

# 53A ELSWORTHY ROAD

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## DESIGN & ACCESS STATEMENT FOR ALTERATIONS & ADDITIONS

August 2014  
GSS - 5811 Rev B

**ADAM** ARCHITECTURE

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***ADAM Architecture, Old Hyde House, 75 Hyde Street  
Winchester, Hampshire, SO23 7DW***

*(Tel) 01962 843 843*

*(Fax) 01962 843 303*

*e-mail: [admin@adamarchitecture.com](mailto:admin@adamarchitecture.com)*

*[www.adamarchitecture.com](http://www.adamarchitecture.com)*

## 1.0 Introduction

- 1.1 This document together with the accompanying planning drawings sets out a proposal for the alteration of the front elevation and boundary treatment of No. 53a. Elsworthy Road. The design statement aims to explain the methodology for the proposal, whilst working within the constraints of the street and the Elsworthy Road Conservation Area setting.
- 1.2 It is the owner's intention to improve and harmonise the front elevation with the street scene, creating a façade more in keeping with the quality and style of architecture on Elsworthy Road and the wider conservation area.

## 2.0 Supporting Documents

- 2.1 This application is accompanied by the following drawings:

### New proposals drawings

<b>Drawing No.</b>	<b>Title</b>	<b>Scale</b>
5811/PL01A	Location Plan	1:1250
5811/PL02B	Proposed Site Block & Roof Plan	1:200
5811/PL03	Proposed Floor Plans	1:100
5811/PL04	Proposed Basement & Section A-A	1:100
5811/PL05	Proposed Front Elevation & Section B-B	1:100
5811/PL06	Proposed Side Elevation	1:100
5811/PL07	Proposed Street Elevation	1:100

### Previously approved proposals drawings

<b>Drawing No.</b>	<b>Title</b>	<b>Scale</b>
1124.01.12(-)	Approved Site Plan	1:200 @ A3
1124.01.13(B)	Approved Basement Plan	1:100 @ A3
1124.01.14(E)	Approved Ground Floor Plan	1:100 @ A3
1124.01.15(B)	Approved First Floor Plan	1:100 @ A3
1124.01.16(B)	Approved Second Floor Plan	1:100 @ A3
1124.01.17(B)	Approved Roof Plan	1:100 @ A3
1124.02.11(B)	Approved Section A-A	1:100 @ A3
1124.02.12(B)	Approved Section B-B	1:100 @ A3
1124.03.11(C)	Approved Front Elevation	1:100 @ A3
1124.03.12(B)	Approved Rear Elevation	1:100 @ A3
1124.03.13(C)	Approved Side Elevation	1:100 @ A3
1124.03.14(B)	Approved Road Elevation	1:100 @ A3
1124.03.15(-)	Approved Rear Elevation Section	1:100 @ A3

## 3.0 Planning History

- Approved planning consent 2013/7018/P dated 24<sup>th</sup> December 2013. This approved scheme allowed for alterations to the existing dwelling house (Class C3) including excavation to create new basement accommodation, erection of a ground floor rear

extension, alterations to front entrance and to rear dormer, and installation of roof-lights.

- Approved planning consent 2013/4848/P dated 21<sup>st</sup> August 2013, gave permission for change of use of two properties (53a & 54b) into one house.
- Approved planning consent PL8600545 for No. 53b dated 22<sup>nd</sup> May 1986, gave permission for the side extension of the existing bay and side of the house to provide a separate dining room.
- Approved planning consent 28710 for No. 53a dated 26<sup>th</sup> September 1979, gave consent for the rectangular brick porch.
- Approved planning consent 19912 for No. 53b dated 20<sup>th</sup> February 1975, gave permission for replacement front and side windows at ground floor level.

#### 4.0 Property Location

- 4.1 The property is located on Elsworthy Road, a wide tree lined avenue running between Avenue Road to the west and Primrose Hill Road to the east. The site lies within the Elsworthy Road Conservation Area, an area of approximately 16.4 hectares marking the boundary between the London Borough of Camden and the City of Westminster.

