOTES:

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This drawing to be read in conjunction with Drg. Nos. 01 to 14.

21/05 Staircase Added. A

**Conversion of Existing
Lauderette into Self-
Contained Flat.**

**33 Betterton Street
Covent Garden
London WC2H 9BP.**

EXISTING REAR ELEVATION and
PROPOSED STAIRCASE DETAILS.

MAR 2007 SCALE: 1:25, 50.

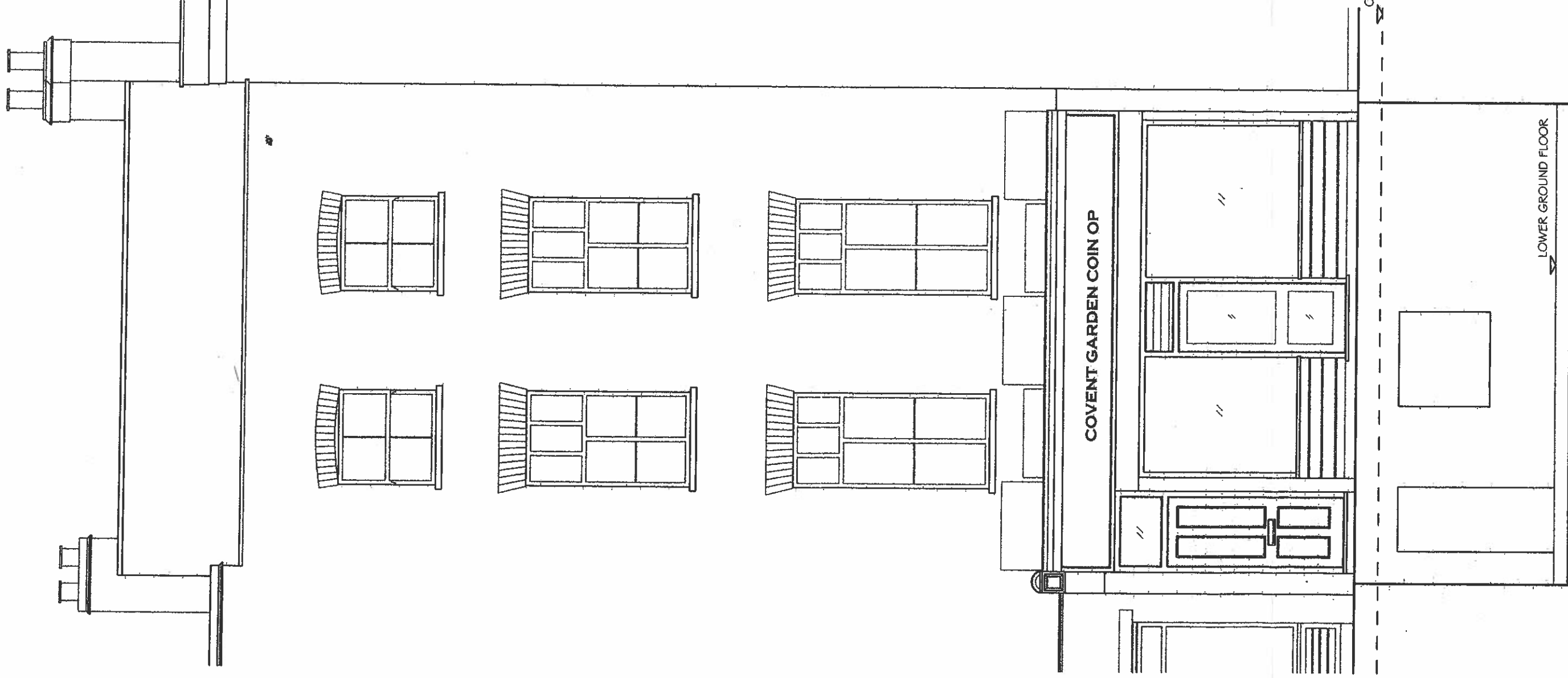
33BS01/04/11A

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**Conversion of Existing
Laundrette into Self-
Contained Flat.**

**33 Betterton Street
Covent Garden
London WC2H 9BP.**

Existing front Elevation.

