

**14 WELL ROAD
DESIGN AND ACCESS STATEMENT
JULY 2014**

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Hampstead Village adjacent to Hampstead Heath

1.0 Introduction

14 Well Road is a Semi-detached house on a quiet residential street near Hampstead Heath in the Camden Ward of Hampstead Town in the London Borough of Camden. It is in the Hampstead Conservation Area.

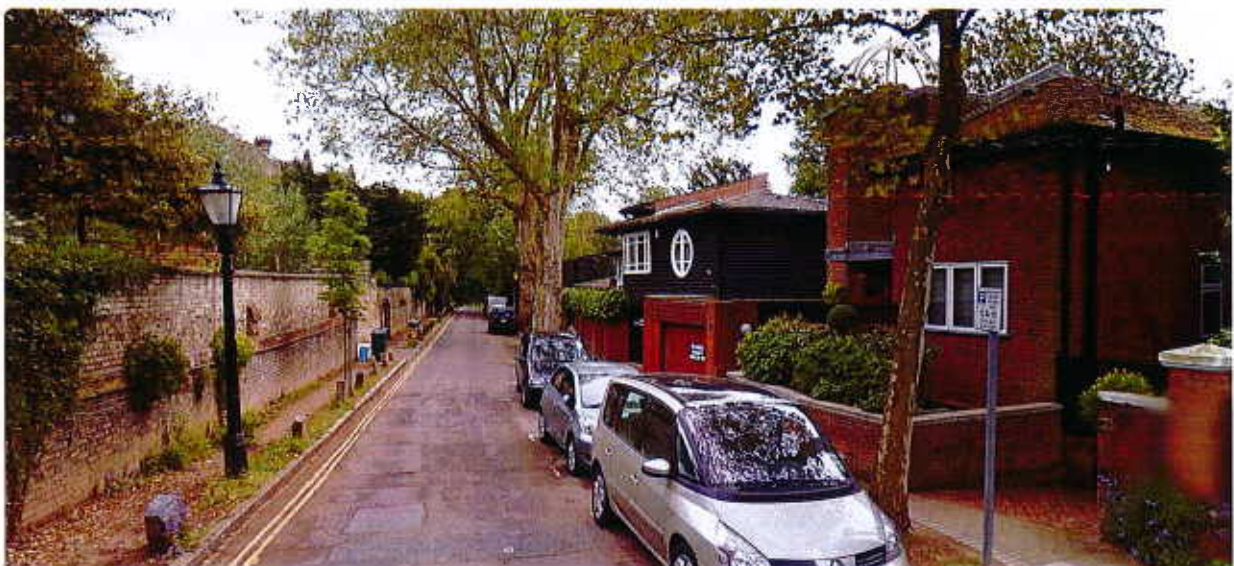
Our proposal is to replace the existing house with a new house with an updated modern appearance that will enhance the Conservation Area.

2.0 Heritage Statement

14 Well Road was built in 1985 and forms a small group of modern houses in Well Road near Hampstead Heath which include Nos. 15 and 21 Well Road. Although the three houses have individual styles, they all are in a modern vernacular.

The house is a 3-storey semi-detached house. It is constructed from orange brick with a hipped cement tile roof. The front of the house is dominated by a car garage and an octagonal stair tower with a glass domed top. The house has painted timber windows. Access to the rear of the house is through a side passage, with a small private garden at the rear, which is typical of the area.

Hampstead is an area of London with a long history of modern and unusual buildings, woven into the older building fabric, and this building adds to the historical character of the Conservation Area in the way that it contrasts with the older buildings, and forms part of the varied pattern of old and new in the borough. We view the modern appearance of the house to be its most significant heritage attribute. By updating this modern appearance, we feel that its significance is maintained and given new life within its local modern grouping and the larger Conservation Area.



Well Road looking north east with No.14 visible on the right

3.0 Planning History

Planning approval was sought and granted for alterations and extensions to 14 Well Road in September 2011 (2011/1688/P), following pre-application advice from a site meeting in January 2011 (2010/6519/NEW).

A design for a new house was granted planning approval in April 2014 (2013/3998/P). Pre-application advice was sought in June 2012 (CA/2012/ENQ/04431) regarding the extension to the flank wall for this application.

Planning is now sought for a new house which will vary little from the approved new house design.

4.0 Design Issues

4.1 Appearance and Proposed Materials

The appearance and materials of the proposed house have been chosen in order to replace the existing house with a new house that updates the modern appearance of the 14 Well Road house.

The octagonal stair tower will be removed to give a more consistent facade to the house.

The hipped tiled roof will be replaced with a modern painted metal roof.