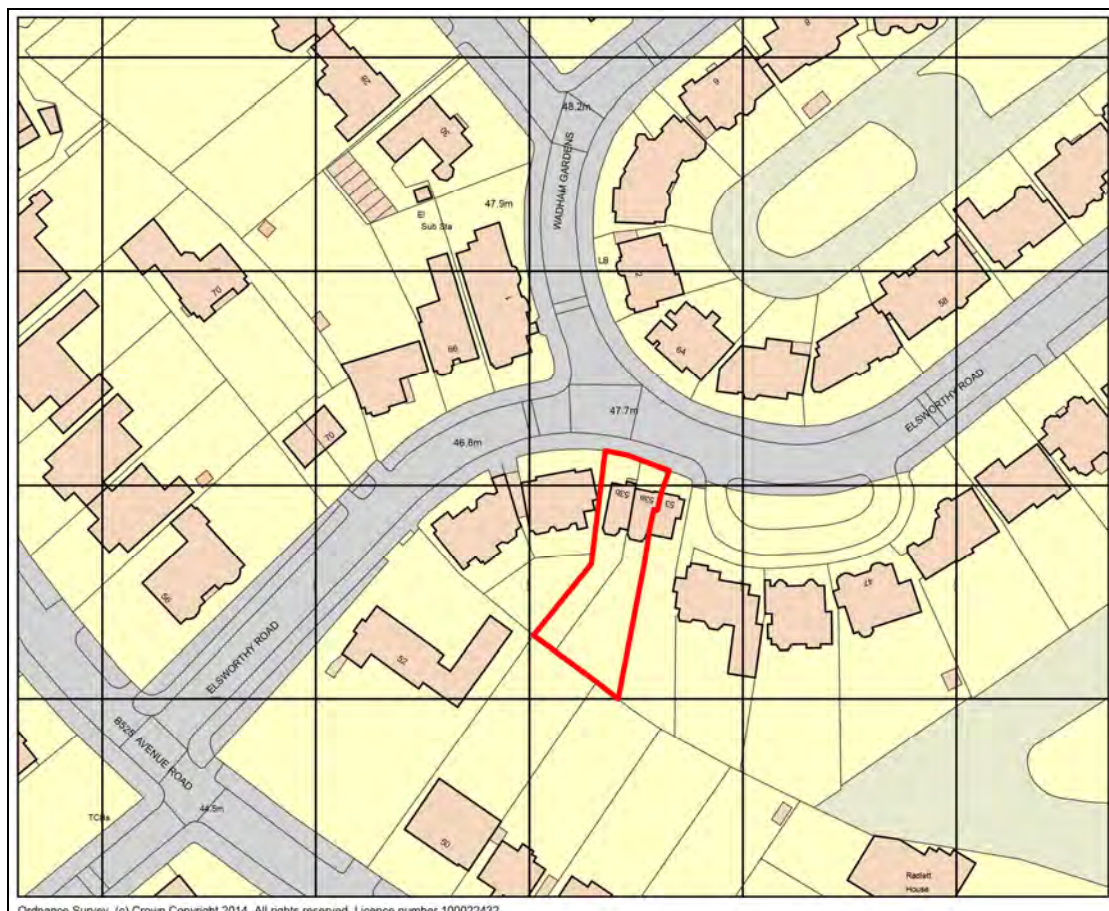


Fig. 1 – Location Plan

## 5.0 Existing Property



Fig. 2 – Front elevation with the existing porches and dormer and 53 to the left and 53a to the right.



Fig. 3 – Front elevation looking South West, with 53 in the foreground.



