

Mr Mark Hines  
Mark Hines Architects  
70 Cowcross Street  
London  
EC1M 6EJ

Application Ref: **2014/4748/P**  
Please ask for: **Angela Ryan**  
Telephone: 020 7974 **3236**

22 August 2014

Dear Sir/Madam

## DECISION

Town and Country Planning Act 1990 (as amended)

### Variation or Removal of Condition(s) Granted

Address:

**Garden Flat**  
**23 Nassington Road**  
**London**  
**NW3 2TX**

Proposal:

Variation of condition (3) attached to planning permission referenced 2011/1097/P (granted 6th May 2011) to include timber cladding to walls and roof of the single storey rear extension, installation of clay paviors to the rear patio area and a replacement window on the side elevation at lower ground floor level in connection with existing use as a flat (Class C3)

Drawing Nos: Site location plan (Ref: MHA-D-0031-005); Block plan (Ref: PL-0031-0007); MHA-D-31-0001, MHA-D-0031-0002, MHA-D-0031-0003, MHA-D-0031-0008

The Council has considered your application and decided to grant permission subject to the following condition(s):

Condition(s) and Reason(s):

- 1 For the purposes of this decision, condition no. 3 of planning permission 2011/1097/P shall be replaced with the following condition:



### REPLACEMENT CONDITION 3

The development hereby permitted shall be carried out in accordance with the following approved plans- Site location plan (Ref: MHA-D-0031-005); Block plan (Ref: PL-0031-0007), (Prefix: PL-00031-) 0001, 0002, 0006, MHA-D-31-0001, MHA-D-0031-0002, MHA-D-0031-0003, MHA-D-0031-0008

Reason: For the avoidance of doubt and in the interest of proper planning.

#### Informative(s):

##### 1 Reasons for granting permission.

The proposed alterations, namely, the installation of timber cladding to the walls and roof of the single storey rear extension, installation of clay paviors to the rear patio area and a replacement window on the side elevation at lower ground floor level are considered to be in keeping in terms of their scale and location to the host building. The proposed window is of an appropriate design by virtue of it reflecting the existing openings on the host building. Due to their location at the rear of the site and lower ground floor level, the alterations would not significantly harm the amenity of any adjoining residential occupiers in terms of the loss of light, outlook, enclosure or privacy.

Given the minor nature of the proposals; they are not considered harmful to the character or appearance of the host building, street scene or the South Hill Park Conservation Area because the alterations would not be visible from the wider public realm.

3 neighbours were consulted. A site notice was displayed and a public notice published in the local press. No objections have been received. The site's planning history was taken into account when coming to this decision.

Considerable importance and weight has been attached to the harm and special attention has been paid to the desirability of preserving or enhancing the character or appearance of the conservation area, under s.66 (LB's) and s.72 (CA's) of the Listed Buildings and Conservation Areas Act 1990 as amended by the Enterprise and Regulatory Reform Act (ERR) 2013

As such, the proposed development is in general accordance with policies CS5 and CS14 of the London Borough of Camden Local Development Framework Core Strategy, and policies DP24, DP25 and DP26 of the London Borough of Camden Local Development Framework Development Policies. The proposed development also accords with policies 7.4, 7.6 and 7.8 of the London Plan 2011; and paragraphs 14, 17, 55 -66 and 126-141 of the National Planning Policy Framework.

##### 2 Your proposals may be subject to control under the Building Regulations and/or the London Buildings Acts which cover aspects including fire and emergency escape, access and facilities for people with disabilities and sound insulation between

dwellings. You are advised to consult the Council's Building Control Service, Camden Town Hall, Argyle Street WC1H 8EQ, (tel: 020-7974 6941).

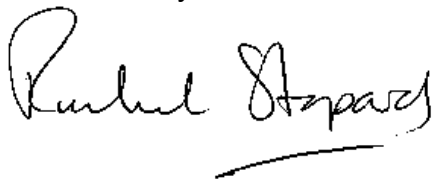
- 3 Noise from demolition and construction works is subject to control under the Control of Pollution Act 1974. You must carry out any building works that can be heard at the boundary of the site only between 08.00 and 18.00 hours Monday to Friday and 08.00 to 13.00 on Saturday and not at all on Sundays and Public Holidays. You are advised to consult the Council's Noise and Licensing Enforcement Team, Camden Town Hall, Argyle Street, WC1H 8EQ (Tel. No. 020 7974 4444 or on the website <http://www.camden.gov.uk/ccm/content/contacts/council-contacts/environment/contact-the-environmental-health-team.en> or seek prior approval under Section 61 of the Act if you anticipate any difficulty in carrying out construction other than within the hours stated above.

In dealing with the application, the Council has sought to work with the applicant in a positive and proactive way in accordance with paragraphs 186 and 187 of the National Planning Policy Framework.

You can find advice about your rights of appeal at:

<http://www.planningportal.gov.uk/planning/appeals/guidance/guidancecontent>

Yours faithfully

A handwritten signature in black ink, appearing to read 'Rachel Stopard', with a horizontal line underneath.

Rachel Stopard  
Director of Culture & Environment