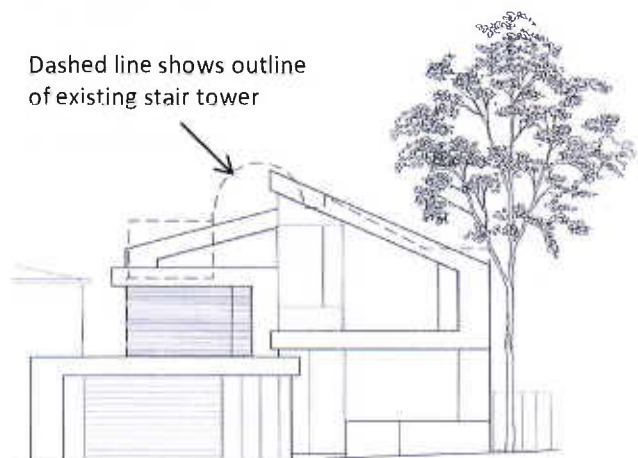
The entrance to the house will be at street level.

The front of the house and garage will consist of painted render and painted metal panels, with painted metal windows and front door. The rear and right side of the house will be white painted render, and the left side will be fair faced brick to match the existing brick of the house.

The raised front planter will be replaced with paving and planting behind a low rendered wall.



Photo of the front of 14 Well Road



Drawing of the proposed front of 14 Well Road



Photo of the rear of 14 Well Road



Drawing of the proposed rear of 14 Well Road

At the rear of the property the new house replaces the 2 storey metal clad bay and adjacent wall with bay window, with an angled ribbon of wall containing windows. This wall is topped with painted metal blades introduced to prevent overlooking of the property at the rear, and were included in a Deed of Settlement with the owner of the property to the rear.

4.2 Access Use and Layout of the Proposal

The proposed vehicular access to the property does not change. A single car garage is accessed using an existing dropped kerb which will not be changed. The existing parking bays in the street will not be altered in any way.

Pedestrian access to the property does change. The proposed front door is at street level rather than up front steps as it is at present. An additional entrance to the ground floor is proposed from the garage to provide a secure entrance.

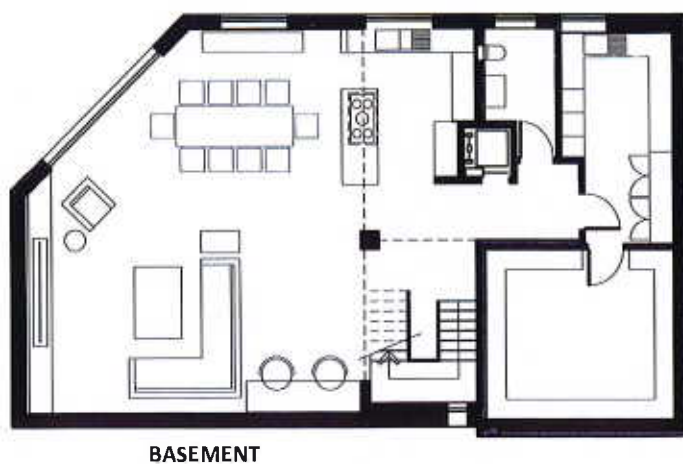
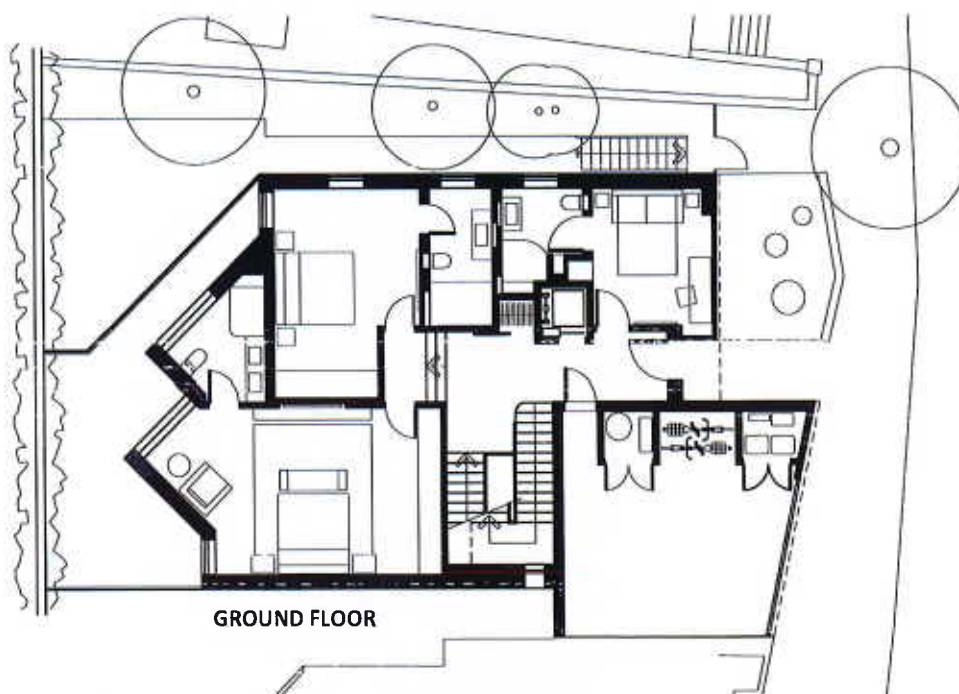
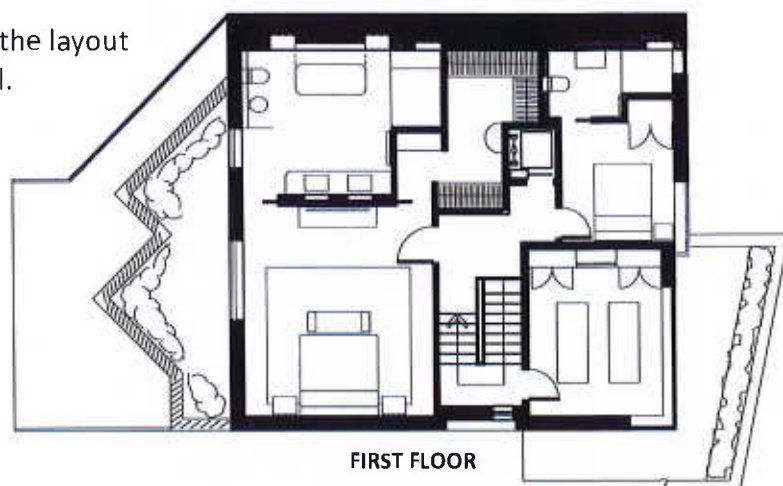
The rear garden is currently accessed along a side passage with steps. This will also be the case in the proposal, although the steps will be brought forward in the property.