Fig. 4 – Front elevation looking South East with 53a in the foreground

- 5.1 The existing dwelling was originally built as one large detached house, being constructed as part of the William Willett plan for development of this locality and Elsworthy Road. It is thought that the house may have been designed by the architect Arno Faulkner around the turn of the last century. Faulkner was influenced by the work of Richard Norman Shaw.
- 5.2 The original house had been subdivided into three properties, known as 53, 53a and 53b Elsworthy Road. This resulted in the addition of new entrances and changes to the façades. From the planning history and a visual inspection of the house, it is clear that No's 53 and what was formerly 53b have been extended to the rear and side respectively. No. 53a has been extended to the rear with a conservatory and to the front with a porch. No. 53 had a garage, which has been converted into habitable space, and a bay was added to the front.
- 5.3 Each of the houses were and are set over three levels (ground, first and second at attic level). Currently, a basement level is being introduced to 53a, which has been consented under planning application 2013/7018/P. Nos. 53a and 53b were granted consent in 2013, Ref: 2013/4848/P for conversion into one property.
- 5.4 The front elevation of No. 53 has two gables at second floor level to the left and right and a central dormer serving No. 53a. There are three dormers to the rear elevation and a roof light to the side pitch of what was formerly No. 53b. To the rear of 53a there are two bays constructed of red brick. Further to this, there are three original red brick chimney stacks constructed of red brick at the property.
- 5.5 The house is largely constructed of red brick with rendering at first and second floor levels to the front gables. The roof is of clay tiles.
- 5.6 The front forecourt of No. 53a is a mix of concrete and paving, which form ramped driveways with crossovers from Elsworthy Road.
- 5.7 No. 53a is in need of modernisation and upgrading of the external fabric, currently the property is in the process of being upgraded and converted as approved into one dwelling. These current works will enhance and improved the function and existing presentation of No's 53a and 53 as a whole.



Fig. 5 – Front Elevation – Approved Scheme 2013/7018/P



Fig. 6 – Rear Elevation – Approved Scheme 2013/7018/P



Fig. 7 – Side Elevation – Approved Scheme 2013/7018/P

## 6.0 Planning Advice

- 6.1 The proposed changes to the façade, the subject of this application, were discussed as part of the current consented scheme but were not submitted with that application. In communication with the Case Officer at Camden Planning, it has been confirmed that the amendments required a Minor Material Amendment to the consent granted through 2013/7018/P.

## 7.0 The Local Context and Planning Policies

- 7.1 The building context of Elsworth Road is of two and three storeyed detached and semi-detached vernacular influenced houses with features such as timber porches, gables and dormers, being constructed in red brick and tiled roofs, with asymmetrical façades and footprints. There is also a range of decorative features, including render

relief and moulded timber cornices to bays, porches and dormers. Many of the houses have been subdivided.

- 7.2 The London Borough of Camden adopted its Core Strategy and Development Policies on 8<sup>th</sup> November 2010. The Core Strategy is the principal document in the Local Development Framework and provides the vision, objectives and spatial policies to guide development in the borough up to 2025. The Development Policies contributes towards delivering the Core Strategy by setting out detailed planning policies that the Council will use for determining planning applications. In this context, the minor alterations proposed would be wholly in accordance with the adopted Local Development Framework Policies (2010-2025). The principal policies for consideration are:

7.3 Policy DP24 – Securing High Quality Design

*The Council will require all developments, including alterations and extensions to existing buildings, to be of the highest standard of design and will expect developments to consider:*

- a) character, setting, context and the form and scale of neighbouring buildings;*
- b) the character and proportions of the existing building, where alterations and extensions are proposed;*
- c) the quality of materials to be used;*
- d) the provision of visually interesting frontages at street level;*
- e) the appropriate location for building services equipment;*
- f) existing natural features, such as topography and trees;*
- g) the provision of appropriate hard and soft landscaping including boundary treatments;*
- h) the provision of appropriate amenity space; and accessibility.*

The proposed alterations are considered to be in accordance with this policy, with the repositioning of the existing porch (53b) and the removal of the modern porch (53a), altering of the much altered existing dormer and new and altered fenestration being designed considerably to enhance and preserve the importance of the conservation areas status, thus respecting the immediate vicinity accordingly. All materials and landscaping surfaces are to be of high quality and complimentary to the locality. Accessibility will be maintained from Elsworthy Road as existing, with new gates and the retaining of the elements of the original boundary walls.

