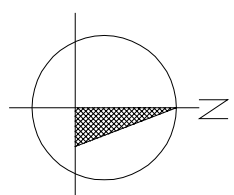


~~This drawing has been produced for Purley Investment Corp., for the project/site named as Eskine Road and is submitted as part of a planning application relating to this site name only and is not intended for use by any other person or organisation or for any other purpose.~~

May 2013



DO NOT

DO NOT SCALE FROM THIS DRAWING: Verify all dimensions on site

project
6 Erskine Road

Location Plan

PKS
architects

01 05 13

job no. 835

dwg no.
001-10

1



Photo taken from Erskine Road showing Leeder House exterior and access way to units.



Photo showing rear of leeder house and building 5 (which will be demolished)



Photo showing caretakers lodge at entrance to b1 units.

| | | | | | |
|--|----------------------------|---------------------|-------------------------------------|---------------------------|------------|
| Delegated Report (Members Briefing) | | Analysis sheet | | Expiry Date: | 14/07/2014 |
| | | N/A / attached | | Consultation Expiry Date: | N/A |
| Officer | | | Application Number(s) | | |
| Eimear Heavey | | | 2014/3331/P | | |
| Application Address | | | Drawing Numbers | | |
| Leeder House 6 Erskine Road London NW3 3AJ | | | Refer to decision notice | | |
| PO 3/4 | Area Team Signature | C&UD | Authorised Officer Signature | | |
| | | | | | |
| Proposal(s) | | | | | |
| Details of sections, elevations and facing materials (condition 3), main entrance gate and boundary treatment (condition 4) and cycle storage (condition 7) of planning permission granted on 24/12/2013 (ref: 2013/6326/P for the redevelopment involving the change of use of Leeder House from office (Class B1) to residential use (Class C3) to provide 4 units (1x2, 3x3 bed); erection of part 2 / part 3-storey building with enlarged basement (following the demolition of Block 5); roof extension and alterations to elevations of Blocks 2 and 3; erection of three core blocks to provide circulation and services; and alterations to caretakers' lodge.) | | | | | |
| Recommendation(s): | | Approve | | | |
| Application Type: | | Approval of Details | | | |

| | | | | | | |
|---|--|----|------------------|----|-------------------|----|
| Conditions or Reasons for Refusal: | Refer to Draft Decision Notice | | | | | |
| Informatives: | | | | | | |
| Consultations | | | | | | |
| Adjoining Occupiers: | No. notified | 00 | No. of responses | 00 | No. of objections | 00 |
| | | | No. electronic | 00 | | |
| Summary of consultation responses: | N/A | | | | | |
| CAAC/Local groups* comments: *Please Specify | <p>Primrose Hill CAAC – objection to this application on 17/07/2014</p> <p><i>The new gate, which the CAAC had objected to on principle and consistently with Camden's LDF, was too oppressive, and should be more transparent.</i></p> <p><i>We were concerned that the extending of the window into a door in the single storey lodge building had not been approved at an earlier stage.</i></p> <p><u>Officer comment:</u> This application is for the discharge of conditions attached to planning application ref: 2013/6326/P, it is therefore not possible to alter the design of the scheme at this point. However it is noted that the gate was previously approved in an earlier application for 6 Erskine Road (2010/5214/P) and as the policy situation has not changed since then no objection was raised to its presence when it formed part of the 2013 application. It is also noted that the louvered door in the caretakers lodge building was approved as part of the 2013 application.</p> | | | | | |

Site Description

The application site comprises a mews, the main building on the site known as 'Leeder House' which is 3 storeys fronts on to Erskine Road. There are also 3 other low rise buildings behind Leeder House, these are known as Blocks 2, 3 and 5. The site is bound by Erskine Road to the south and by properties fronting on to Ainger Road to the north-west and Regents Park Road to the south-east. Primrose Hill is located approximately 100m to the west of the site. Access to all buildings is via an entrance on Erskine Road, which is used by both pedestrians and vehicles.