May 2007 Scale: 1:50.

33BS01/04/12

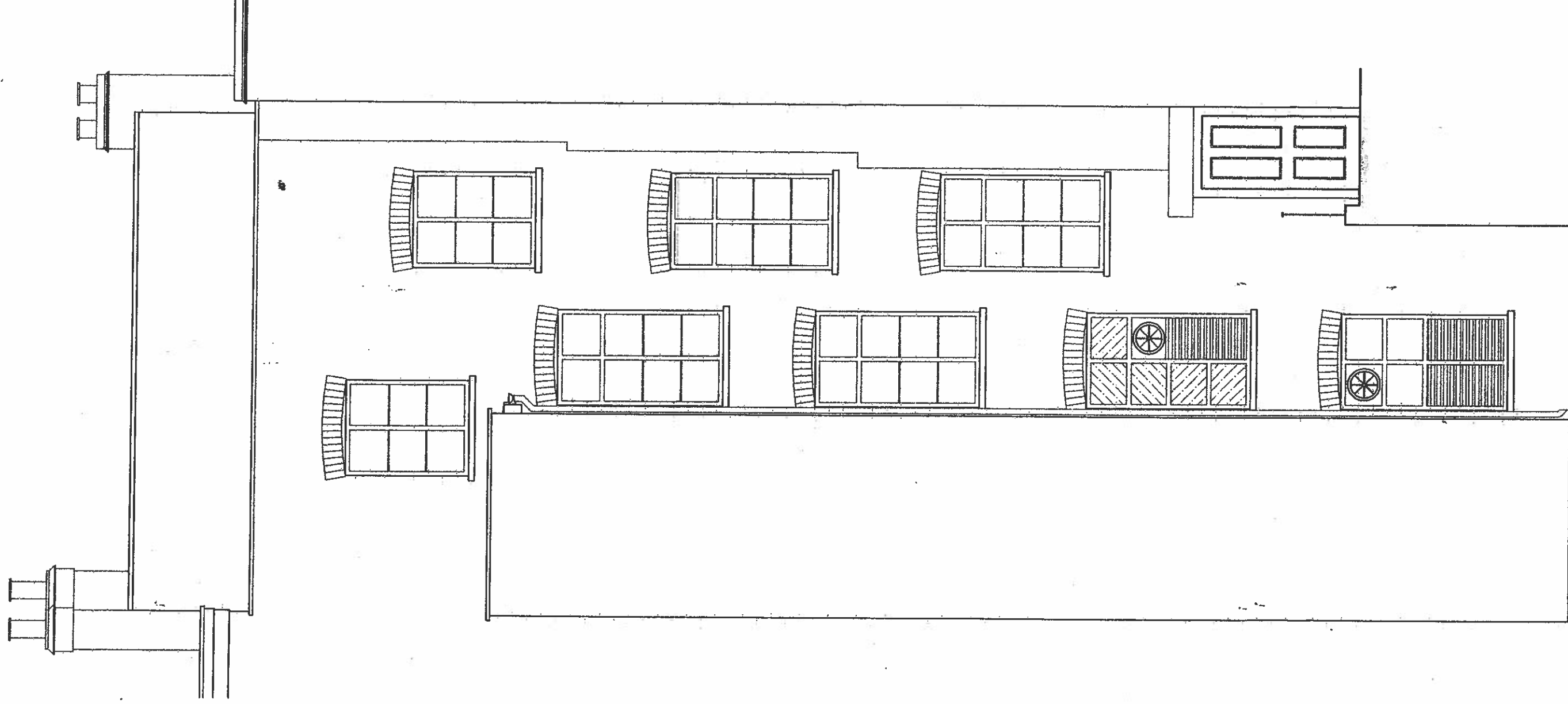
EXISTING FRONT ELEVATION

NOTES:

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This drawing to be read in conjunction with Drg. Nos. 01 to 14.