7.4 Policy DP25 – Conserving Camden’s Heritage

*Conservation Areas - In order to maintain the character of Camden’s conservation areas, the Council will:*

- a) take account of conservation area statements, appraisals and management plans when assessing applications within conservation areas;*



- b) *only permit development within conservation areas that preserves and enhances the character and appearance of the area;*
- c) *prevent the total or substantial demolition of an unlisted building that makes a positive contribution to the character or appearance of a conservation area where this harms the character or appearance of the conservation area, unless exceptional circumstances are shown that outweigh the case for retention;*
- d) *not permit development outside of a conservation area that causes harm to the character and appearance of that conservation area; and*
- e) *preserve trees and garden spaces which contribute to the character of a conservation area and which provide a setting for Camden's architectural heritage.*

The proposals have been developed in full respect of this policy, with alterations that are designed to reflect the eclectic mix of details and traditional materials of the existing house and within the conservation area. No. 53a has already been granted permission for significant alteration and extension to the rear and below ground, Ref: 2013/7018/P. The new proposals are largely related to internal alteration and enhancement of the front façade and forecourt.

#### 7.5 Policy DP26 – Managing the Impact of Development on Occupiers & Neighbours

*The Council will protect the quality of life of occupiers and neighbours by only granting permission for development that does not cause harm to amenity. The factors we will consider include:*

- a) *visual privacy and overlooking;*
- b) *overshadowing and outlook;*
- c) *sunlight, daylight and artificial light levels;*
- d) *noise and vibration levels;*
- e) *odour, fumes and dust;*
- f) *microclimate;*
- g) *the inclusion of appropriate attenuation measures.*

*We will also require developments to provide:*

- h) *an acceptable standard of accommodation in terms of internal arrangements, dwelling and room sizes and amenity space;*
- i) *facilities for the storage, recycling and disposal of waste;*
- j) *facilities for bicycle storage; and*
- k) *outdoor space for private or communal amenity space, wherever practical.*

The proposals have been designed to comply with factors a) to g) with the proposed minor alterations designed not to increase visual privacy or overlooking of adjoining properties. The proposed new W.C. side window at ground floor level will have opaque glazing. Overlooking and overshadowing is not affected by the proposals. Internal and neighbouring daylight amenities are also not affected by the proposals.

There will be no odours, fumes, dust noise or vibrations associated with the proposals associated with this application. The microclimate in the area will also not be affected by the proposals.

The proposals have further been designed to comply with factors h), by providing improvement to the internal layout and maintaining good size rooms of a high quality standard of accommodation. Facilities for storage, recycling and waste disposal are not affected by these proposals and remain as existing and as consented, Ref: 2013/7018/P.

#### 7.6 Elsworthy Road Conservation Area Appraisal and Management Strategy

This document was adopted 14<sup>th</sup> July 2009 and provides information on the quality and development principles for the conservation area. The following principal statements are of importance in developing and considering the new proposals:

- 7.7 *13.14 Development proposals must preserve or enhance the character or appearance of the Elsworthy Conservation Area. This requirement applies equally to developments which are outside the Conservation Area but would affect its setting or view into or out of the area.*

The proposals are designed to remove later elements and restore a sense of unity and cohesion to the front elevation, in effect returning the appearance largely to its original (assumed) composition and form of as a detached property.