Internally the access has changed with the introduction of a lift along with reconfigured stairs.

Currently the house is a single family residence, and the proposed house will have the same use.

The proposed layout changes how the house will be used. Currently the main living area is on the ground floor, the master bedroom is in the basement, and the study is on the first floor. It is proposed that the main living area will be in the basement, the master bedroom on the first floor, and the study and spare bedrooms on the ground floor.

Plans showing the layout of the proposal.



4.3 Scale and Amount of Development

The scale of the proposal is appropriate for a single family dwelling.

The proposed house comprises 354.2 square metres of gross internal floor area plus a 32.6 square metre garage.

4.4 Landscaping

The proposed landscaping will focus on maintaining the existing trees and hedges, and will introduce new planting beds for the terraces.

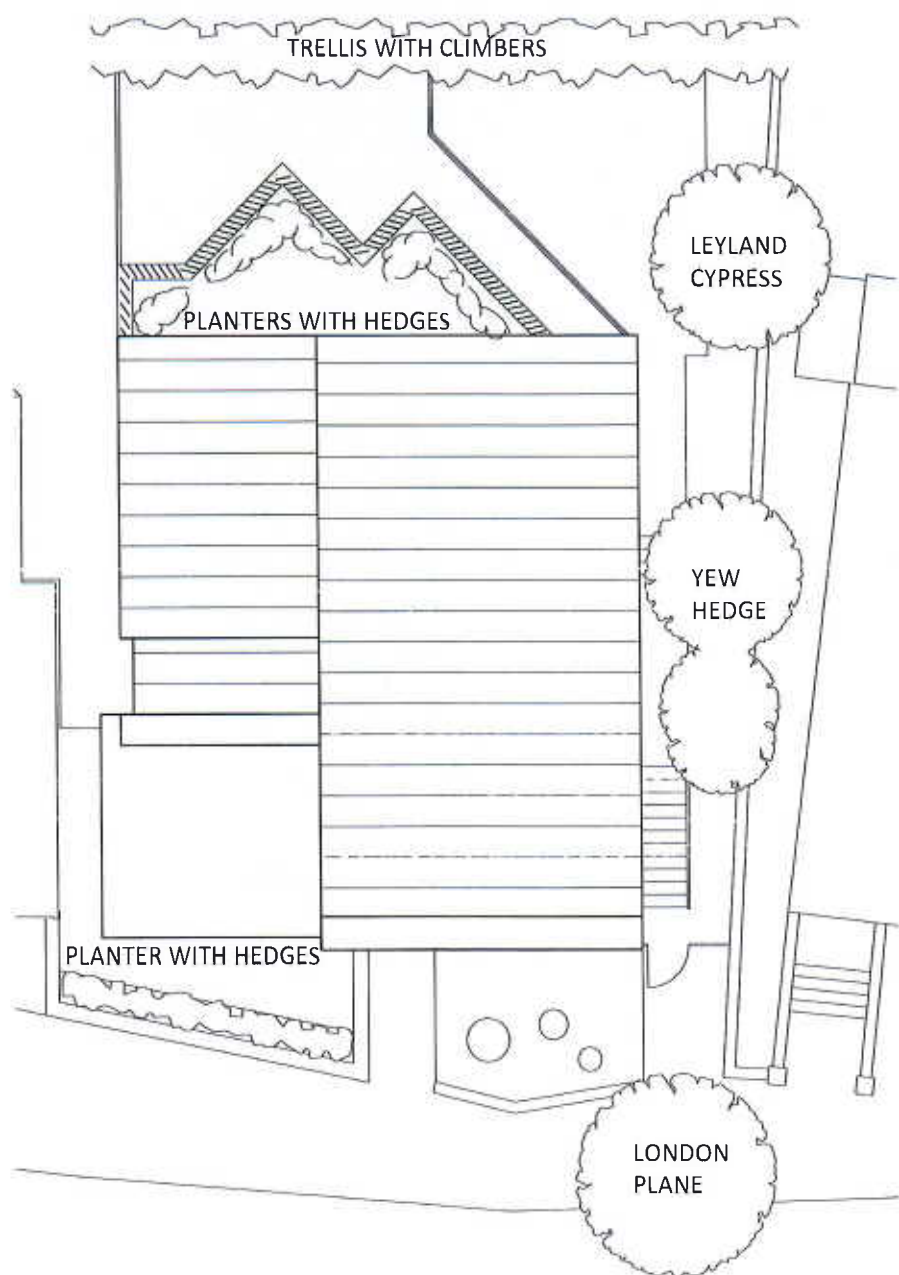
A trellis sits atop the rear garden boundary wall, and is planted with a variety of climbers that create a high, dense screen. These plants will be carefully maintained during the build process and will continue to provide a substantial screen.