EXISTING REAR ELEVATION - A

**Conversion of Existing
Laundrette into Self-
Contained Flat.**

**33 Betterton Street
Covent Garden
London WC2H 9BP.**

Existing Rear Elevation-A.

May 2007 Scale: 1:50.

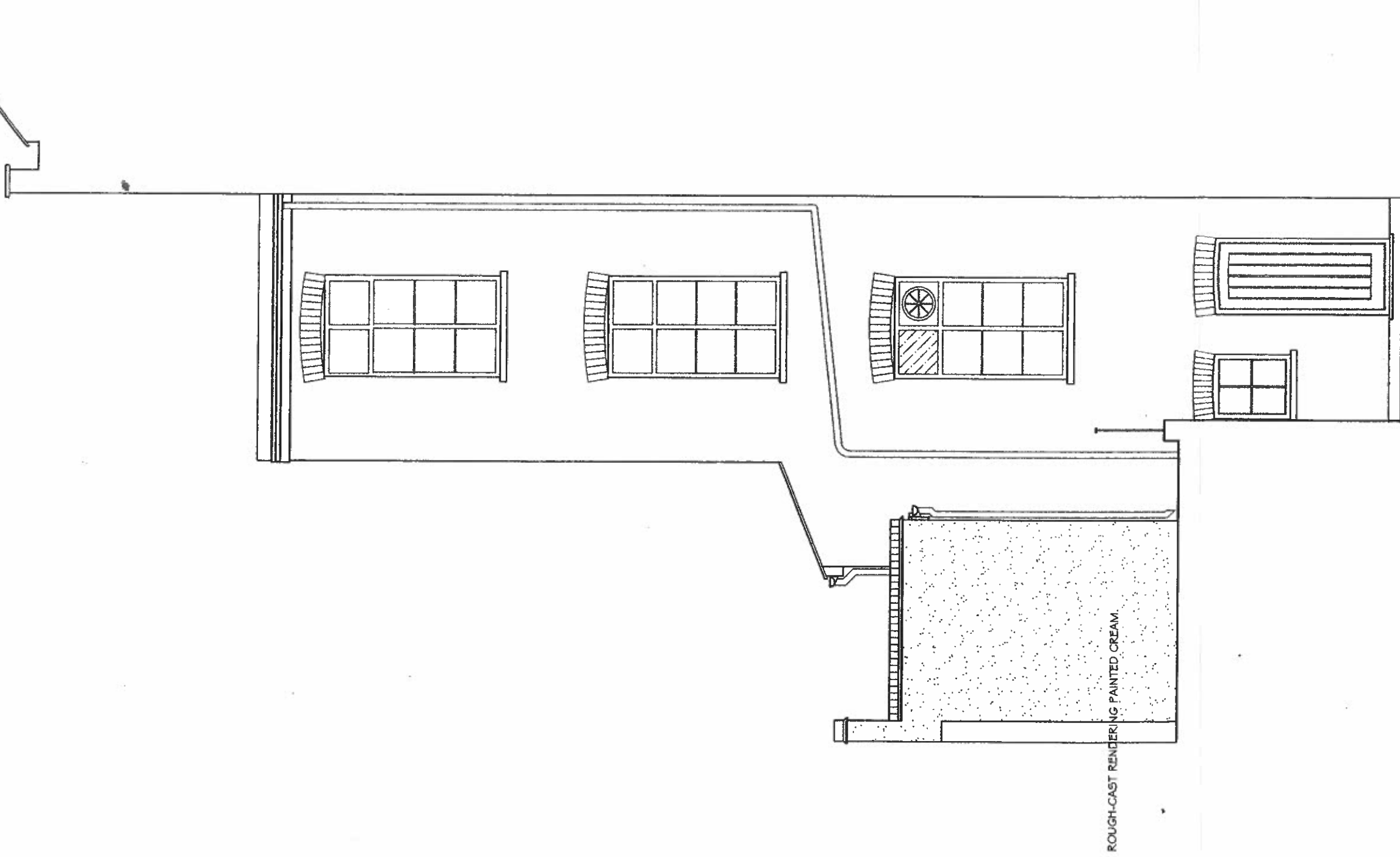
33BS01/04/13

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EXISTING SIDE ELEVATION

**Conversion of Existing
Laundrette into Self-
Contained Flat.**

**33 Betterton Street
Covent Garden
London WC2H 9BP.**

Existing Side Elevation.