- 7.8 *13.16 Proposals which seek to redevelop those buildings that are considered to have a negative impact on the special character or the appearance of the Conservation Area with appropriate new development will be encouraged.*

Whilst the proposals and the existing consented scheme do not entail the full redevelopment of the site, it is noted that that elements of the property as existing are considered to be unattractive and of detriment to the house and aesthetics of the conservation area. This is particularly of note in regard to the front elevation, with the late 20<sup>th</sup> Century porch of No. 53a and its inferior construction and poor condition, further to this the dormer of No. 53a has been much altered and many windows to both 53a and what was formerly 53b have been subject to modern alteration.

- 7.9 *13.18 The appearance of all buildings of historic interest (listed and unlisted) within the Conservation Area is harmed by the removal or loss of original architectural features and the use of inappropriate materials. For example, the loss of original joinery, sash windows, porches and front doors, can have considerable negative impact on the appearance of a historic building and the area. Insensitive re-pointing, painting or inappropriate render will harm the appearance and long-term durability of historic brickwork.*

The proposals aim to preserve the remaining original features and restore elements that have since be altered or removed, such as appropriately designed windows and refinement of the dormer. The retaining and repositioning of the original porch and

door is considered to be an improvement, which will restore a sense of unity and cohesion to the whole of the front façade as one property. This has been devised by paying reference to similar precedent properties in the locality.

- 7.10 *13.19 The Conservation Area retains many diverse historic rooflines which it is important to preserve. Fundamental; changes to the roofline, insensitive alterations, poor materials, intrusive dormers, or inappropriate windows can harm the historic character of the roofscape and will not be acceptable. Of particular interest are original tiles, dormer windows, parapets, finials, chimneystacks and pots and expressed party walls.*

The roofscape is not to be greatly altered, with only the front dormer being upgraded and replaced, therefore enhancing the properties appearance and that of the conservation area.

- 7.11 *13.21 The boundary walls, gates posts and fencing whether in stone, wood, or iron along the majority of frontages are an important facet of the character of the area overall and of the different sub-areas specifically. The Council will resist the loss of original boundary treatments and the iron and wooden elements and planted greenery associated with them where this forms part of the area's character.*

The original boundary walls were greatly altered when the house was divided into three separate dwellings, to provide access and drives to No's 53a and 53b. The proposal respects the remaining elements of the walls, with minor alterations and the introduction of painted iron gates.

- 7.12 The buildings in the conservation area have a rich variety of detail. The character of the area as a whole remains distinct, whilst individual properties declare their individuality by the use of varied decoration, porches, gables and window and door details. The result is an overall, cohesive architectural character with a sense of eclecticism. The vernacular sits happily alongside classical detailing. The proposals continue this theme and are envisaged to be of suitable and cohesive design to integrate with the existing house and the surrounding building characteristics.
- 7.13 Summary – It is believed that the proposals are compliant with national and local policies, being of an appropriate design in terms of aesthetics, function, and quality of detail and materials, with no adverse or significant impact upon the existing house, locality and local and neighbouring amenity.

## **8.0 Proposals Sought & Justification**

- 8.1 This application is for minor alteration and remodelling of the front elevation and forecourt of No. 53a Elsworthy Road. The principle alterations are:

- Repositioning and centralising of the entrance door and painted timber porch,
- Altering of existing openings for two new side light windows, either side of relocated main entrance,
- New matching clay tile pitched roof over existing projecting bay of ground floor dining room (formerly 53b),
- Enlargement and replacing of dining room window,
- New window to ground floor WC,
- New first floor bay window to front corner bedroom (formerly 53b),

- Altering and reinstatement of blocked casement at first floor bedroom window (53a) above relocated porch,
- Enlargement of existing dormer window,
- Adjustment to consented basement lightwells and basement windows,
- Alterations of front boundary wall,
- Internal alterations, including reconfiguration of the staircase from Basement to Attic and enlarged en-suite to front bedroom.