The buildings are not listed but the site falls partially within the Primrose Hill Conservation Area (CA), with Leeder House and Blocks 2 and 3 in the east of the site within the CA. Leeder House is listed in the Primrose Hill Conservation Area Statement as making a positive contribution to the CA.

Relevant History

2010/5214/P: Planning permission was granted in December 2010 for "Extension of existing office accommodation (Class B1) to accommodate an additional (1473sqm) floorspace including the demolition and replacement of Block 5 with a part 2/part 3-storey building plus enlarged basement, a roof extension and alterations to the elevation of Block 3, roof extension and alterations to elevations of Block 3, alterations to the rear elevations of Leeder House and the caretakers' lodge and erection of four core blocks (providing circulation and services) between the caretakers lodge and Block 2 (3-storey), between Blocks 2 & 3 (3-storey), between Leeder house and Block 5 (5-storey) and between Blocks 4 & 5 (3-storeys)". *This permission expired on 15/12/2013.*

2011/6306/P: Planning permission granted in March 2012 for "Variation of condition 7 (development to be carried out in accordance with approved plans) relating to planning permission Ref: 2010/5214/P; to relocate cycle store and plant to basement, reduction in size of basement, amendment to street elevation of the porters lodge, alterations to angle and location of photovoltaic roof panels and other minor amendments to elevations.

2013/6326/P: Planning permission granted in December 2013 for redevelopment involving the change of use of Leeder House from office (Class B1) to residential use (Class C3) to provide 4 units (1x2, 3x3 bed); erection of part 2 / part 3-storey building with enlarged basement (following the demolition of Block 5); roof extension and alterations to elevations of Blocks 2 and 3; erection of three core blocks to provide circulation and services; and alterations to caretakers' lodge.

Relevant policies

LDF Core Strategy and Development Policies

CS5 (Managing the impact of growth and development)
CS6 (Providing quality homes)
CS8 (Promoting a successful and inclusive Camden economy)
CS11 (Promoting sustainable and efficient travel)
CS14 (Promoting high quality places and conserving our heritage)

DP17 (Walking, cycling and public transport)
DP18 (Parking standards and the availability of car parking)
DP19 (Managing the impact of parking)
DP21 (Development connecting to the highway network)
DP24 (Securing high quality design)
DP25 (Conserving Camden's heritage)
DP26 (Managing the impact of development on occupiers and neighbours)
DP27 (Basements and lightwells)

Camden Planning Guidance (2011/2013):

CPG 1 (Design – revised 2013)

Assessment

Condition 3

The details of the sections, elevations and facing materials to be used on the building shall not be otherwise than as those submitted to and approved by the Council before any work is commenced on the development. Such details shall include samples of all external materials and detailed elevations, sections and plans of typical windows, attic floor elevations and junctions between cores and main buildings (including at eaves/roof level). The relevant part of the works shall not be carried out otherwise than in accordance with the details thus approved.

Reason: To safeguard the appearance of the premises and the character of the immediate area in accordance with the requirements of policy CS14 of the London Borough of Camden Local Development Framework Core Strategy and policy DP24 and DP25 of the London Borough of Camden Local Development Framework Development Policies.

Condition 4

The details of the main entrance gate and any other changes to the Erskine Road boundary treatment shall not be otherwise than as those submitted to and approved by the Council before any work is commenced on the relevant part of the development. The relevant part of the works shall not be carried out otherwise than in accordance with the details thus approved.

Reason: To safeguard the appearance of the premises and the character of the immediate area in accordance with the requirements of policy CS14 of the London Borough of Camden Local Development Framework Core Strategy and policies DP24 and DP25 of the London Borough of Camden Local Development Framework Development Policies.

Condition 7

Before the development commences, details of the proposed cycle storage area shown on the approved plans shall be submitted to and approved by the Council. The approved facility shall thereafter be provided in its entirety prior to the first occupation of any of the development, and thereafter permanently maintained and retained thereafter.