At the south side of the rear garden is a large mature Leyland Cypress which is to be retained.

Along the side passage, a mature Yew hedge will be kept.

Both the first floor terrace and the garage roof will have planters with hedges.

The London Plane street tree will be protected during the build process.



5.0 Lifetime Homes Statement

A Lifetime Homes Assessment highlights the following points:

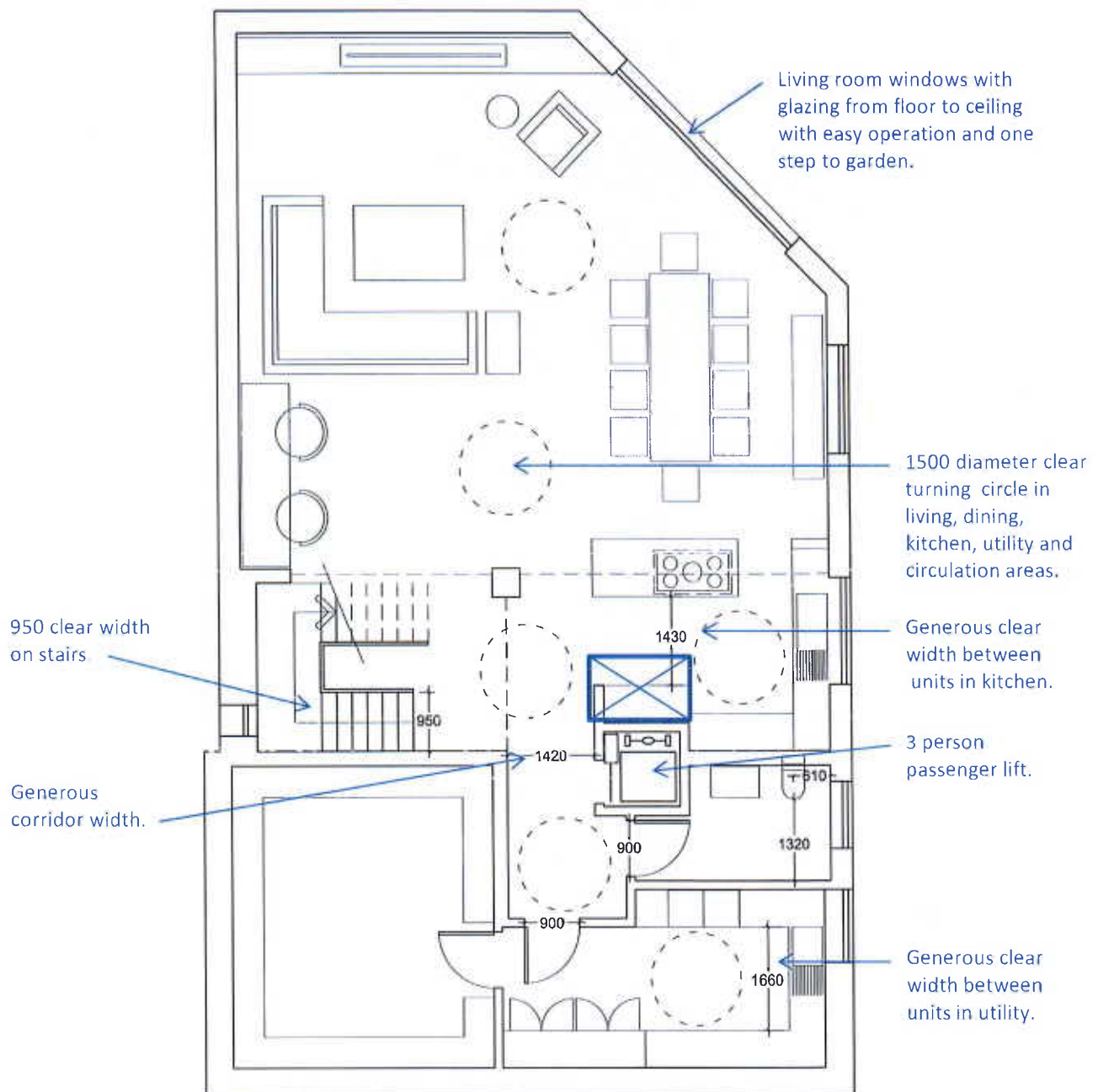
- There is car parking adjacent to the home which is 4.3M wide, exceeding the recommended 3.3M wide parking space. The parking is in a garage with direct access to the ground floor over a 3" threshold.
- The car parking space is directly adjacent to the house, and the house can be reached from the space over nearly level paving.
- The front door to the property is reached over paving at 3°, substantially less than the allowable 12° for ramps. The sitting room at lower ground floor level has a single threshold step to the rear garden.
- All entrances are illuminated. The front door has a level threshold and is covered.
- A 3 person lift provides access to the lower ground floor, ground floor and first floor. The two bedrooms at the upper ground floor level are reached by climbing 3 steps.
- The corridors and doorway widths are generous and exceed Part M of the Building Regulations.
- There is generous turning area for a wheelchair in the dining and living areas and adequate circulation space for wheelchair use throughout the house. Please see the Lifetime Homes diagram at the end of this section.
- There is a space at entrance level that could be used as a convenient bedspace. It contains an ensuite shower room with wc, which has a wide door and can be easily reached and used by a wheelchair user.
- Walls in bathrooms and toilets are capable of taking adaptations such as handrails, and are generous in size to accommodate these being fitted at a later date.
- The bathroom, shower rooms and toilet have been designed to incorporate ease of access to the bath, showers, toilets and basins.
- The living room window glazing goes down to the floor, and is easy to open and operate.
- The sockets will be positioned so that Hoover sockets are 450mm above the floor. 5amp sockets will be positioned just above skirting level as lamps remain plugged in for long periods of time. Switches will be positioned 1 metre above floor level. Ventilation and service controls will be centred 1.3 metre above the floor when they incorporate screens that require reading to adjust controls.