8.2 The existing front door and painted timber porch to what was formerly 53b (see fig. 8) is proposed for repositioning in the central bay of No. 53a (see fig. 9). The brickwork will be detailed to match the existing, with the reuse of the impost and keystones. This position is similar to examples to be found at similar properties in the conservation area (see figs. 10 & 12). The repositioning of the entrance will allow for a main staircase and entrance hall at the center of the house, whilst improving the aesthetics of the property with the removal of the late 20<sup>th</sup> Century porch of No. 53a. All original timbers and stonework would be retained where possible or replaced with new to match the existing.



Fig. 8 – Existing porch and entrance door formerly of 53b.



Fig. 9 – Existing 20<sup>th</sup> Century porch and altered façade of 53a.

- 8.3 The modern porch given approval in 1979 (Ref: 28710) and openings at ground floor level of No. 53a are to be altered for the relocated entrance and the introduction of two casement windows, which will form side-lights either side of the new entrance way (see fig. 9). The joinery, jambs, cill and head details will match the original equivalent elements of the house. These windows will provide light for the entrance hall.
- 8.4 The existing flat roof over the dining room bay, existing side extension given approval in 1986 (Ref: PL8600545) is to be replaced with a new clay tiled pitched roof, using handmade tiles to match the original at roof level. This feature will improve the aesthetics of the right hand bay and side extension, whilst improving the weathering capacity.

- 8.5 The dining room window has been much altered and is not original to the house, being given approval in 1975 (Ref: 19912) and does not reflect the original character or detail of the house. The new window will be larger and proportionate to the width of the projecting bay, being designed to match the original equivalent elements at the house.



Fig. 10 – No. 2 Wadham Gardens, precedent for double height bays and central doorway



Fig. 11 – No. 64 Elsworthy Road, precedent for double height right-hand bay



Fig. 12 – No. 56 Elsworthy Road, precedent of similar front elevation for No's 53 and 53a, including central dormer, two storey right-hand bay and porch located between the shallow projecting wings.

- 8.6 The existing entrance hall area of what was formerly 53b will become a W.C. with a new side opening introduced facing the proposed relocated porch. The new window will be to the same proportions of the proposed entrance hall side lights and will incorporate opaque glazing, with mouldings and details designed to match the original equivalent elements at the house. The redundant opening of the existing entrance door will be blocked with facing brick to match the existing in bond, texture and colour.

- 8.7 At first floor level above the projecting right-hand bay of what was formerly 53b, it is proposed to introduce a bay window, detailed to be sympathetic to the style of the house. First floor and double height bays are a typical feature of houses within in the conservation area (see figs. 10, 11 & 12). The new bay window is designed to be proportionate to the width of the gable and incorporates mouldings and details designed to match the original equivalent elements at the house. The bay will be constructed of facing brick to match the existing in bond, texture and colour below the cill and incorporates cast terracotta decorative tiled panels, similar to comparative decorative features to be found in the conservation area. The roof of the bay will be of clay tiles to match the existing.
- 8.8 During the conversion of the house into three properties, the first floor window of No. 53a was altered. It is therefore proposed to restore this window to its original format, with the reinstatement of the current blocked casement. The new casement will match the existing and provide a full width window to the front bedroom.
- 8.9 It is proposed to rebuild the existing much altered front dormer window of No. 53a and reposition this centrally to the recessed bay of the front elevation (see fig. 12 for precedent). The rebuilt dormer will be detailed to incorporate mouldings and profiles to match the original equivalent elements at the house, including the hipped roof. As part of the consented scheme dated 2013, Ref: 2013/7018/P it is proposed to omit the (as yet unexecuted) roof-light from the alterations.
- 8.10 The proposed works for the repositioning of the entrance porch, will require the altering of the consented basement lightwell and associated windows at this level (Ref: 2013/7018/P). This will result in the requirement to create two smaller lightwells each side of the repositioned entrance. These works are not thought to be contentious, as there is no visual alteration to the front elevation, with only the introduction of smaller ironwork grilles at ground level, being of no increased impact to that of the current consented scheme.
- 8.11 Further to the consented internal alterations that are in progress, Ref: 2013/7018/P, it is proposed to undertake additional internal alterations, which will improve the circulation and status of the house, including the replacing of the existing staircase and redesign of the ground floor staircase configuration in the entrance hall. The remaining internal alterations relate to the altering of the external openings, the introduction of a window into the ground floor WC and enlargement of a first floor en-suite.
- 8.12 The original front boundary wall was historically altered to provide access to No. 53a. It is proposed that the 20<sup>th</sup> Century boundary wall elements are to be removed and rebuilt to match the existing, in form, detail and bond. Two new piers are to be constructed, incorporating stone bases, capitals and details to form an in-and-out drive, utilising the existing drop-down curbs and pavement cross overs formerly serving No's 53a and 53b. It is further proposed to introduce painted iron gates, which will require the raising of the existing left-hand pier to accommodate appropriate ground clearance of the gates. The raising of this pier would match the existing right-hand pier in height.
- 8.13 It is believed that the proposals have been considered in a sensitive and cohesive manner that will result in a scheme, which is thought to have no adverse effects upon the existing house and its special character or setting. The design of the minor