Reason: To ensure the development provides adequate cycle parking facilities in accordance with the requirements of policy CS11 of the London Borough of Camden Local Development Framework Core Strategy and policy DP17 of the London Borough of Camden Local Development Framework Development Policies.

In terms of condition 3, the applicants have submitted revised plans to address issues raised by the Councils design officer, the details of which have been explained below:

- Junction Details: Copings to Leeder House will be stone and an amended plan was submitted to indicate this.

- Green Roof Locations: In general, all flat roofs will be green with the exception of Leeder House and B2. For clarity, an additional roof drawing has been submitted.
- Natural Slate Sample: It is proposed to reclaim and reuse as much natural slate as existing on site.
- Roof Guarding colour: The roof guarding colour on Leeder house will match the acoustic enclosure and revised drawings were submitted to highlight this.
- Windows: All existing windows will be replaced with a slimline aluminium window section recreating in facsimile features like glazing bars and radial lights as accurately as possible.
- All Leeder house window frames will be white (front&rear) and the drawings have been revised to portray this.
- Windows to the rest of the site: It has been confirmed that all other windows across the site will have frame colour RAL7012.
- Leeder Entrance Door: A larger scale drawing of the Leeder House entrance was submitted.

In terms of condition 4, the applicants have submitted details of the entrance gate which are considered to be acceptable. It is acknowledged that the CAAC have objected to the principle of the gate and also objected to their inclusion in the original application; however it is noted that the gates were previously approved in a 2010 application at this site and as the policy situation has not changed, no objection was raised to their presence in this scheme.

The CAAC are also concerned that the louvered door in the caretakers lodge had not been previously agreed, however it is noted that the introduction of a louvered door was approved as part of the 2013 application.

In terms of condition 7, drawings have been submitted to show the details of the proposed cycle parking in the basement area of B5. The details show a total of 15 Sheffield stands which amounts to 30 cycle spaces, along with 4 showers and 36 lockers. The details are considered to be acceptable and in line with the guidelines set out by the Councils planning department.

In light of the above, it is considered that the details which have been submitted are sufficient to discharge conditions 3, 4 and 7.

Recommendation: Approve conditions 3, 4 and 7.

Mr Glyn Lloyd-Jones
PKS Architects LLP
10 Deane House Studios
Greenwood Place
Kentish Town
London
NW5 1LB

Application Ref: **2014/3331/P**

Please ask for: **Eimear Heavey**
Telephone: 020 7974 **2949**

20 August 2014

DRAFT

Dear Sir/Madam

DECISION

Town and Country Planning Act 1990 (as amended)

Approval of Details

Address:
Leeder House
6 Erskine Road
London
NW3 3AJ

DECISION

Proposal:

Details of sections, elevations and facing materials (condition 3), main entrance gate and boundary treatment (condition 4) and cycle storage (condition 7) of planning permission granted on 24/12/2013 (ref: 2013/6326/P for the redevelopment involving the change of use of Leeder House from office (Class B1) to residential use (Class C3) to provide 4 units (1x2, 3x3 bed); erection of part 2 / part 3-storey building with enlarged basement (following the demolition of Block 5); roof extension and alterations to elevations of Blocks 2 and 3; erection of three core blocks to provide circulation and services; and alterations to caretakers' lodge.)

Drawing Nos: 010-05 Rev P1; 050-01 Rev P3; 050-02 Rev P3; 220-01; 02; 03; 04; 05; 06; 250-01 Rev P1; 02; 03; 04 Rev P1; 05; 06; 280-01; 02; 10; 11; 12; 13; 306-01 Rev T1; 521-06; 08; 11; 15; 522-04; 05; 07; 16; 17; 19; 21; 523-04; 10; 524-01 Rev T1; 525-02; 04; 05; 07; 526-05

The Council has considered your application and decided to grant permission.



Informative(s):

- 1 It is noted that all of the conditions which required details to be submitted as part of planning application 2013/6326/P have been discharged.

Yours faithfully

Rachel Stopard
Director of Culture & Environment

DRAFT

DECISION