May 2007 Scale: 1:50.

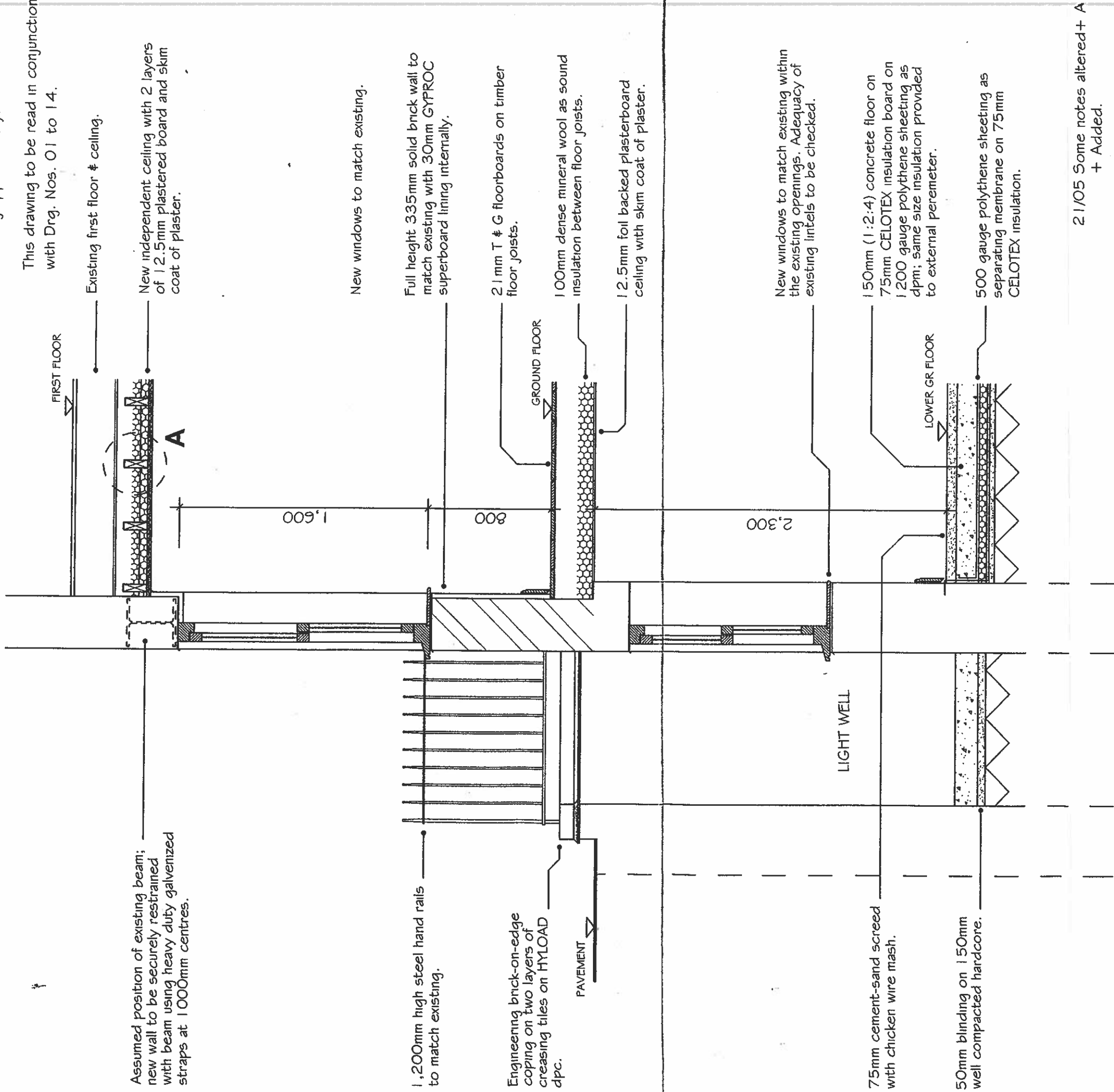
33BS01/04/14

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This drawing to be read in conjunction with Drg. Nos. 01 to 14.