5.1 Wheelchair Housing Standards

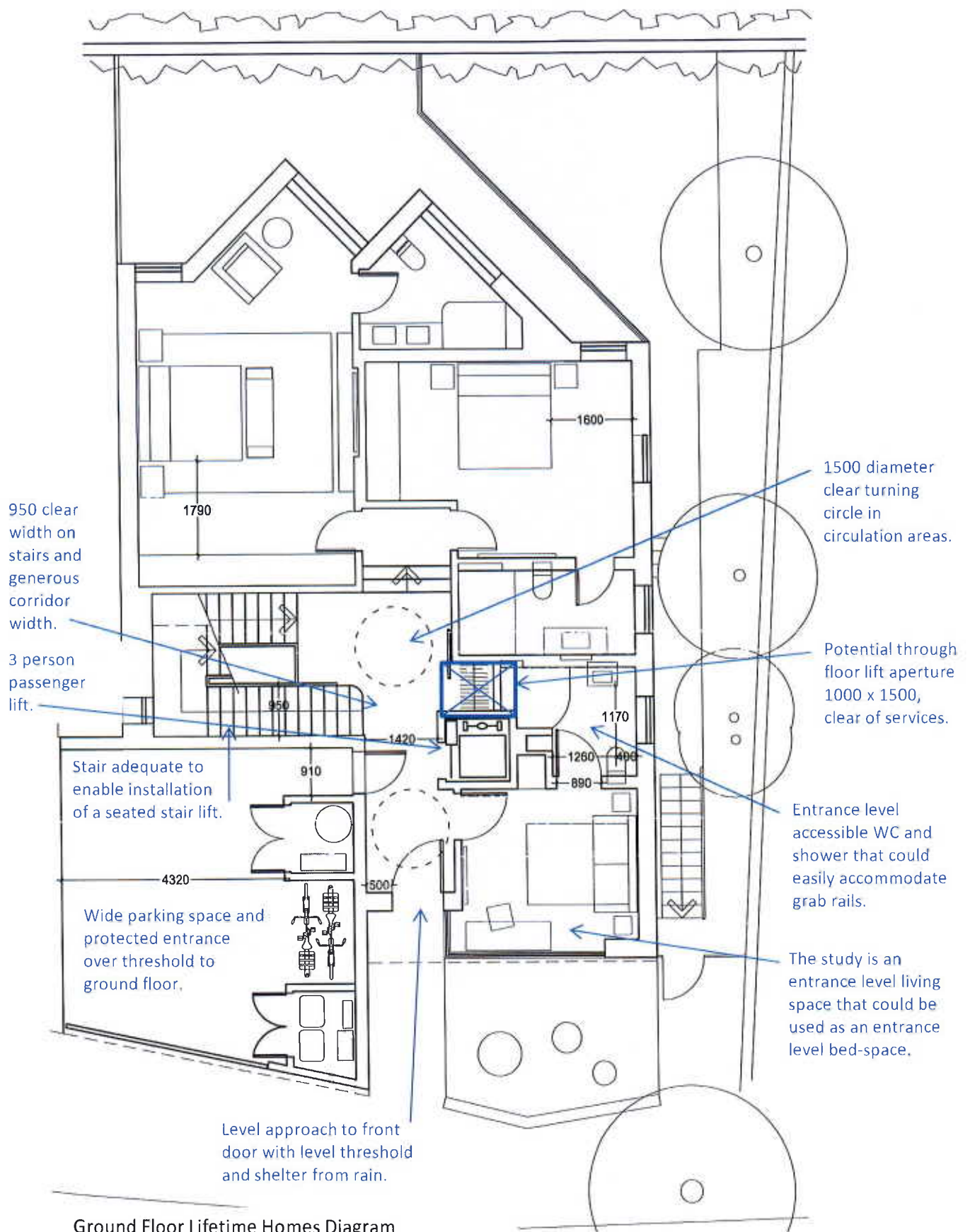
Wheelchair Housing Standards have been considered in the design of this house, and where the design has met the standards they are demonstrated on the following Lifetime Homes Diagram.