alterations, utilise and use materials and finishes complimentary to the original fabric. The updating of the boundary walls are considered to be appropriate in terms of scale and form, which is not detrimental or overbearing to the house or streetscape. The proposals are positive and ensure that No. 53a evolves in a sympathetic manner and thus ensures the continued practical use and preservation of this part of the house and its remaining historic fabric.

- 8.14 The proposals do not result in major demolition of the house, but actively enhance it with the removal of 20<sup>th</sup> Century additions and alterations, which are recognised as being detrimental to the esthetics of the house.
- 8.15 Summary - This application seeks to remodel the front façade and boundary of No. 53a facing onto Elsworthy Road. The proposed works under this application seek to enhance and unite the front elevation to represent a single dwelling house, in the spirit of its original design.

## **9.0 Biodiversity & Environmental Statement**

- 9.1 There are no elements of the proposals that would have an affected upon the local biodiversity or environmental realms. All works are related to minor modification and alterations of the existing house and hard landscaping of the front forecourt.

## **10.0 Sustainability Statement**

- 10.1 The majority of the proposed works will consist of alterations to No. 53a, which will be constructed to embrace elements of the principles of sustainable development. All new and upgrading of existing services will be designed to sustainable standards, with the use of high levels of insulation and 'A' rated electrical goods. The continued use of the house in itself is sustainable. All materials of merit that are salvageable from the works will be reused were possible.
- 10.2 The upgraded areas of forecourt landscaping will incorporate drainage that will remove water away from the building and where possible, rainwater harvesting will be introduced for irrigation purposes.
- 10.3 Any significant redundant masonry materials from the proposed works will be removed from site to an appropriate registered facility for reuse as hardcore or salvaged for potential reuse. Any metals that are found or become redundant and can be salvaged will be sold to a reputable salvage company.
- 10.4 Building materials to be used are to be restricted to a range of natural or traditional materials, the majority of which are already used at the property. These materials are chosen for their durability and robust qualities, their ease of maintenance, replacement and repair and include timber doors and windows, clay tiles, natural stone, cast iron and or aluminium architectural details including rainwater goods. Every effort would be made to obtain materials from local sources, thereby reducing transportation costs, limiting environmental pollution and creating a direct relationship with the local economy and community.

## **11.0 Car Parking & Accessibility**

- 11.1 This proposal does not result in any alteration to the parking or accessibility at the house as existing or consented previously under planning approval Ref: 2013/7018/P.

## **12.0 Conclusion**

- 12.1 It is felt that these minor alteration proposals will have no adverse impact to the whole of No. 53 Elsworthy Road, or its setting within the Elsworthy Road Conservation Area, whilst positively improving and enhancing the house and being in line with national and local policies.