21/05 Some notes altered+ A
+ Added.

**Conversion of Existing
Laundrette into Self-
Contained Flat.**

**33 Betterton Street
Covent Garden
London WC2H 9BP.**

Front Construction Details.

Dec 2004 Scale: 1:25.

33BS01/04/05A

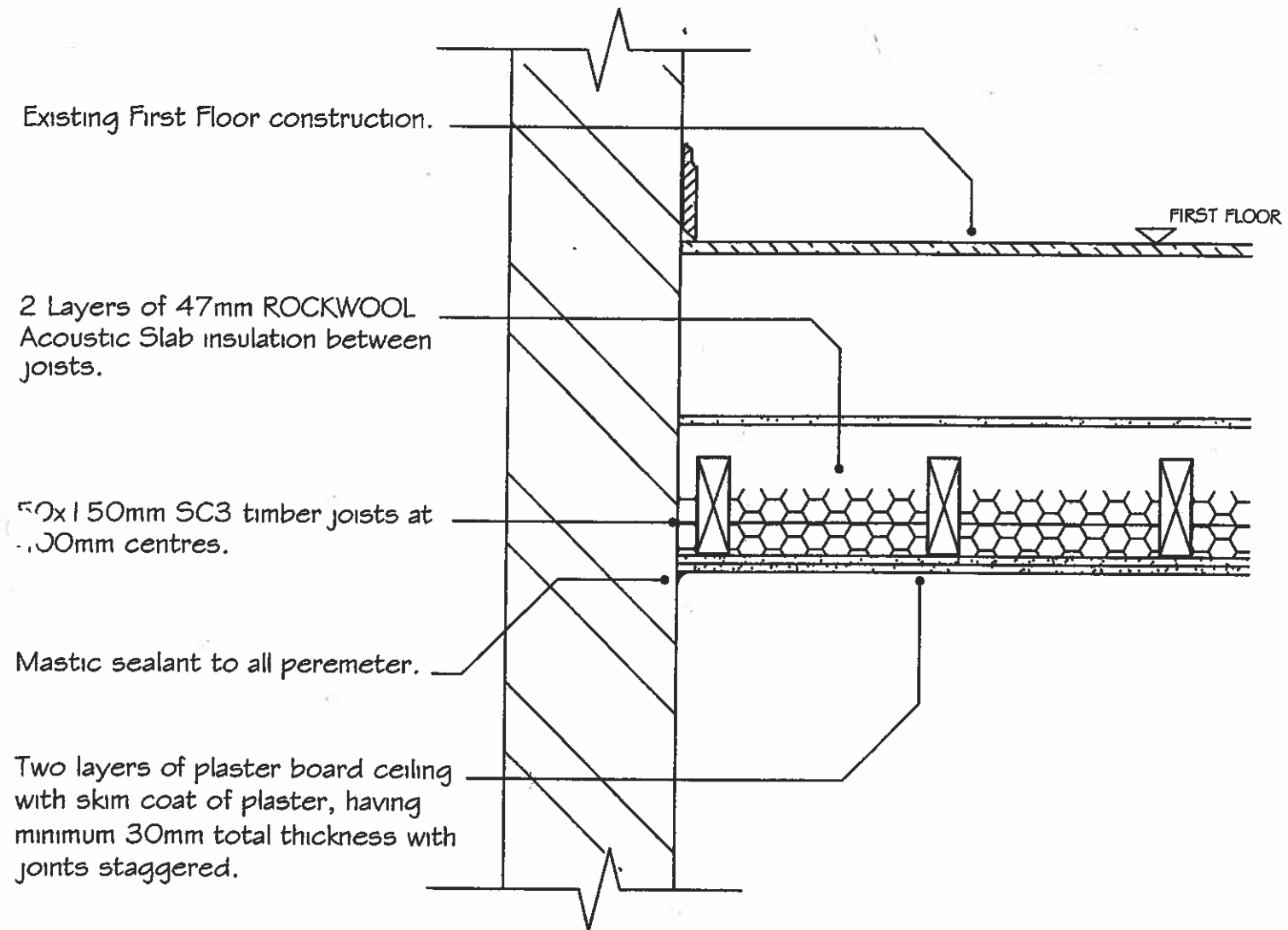
SECTION Y-Y

NOTES:

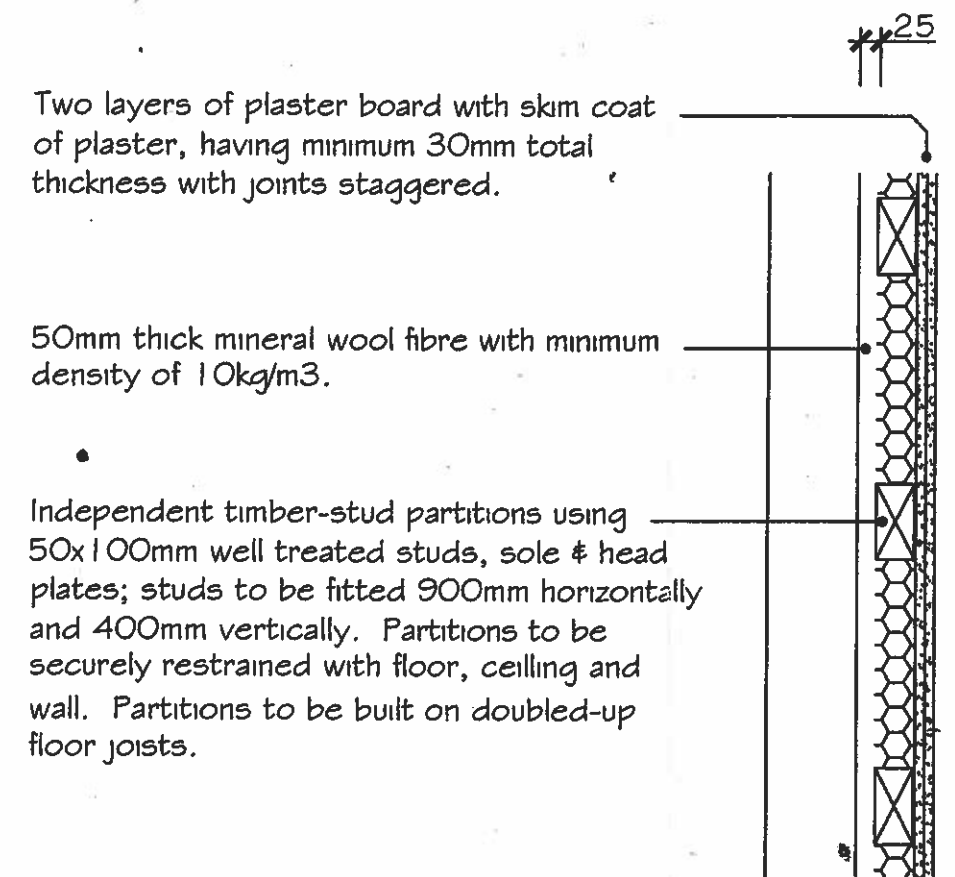
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INDEPENDENT CEILING DETAILS (DETAIL A)



LOBBY PARTITION DETAILS (DETAIL B)

**Conversion of Existing
Laundrette into Self-
Contained Flat.**

**33 Betterton Street
Covent Garden
London WC2H 9BP.**

Sound Insulation Details.

Dec 2004 Scale: 1:10.