5.2 Lifetime Homes Diagram

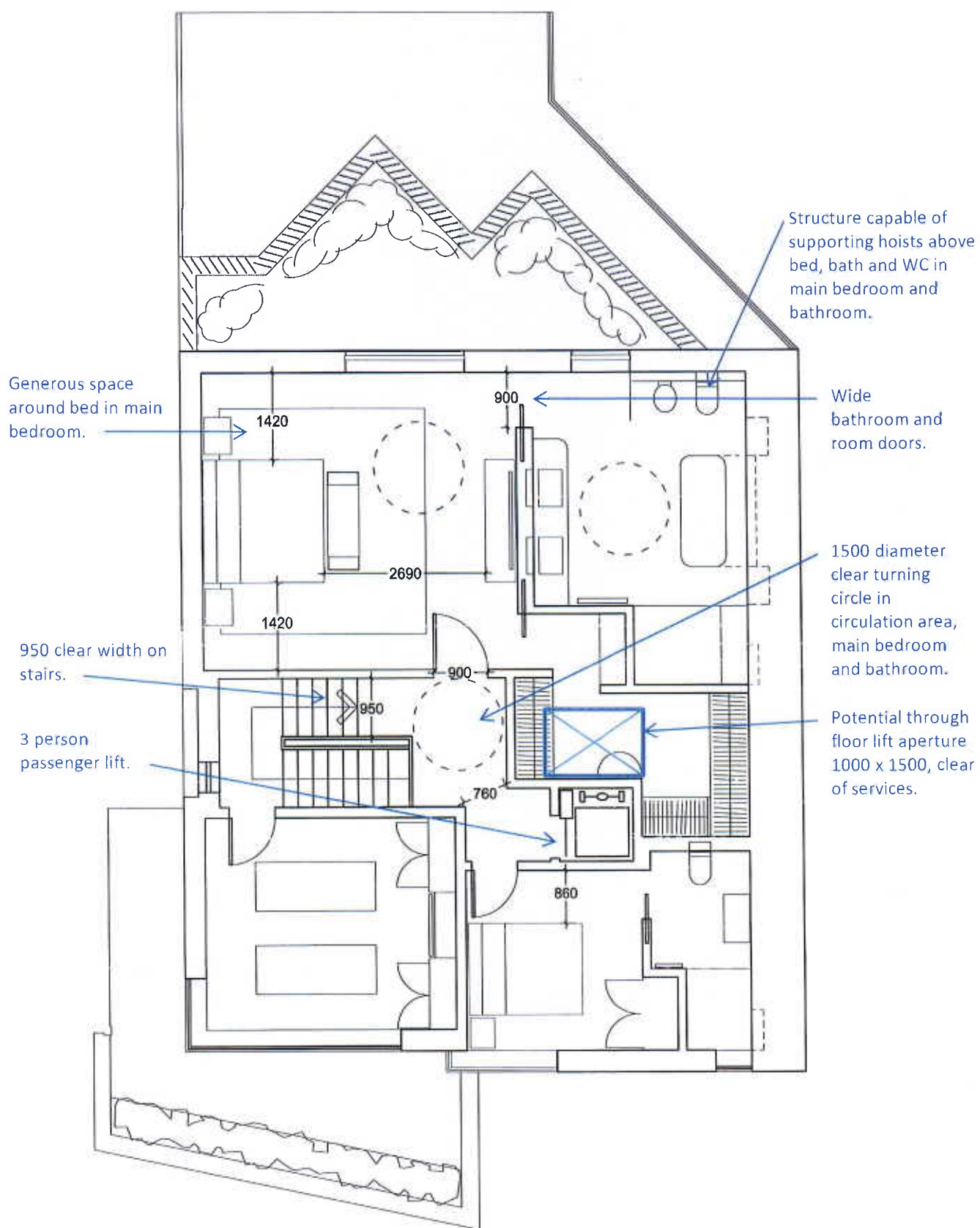
Lifetime Homes Requirements along with Wheelchair Housing Standards here noted on the proposed house plans.