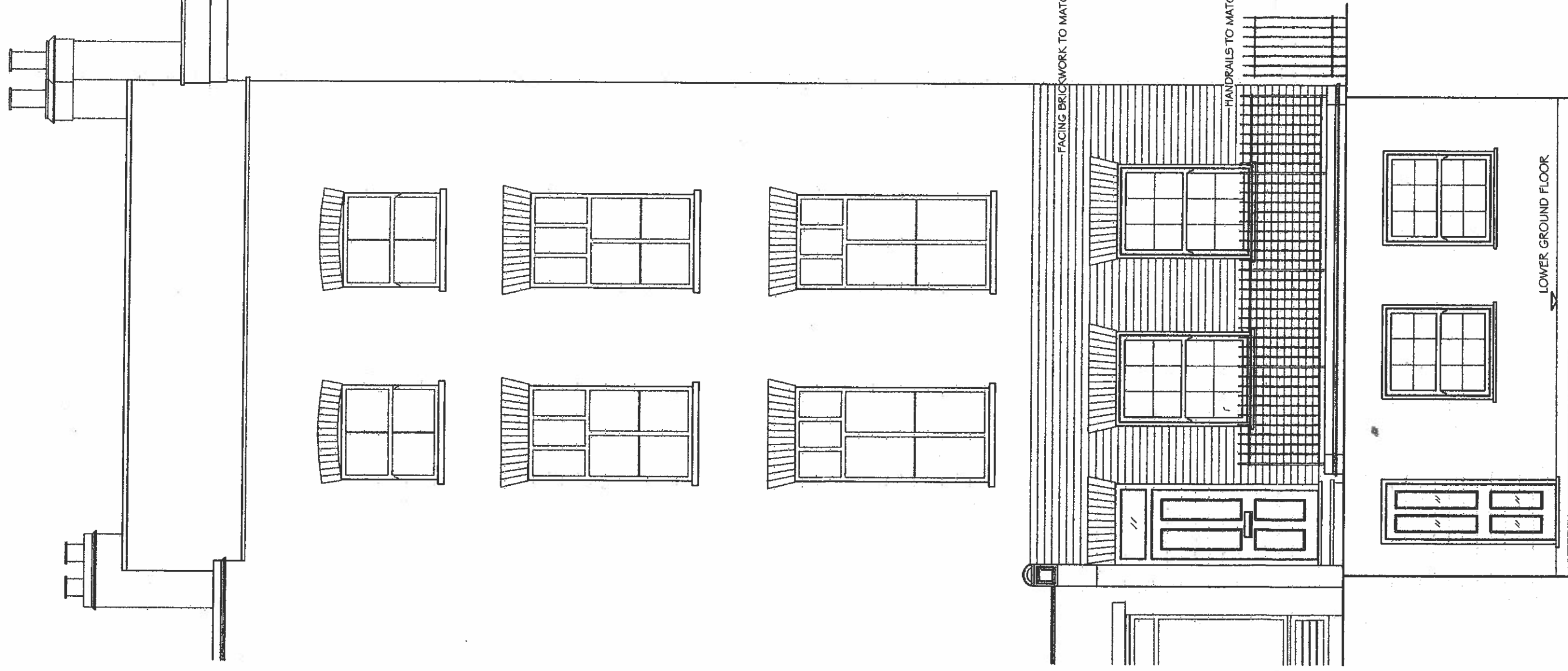
33BS01/04/06

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This drawing to be read in conjunction with Drg. Nos. 01 to 14.



27/03 Lower Ground Floor A
Details Added.

**Conversion of Existing
Laundrette into Self-
Contained Flat.**

**33 Betterton Street
Covent Garden
London WC2H 9BP.**

Proposed Front Elevation.

Dec 2004 Scale: 1:50.

33BS01/04/07A

PROPOSED FRONT ELEVATION

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PROPOSED REAR ELEVATION - A

**Conversion of Existing
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Contained Flat.**

**33 Betterton Street
Covent Garden
London WC2H 9BP.**

Proposed Rear Elevation.

Dec 2004 Scale: 1:50.

33BS01/04/08