Lower Ground Floor Lifetime Homes Diagram



Ground Floor Lifetime Homes Diagram



First Floor Lifetime Homes Diagram

6.0 Floorspace Schedule

This floorspace schedule gives the internal and external gross areas for both the existing and the proposed houses.

	EXISTING	PROPOSED
Total Site Area	257 square metres	257 square metres
Garden and Terrace Area	162 square metres	110 square metres
Gross Internal Area Lower Ground Floor	122 square metres	151 square metres
Gross Internal Area Ground Floor	125 square metres	138 square metres
Gross Internal Area First Floor	31 square metres	99 square metres
Total Gross Internal Area	278 square metres	387 square metres

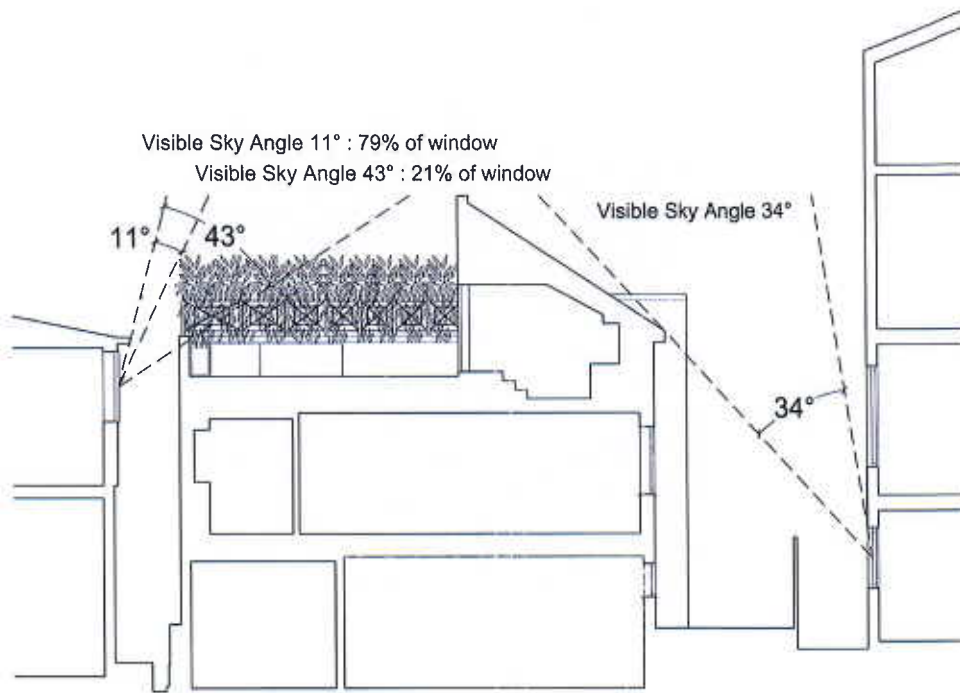
7.0 Daylight / Sunlight Assessment

We have undertaken a daylight and sunlight assessment that relates to the two properties adjacent to No.14 Well Road.

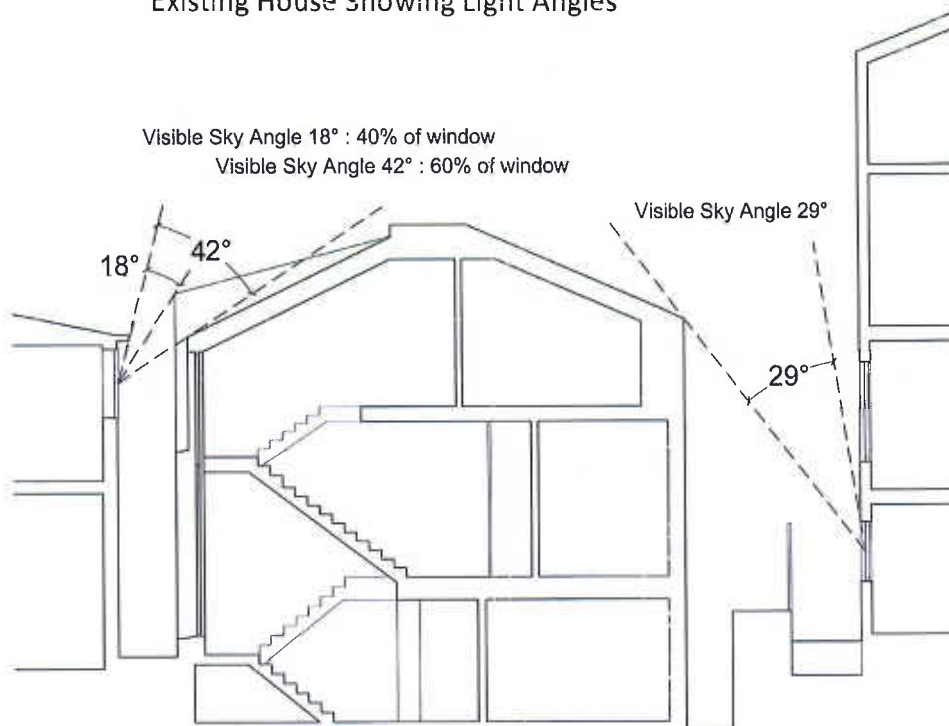
On the right side of the house, adjacent to No.13 Well Road, the visible sky angle has marginally increased from that on the successful planning application 2013/3998/P, due to secret gutters within the volume of the roof. Similarly on the left, the light angles have not been reduced in relation to No.15 Well Road from those on the aforementioned planning application.

At first floor level, we are approximating the existing dense bamboc screen at first floor terrace with a solid wall to enclose the master bedroom. The new eaves are 0.8M lower than the existing bamboo screen, and match the eaves on two previous successful planning applications Ref. 2011/1688/P, and 2013/3998/P. The stairs in the new proposal are adjacent to a window in No.15, and for this reason they have been pulled further away from the boundary than the proposed flank wall, which is already 0.4M away from the property boundary. The roof of the stairs has been kept low to mitigate its impact on sunlight and daylight to the flank window of No.15.

It is important to note that the window on the flank of No.15 adjacent to the new proposed stair lets light into a room that has 3 windows – the flank window, a round window facing the street, and a rooflight. Please refer to the first floor plan of No.15 and photographs which illustrate this on the following pages along with building sections showing light angles.



Existing House Showing Light Angles



Proposed House Showing Light Angles



15 Well Road Round Window



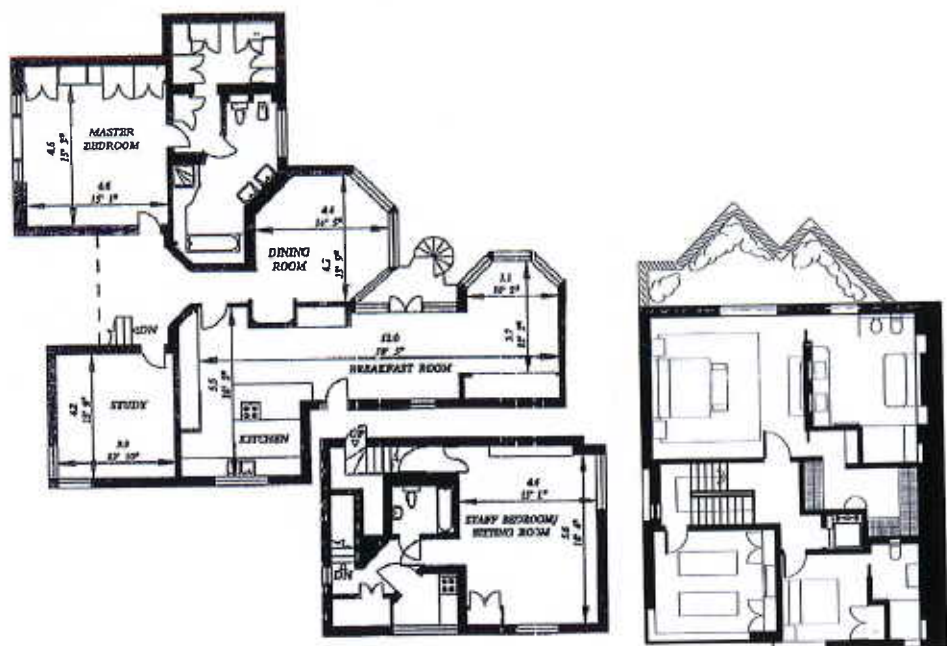
Flank Window of No.15



15 Well Road Roof Light

The staff bedroom/sitting room of 15 Well Road has 3 windows. One is a round window which faces the street, another is a flank window facing 14 Well Road, and a third is a rooflight.

It is for this flank window that we have kept the eaves low in the main bedroom, and have pulled the stair away from the flank wall of no.15.



First Floor Plans of Nos. 15 and 14 Well Road

8.0 Crime Impact

The crime impact of the proposal has been considered and can be summarised as follows:

- The property will have secure windows and doors. The new large double glazed windows will have integral, secure locks and the doors will have best quality locks.
- Windows on three levels (including the gym) at the front of the house, and the front door facing the street, allows street surveillance.
- The side passage will be gated and locked, and will only be used by the homeowner, making access to the property limited and secure.
- CCTV cameras viewing the front, right side and rear elevations will reduce the incidence of crime.
- The property will be well lit externally on its perimeter to discourage crime.
- Secure parking in a private, locked garage, with direct access to the house from inside the garage, give safe access to and from the property by car.
- Vulnerable windows in the rear garden and at lower ground floor level in the side passage will be fitted with security shutters that can be lowered from the window heads.

9.0 Conclusion

14 Well Road is a modern house, set within a small grouping of modern houses, that is in need of updating both in appearance and function.

The proposed redevelopment of the site has been arrived at through a rigorous study of the site and area in order to propose a property which will respect and enhance the Conservation Area in which it sits.

All relevant policies and guidance have been adhered to in order to put forward a proposal that will be seen as a positive contribution to the area.